

# Memorandum to the City of Markham Committee of Adjustment

March 28, 2024

**File:** A/114/22  
**Address:** 67 Babcombe Drive, Thornhill  
**Applicant:** Contempo Studio (Marin Zabzuni)  
**Hearing Date:** Wednesday, April 17, 2024

The following comments are provided on behalf of the West Team. The applicant is requesting relief from the following “Third Density Special Residential – (SR3)” zone requirements under By-law 1767, as amended, as they relate to a proposed two-storey detached dwelling. The variances requested are to permit:

- a) **By-law 1767, Section 9(i):**  
an architectural feature encroachment of 27 inches, whereas the by-law permits an encroachment of no more than 18 inches into the required front yard;
- b) **By-law 1767, Amending By-law 100-90, Section 1.2(i):**  
a maximum building height of 8.59 metres (28.18 feet), whereas the by-law permits a maximum flat roof building height of 8.0 metres (26.24 feet); and
- c) **By-law 1767, Amending By-law 100-90, Section 1.2(iii):**  
a building depth of 18.15 metres (59.54 feet) , whereas the by-law permits a maximum building depth of 16.8 metres (55.11 feet).

## BACKGROUND

This application was deferred by the Committee of Adjustment (the “Committee”) at the February 21, 2024 hearing, to provide the applicant an opportunity to address the Committee’s concern regarding the cumulative impacts of the variances (Refer to Minutes - Appendix “C”).

## COMMENTS

On March 26, 2024, the Applicant submitted revised drawings by reducing the requested building depth and eliminating the front yard setback, lot coverage, and floor area ratio variances. The architectural encroachment variance has decreased from 29 inches to 27 inches, and the building height variance has increased from 8.54 metres (22.01 feet) to 8.59 metres (28.18 feet). The applicant has not conducted a Zoning Preliminary Review for the revised drawings. Consequently, it is the owner’s responsibility to ensure that the application has accurately identified all the variances to the Zoning By-law required for the proposed development.

### Increased Front Yard Encroachment Variance

The Applicant is requesting to permit an encroachment of 27 inches into the required front yard for an architectural feature, whereas an encroachment of no more than 18 inches is permitted into the required front yard. As documented in the February 21, 2024 staff report,

staff maintain the opinion that the requested variance will not negatively impact the proposed dwelling nor the streetscape.

Increased Building Depth Variance

The Applicant is requesting relief to permit a maximum building depth of 18.15 metres (59.54 feet) , whereas the by-law permits a maximum building depth of 16.8 metres (55.11 feet). This represents an increase of approximately 1.35 metres (4.42 feet). Staff remain of the opinion that the requested variance is minor in nature as proposed building depth will maintain adequate amenity space in the rear yard.

Increased Building Height Variance

The Applicant is requesting relief to permit a maximum building height of 8.59 metres (28.18 feet), whereas the by-law permits a maximum flat roof building height of 8.0 metres (26.24 feet). This represents an increase of 0.59 metres (1.93 feet). Staff are of the opinion that the proposed building height is minor in nature and will not adversely impact the character of the neighbourhood.

**PUBLIC INPUT SUMMARY**

As of April 10, 2024, the City received fifteen (15) letters of opposition expressing concerns over scale and massing. Staff opine that the above-noted revisions to the proposed dwelling have addressed these concerns. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

**CONCLUSION**

Planning Staff have reviewed the application with respect to Section 45(1) of The *Planning Act*, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variance request meets the four tests of the *Planning Act* and have no objection. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Please refer to Appendix “A” for conditions to be attached to any approval of this application.

PREPARED BY:



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Brashanthe Manoharan, Planner II, Planning and Urban Design

REVIEWED BY:



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Rick Cefaratti, MCIP, RPP Senior Planner, West District

**APPENDIX "A"**

**CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/114/22**

1. The variances apply only to the proposed development for as long as it remains.
2. That the variances apply only to the proposed development, in substantial conformity with the plans attached as Appendix "B" to this Staff Report, and that the Secretary-Treasurer receive written confirmation from the Supervisor of the Committee of Adjustment or designate that this condition has been fulfilled to his or her satisfaction.
3. That the Owner satisfies the requirements of Metrolinx, financial or otherwise, as indicated in their letter to the Secretary-Treasurer, attached as Appendix "C" to this Staff Report, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of Metrolinx.
4. Submission of a Tree Assessment and Preservation Plan, prepared by a qualified arborist in accordance with the City's Streetscape Manual (2009), as amended, to be reviewed and approved by the Director of Planning and Urban Design, or their designate, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the Director of Planning and Urban Design, or their designate.
5. That tree replacements be provided and/or tree replacement fees be paid to the Director of Planning and Urban Design, or their designate, if required, in accordance with the Tree Assessment and Preservation Plan, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the Director of Planning and Urban Design, or their designate.
6. That prior to the commencement of construction or demolition, tree protection be erected and maintained around all trees on site, including street trees, in accordance with the City's Streetscape Manual (2009), as amended, and inspected by the Tree Preservation Technician, or their designate, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the Director of Planning and Urban Design, or their designate.

CONDITIONS PREPARED BY:



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Brashanthe Manoharan, Planner II, Planning and Urban Design



# Appendix B

File: 22.245438.000.MNV

Date: 4/11/2024

MM/DD/YY

## PROJECT STATISTICS

Address: 67 Babcombe Dr.  
 Municipality: York (Markham)  
 Legal Lot Description: Lot 114 Registered Plan M-941  
 Date: 3/8/2024

Zoning Designation: SR3  
 Lot Area: 15,000 sq. ft.  
 Lot Footage: 1,393.85 m<sup>2</sup>  
 Lot Depth: 47.61 m

GROSS FLOOR AREA (GFA)  
 Proposed: 3,294.89 sq. ft.  
 Permitted: 3,011.57 sq. ft.

LOT COVERAGE  

Category	Permitted	Proposed
House Footprint	4,020.16 sq. ft.	3,743.48 m <sup>2</sup>
Front Covered Porch	67.74 sq. ft.	6.29 m <sup>2</sup>
Rear Covered & Uncovered Deck	336.40 sq. ft.	31.25 m <sup>2</sup>
Front Balcony	112.19 sq. ft.	10.42 m <sup>2</sup>
Rear Balcony	74.74 sq. ft.	6.94 m <sup>2</sup>
Main Building Coverage	4,611.22 sq. ft.	423.40 m <sup>2</sup>
Subtotal	5,081.22 sq. ft.	470.28 m <sup>2</sup>

BUILDING DEPTH  

Category	Permitted	Proposed
Max Building Depth	18.00 m	18.15 m

ESTABLISHED GRADE CALCULATION  

Grade Point	Wall Length (m)	Product
Front Garage Wall	162.00	10.31
Front Porch	161.90	4.31
Front Terrace Left Side	151.85	4.81
Front Terrace Right Side	151.75	4.08
Total	627.60	24.21

BUILDING HEIGHT  

Category	Permitted	Proposed
Height From Established Grade	N/A	N/A
Max Top of Pitch Roof	26.08 ft	7.95 m
Max Top of Parapet	26.25 ft	8.00 m
Height From Crown of Road	9.80 m	N/A
Max Top of Pitch Roof	8.00 m	28.02 ft
Max Top of Parapet	8.00 m	28.18 ft

FRONT YARD SETBACK CALCULATION  

Category	Left Side	Right Side	Permitted
Avg. Neighbourly Setbacks	13.89 m	12.15 m	13.02 m
Required Setback	45.57 ft	39.88 ft	42.72 ft

SETBACKS  

Category	Permitted	Proposed
Min Front (North-East)	13.02 m	42.72 ft
Min Left (South-East)	1.83 m	14.60 ft
Min Right (North-West)	1.83 m	4.08 ft
Min Rear (South-West)	12.19 m	47.75 ft
Combined Side Yard	6.10 m	20.60 ft
Deck (0-1m high) Side	0.60 m	0.00 ft
Deck (0-1m high) Rear	3.00 m	0.00 ft
Deck (>1m high) Side	1.83 m	8.00 ft
Deck (>1m high) Rear	3.00 m	40.71 ft

FRONT YARD LANDSCAPING  

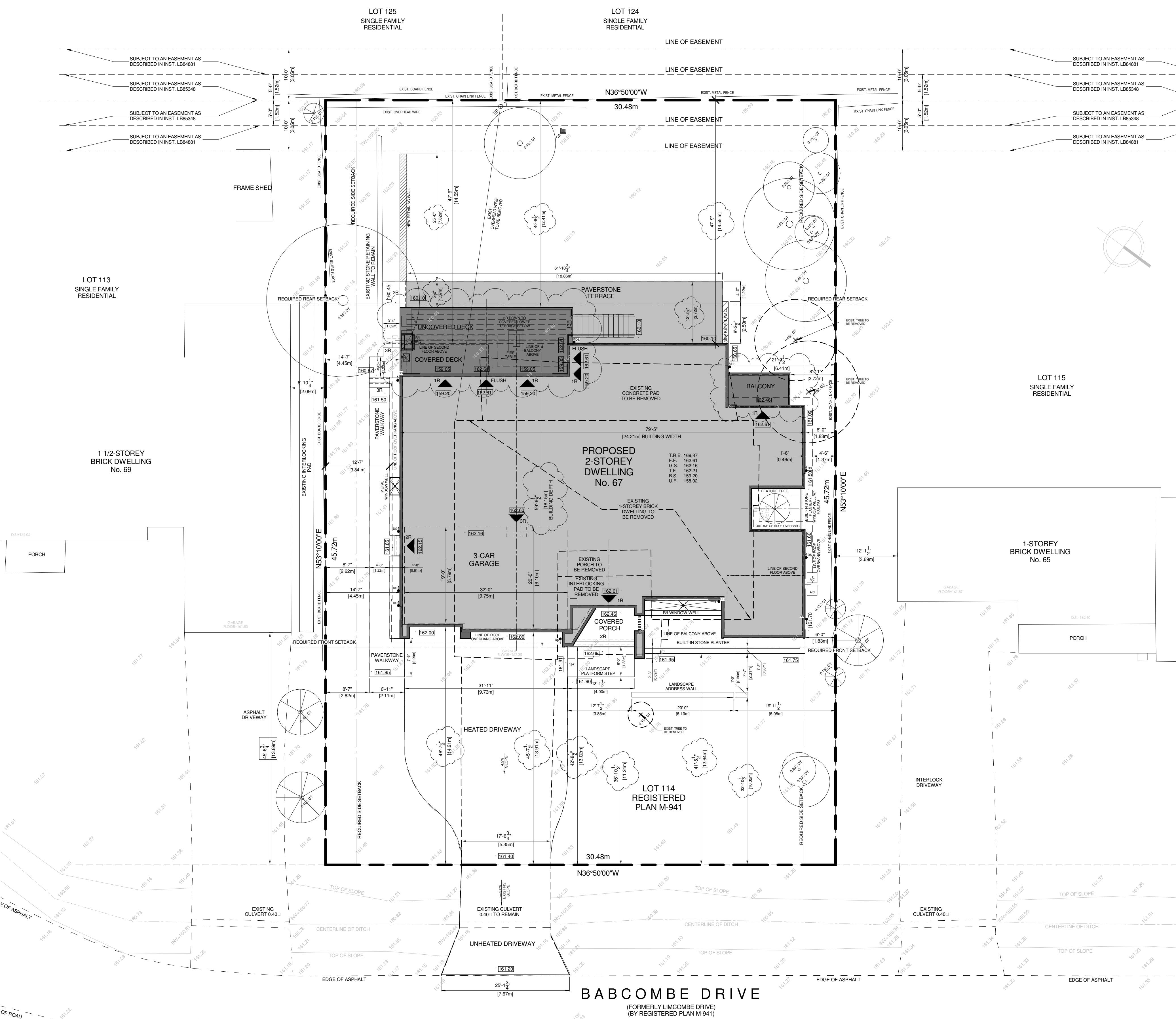
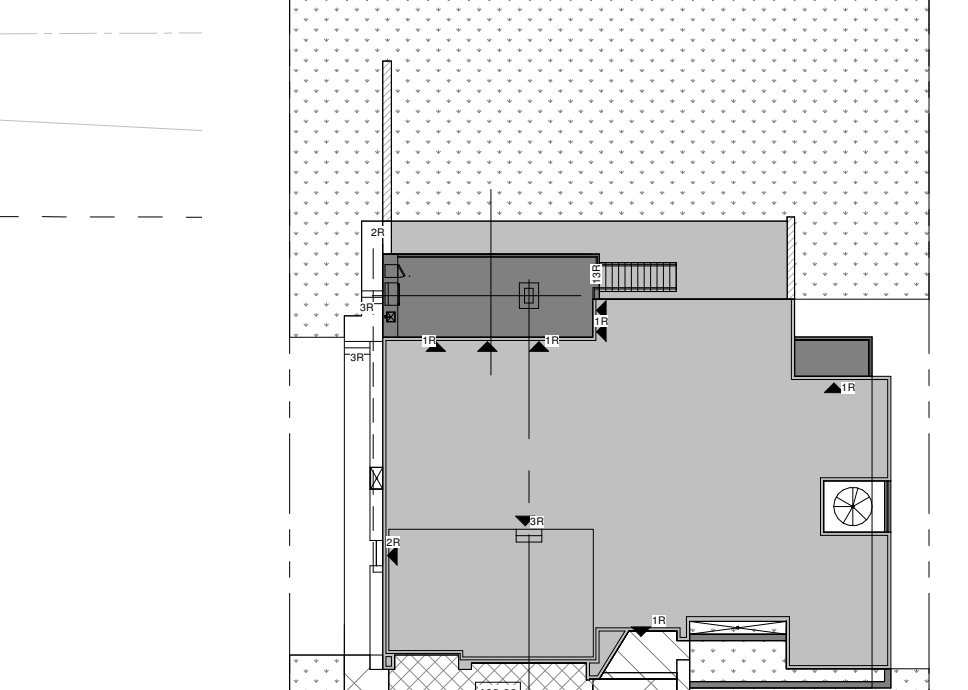
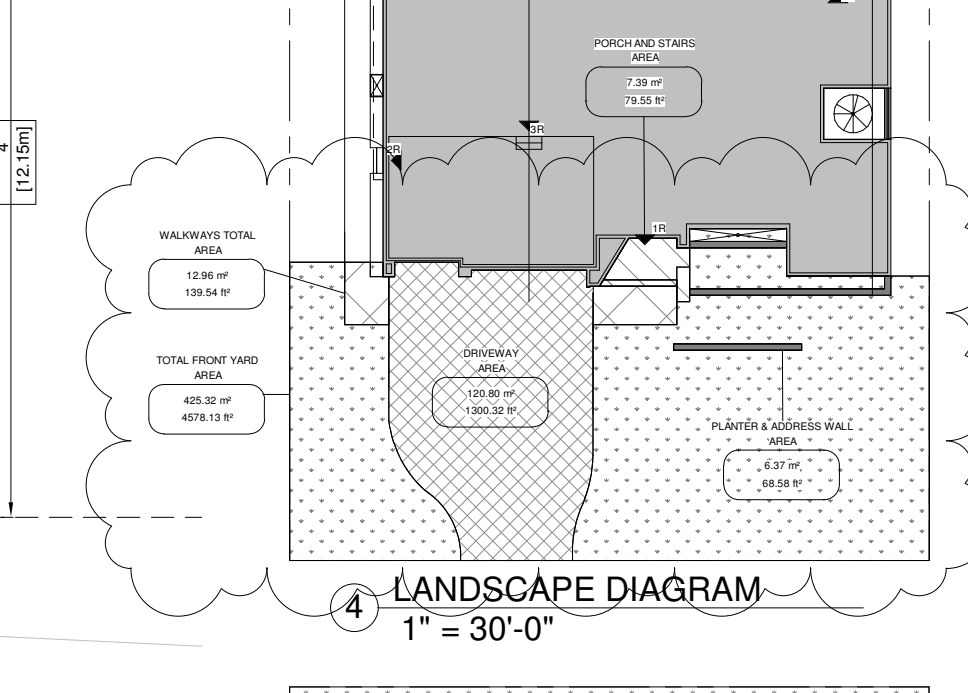
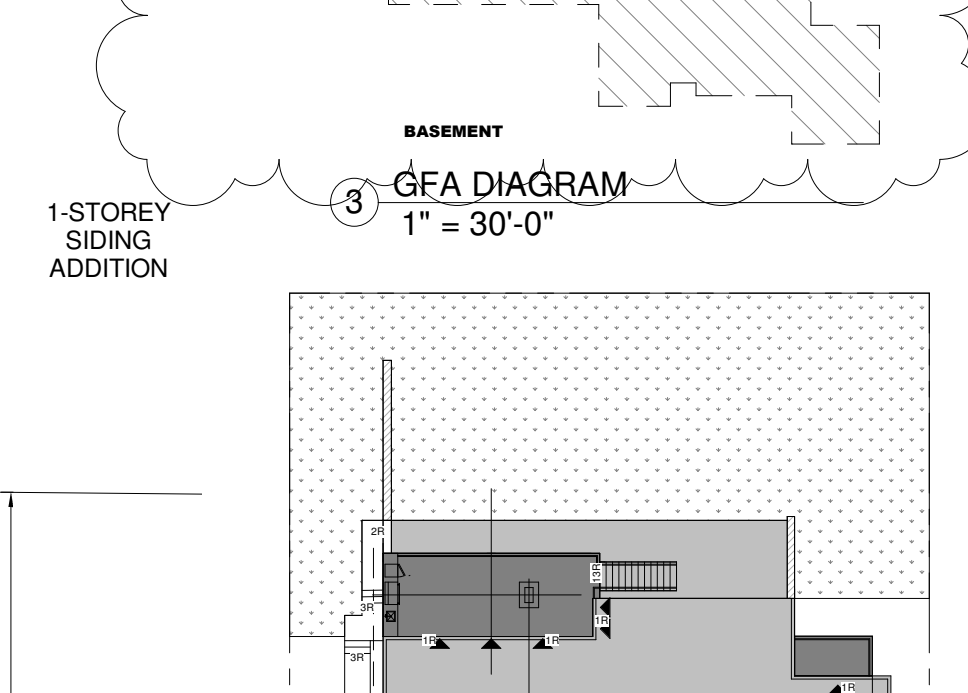
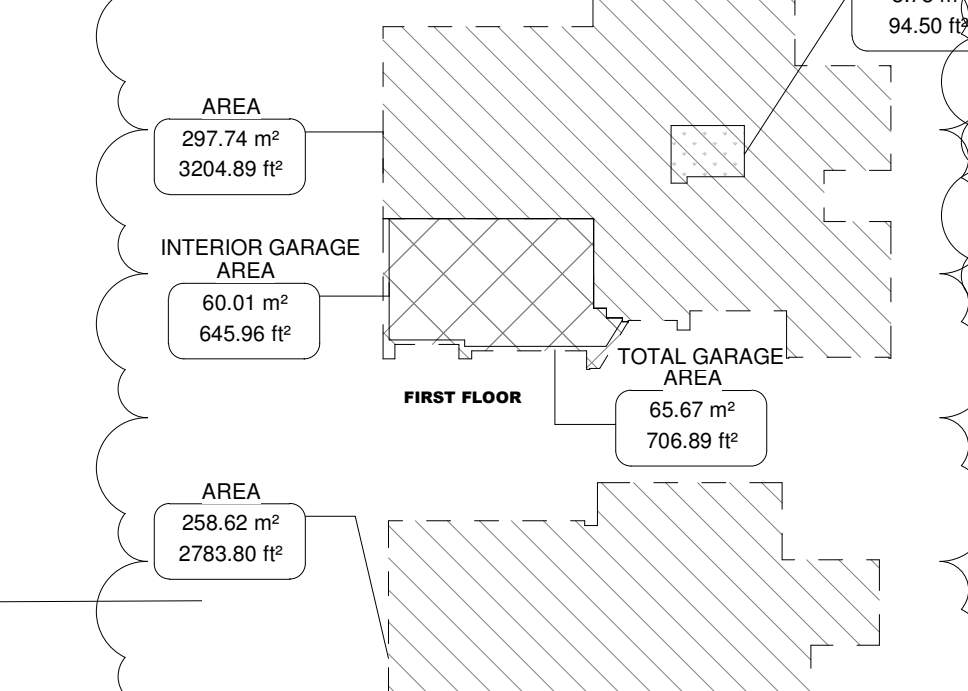
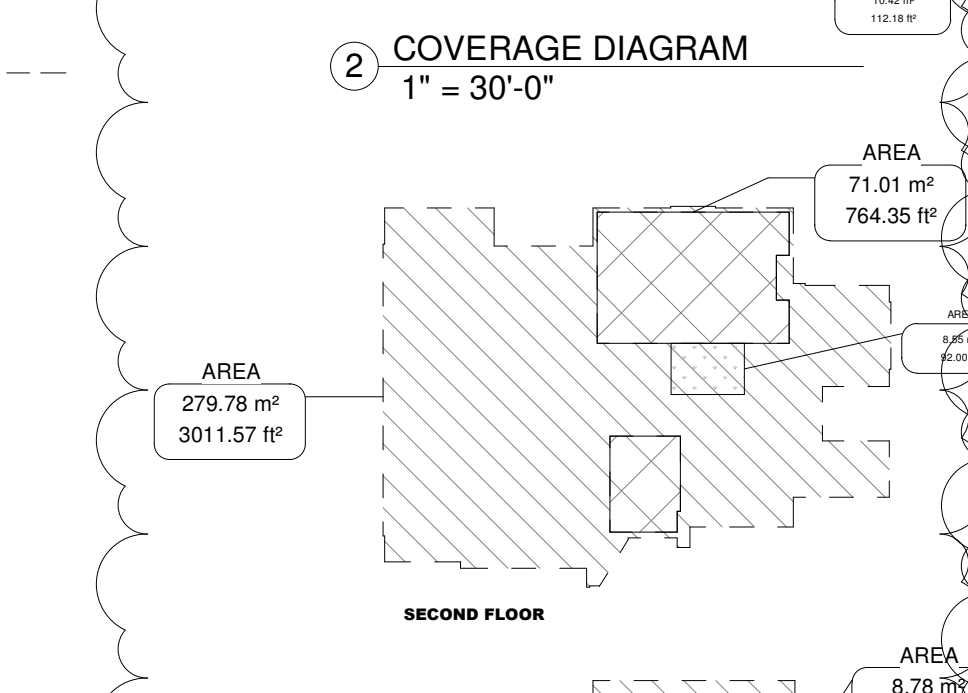
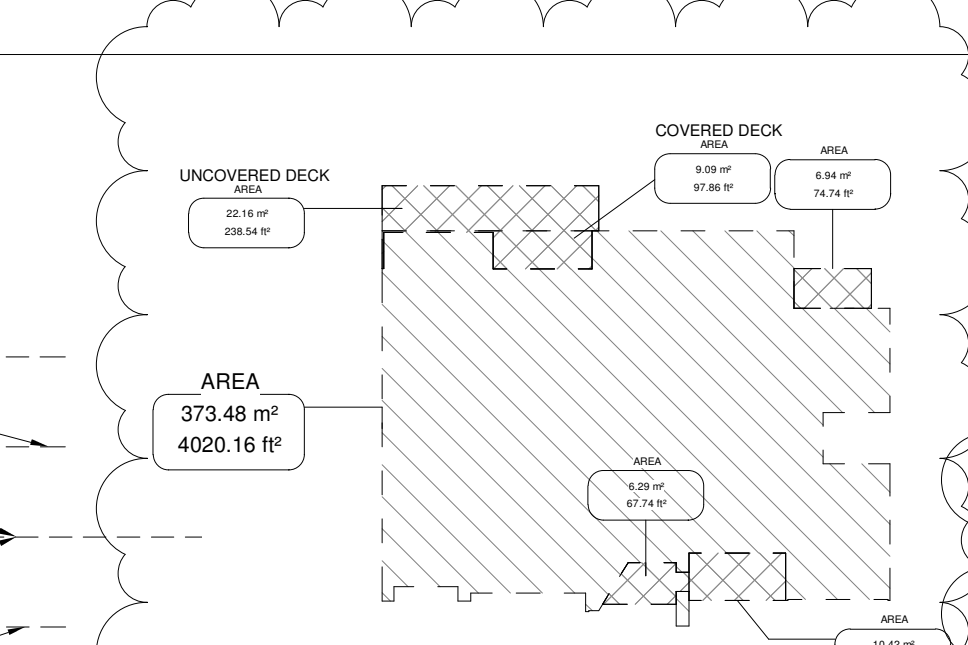
Category	Permitted	Proposed
Total Front Yard Area	4,578.13 sq. ft.	425.32 m <sup>2</sup>
Porch & Steps	79.56 sq. ft.	7.39 m <sup>2</sup>
Less Driveway	1,300.32 sq. ft.	120.85 m <sup>2</sup>
Total Front Yard Landscaping Area	3,198.26 sq. ft.	297.13 m <sup>2</sup>
Less Hardscaping	139.54 sq. ft.	12.96 m <sup>2</sup>
Planter & Address Wall	68.58 sq. ft.	6.37 m <sup>2</sup>
Total Front Yard Landscaping Area	3,129.68 sq. ft.	290.78 m <sup>2</sup>
Softscaping Area	118.85 m <sup>2</sup>	40.00%

GARAGE & DRIVEWAY  

Category	Permitted	Proposed
Garage Entry Width	N/A	30.00 ft
Garage Projection	2.10 m	0.00 m
Max Driveway Width	10.23 m	31.92 ft

ENCROACHMENTS  

Category	Permitted	Proposed
Eaves	0.46 m	1.50 ft
Chimney	0.46 m	0.00 ft
Architectural Feature	0.46 m	2.25 ft
Covered Platform	0.46 m	0.00 ft
Uncover'd Platform (front)	1.52 m	0.00 ft
Uncover'd Platform (rear)	1.52 m	0.00 ft
Uncover'd Platform (side)	0.46 m	0.00 ft



1 SITE PLAN  
3/32" = 1'-0"

INFORMATION TAKEN FROM:  
 SURVEYOR'S REAL PROPERTY REPORT  
 PLAN OF SURVEY  
 LOT 114  
 REGISTERED PLAN M-941  
 CITY OF MARKHAM, REGIONAL  
 MUNICIPALITY OF YORK  
 PREPARED BY: ALTIMAP LAND SURVEYORS INC.  
 DATED: SEPTEMBER 10, 2021

This drawing, as an instrument of service, is provided by and is the property of Contempo Studio. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Contempo Studio of any variations from the supplied information.  
 This drawing is not to be scaled.  
 The designer is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked for construction must assume full responsibility and bear costs for any corrections or damages resulting from this work.  
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No. 1. Issued for: ZONING REVISION 2023-SEP-15  
 2. COA REVISION 2024-MAR-07

contempostudio  
 1140 The Queensway, Toronto, Ontario M8Z 1P7  
 info@contempostudio.ca w. contempostudio.ca  
 t. (416) 770-0071 f. (416) 642-1691

QUALIFICATION INFORMATION  
 Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.  
 MARIN ZABZUNI SIGNATURE 45250 BCIN  
 REGISTRATION INFORMATION  
 Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.  
 CONTEMPO STUDIO 46972 BCIN  
 FIRM NAME

2 STOREY DWELLING  
 AT  
 67 BABCOMBE DR  
 THORNHILL, ON

SITE PLAN

Project number: 2022-41  
 Rev. no.: As indicated  
 Date: MARCH, 2024  
 Drawn by: C.C.  
 Approved by: M.Z.

Drawing number: A1



# Appendix B

File: 22.245438.000.00.MNV

Date: 4/11/2024

MM/DD/YY

This drawing, as an instrument of service, is provided by and is the property of Contempo Studio. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Contempo Studio of any variations from the supplied information.

This drawing is not to be scaled.

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No.	Issued for:	Date
1.	ZONING REVISION	2023-SEP-15
2.	COA REVISION	2024-MAR-07

## contempostudio

1140 The Queensway, Toronto, Ontario M8Z 1P7  
 info@contempostudio.ca w. contempostudio.ca  
 t. (416) 770-0071 f. (416) 642-1691

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents:

QUALIFICATION INFORMATION  
 Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.

MARIN ZABZUNI  
 NAME SIGNATURE 45250 BCIN

REGISTRATION INFORMATION  
 Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.

CONTEMPO STUDIO 46972 BCIN  
 FIRM NAME

2 STOREY DWELLING

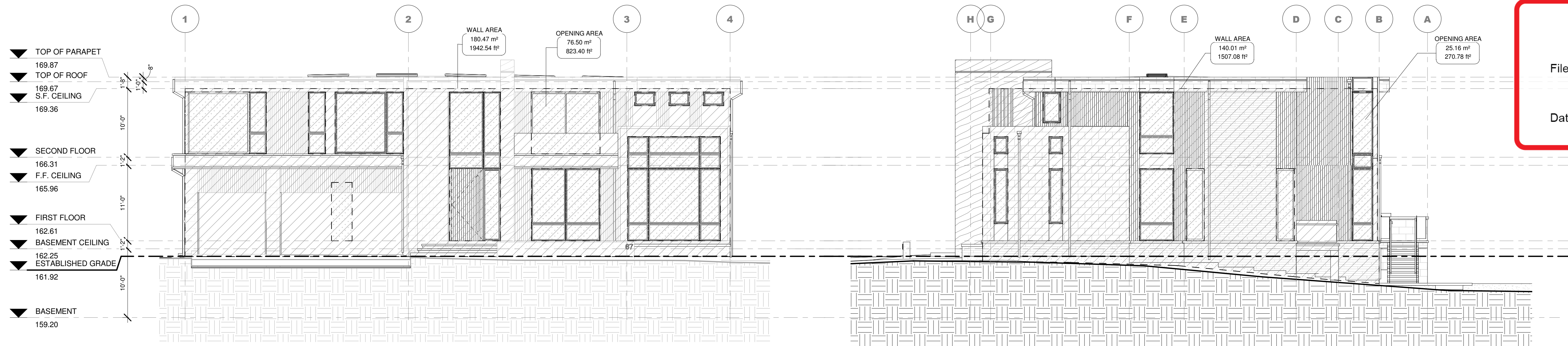
AT  
 67 BABCOMBE DR  
 THORNHILL, ON

ELEVATION AREAS (HVAC ONLY)

Project number: 2022-41  
 Rev. no.:  
 Scale: 1/8" = 1'-0"  
 Date: MARCH, 2024  
 Drawn by: C.C.  
 Approved by: M.Z.

Drawing number:

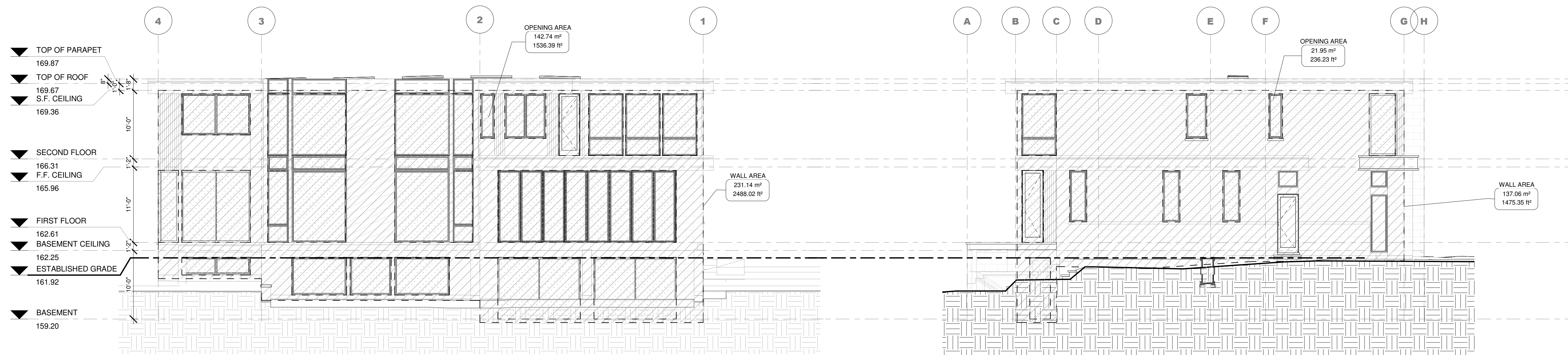
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1 North-East, Front Elevation Area  
 1/8" = 1'-0"

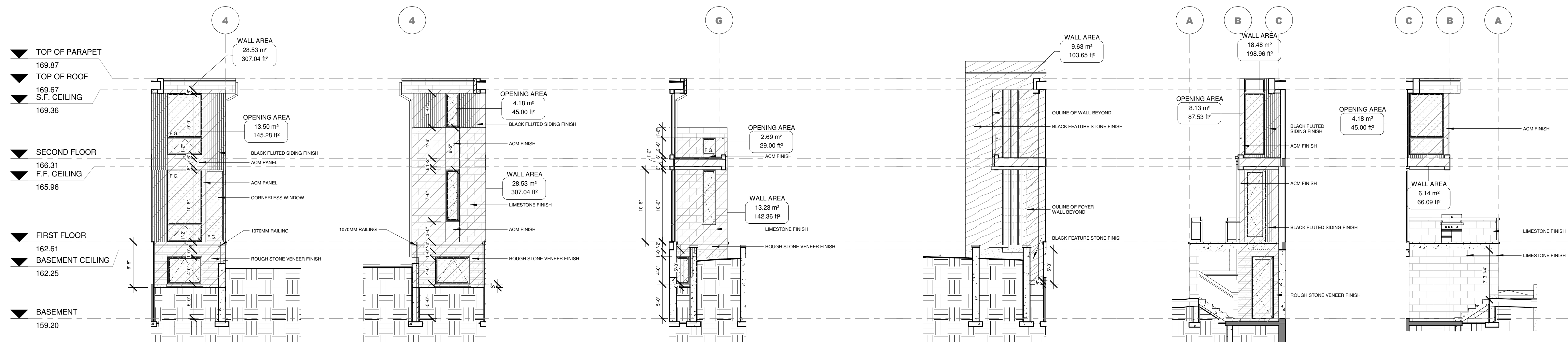
2 North-West Right Elevation Area  
 1/8" = 1'-0"

TOTAL WALL AREA: 793.22m2  
 TOTAL GLAZED AREA: 299.03m2 37.70%



3 South-West, Rear Elevation Area  
 1/8" = 1'-0"

4 South-East, Left Elevation Area  
 1/8" = 1'-0"



5 North-East, Elevation B Area  
 1/8" = 1'-0"

6 South-West, Elevation B Area  
 1/8" = 1'-0"

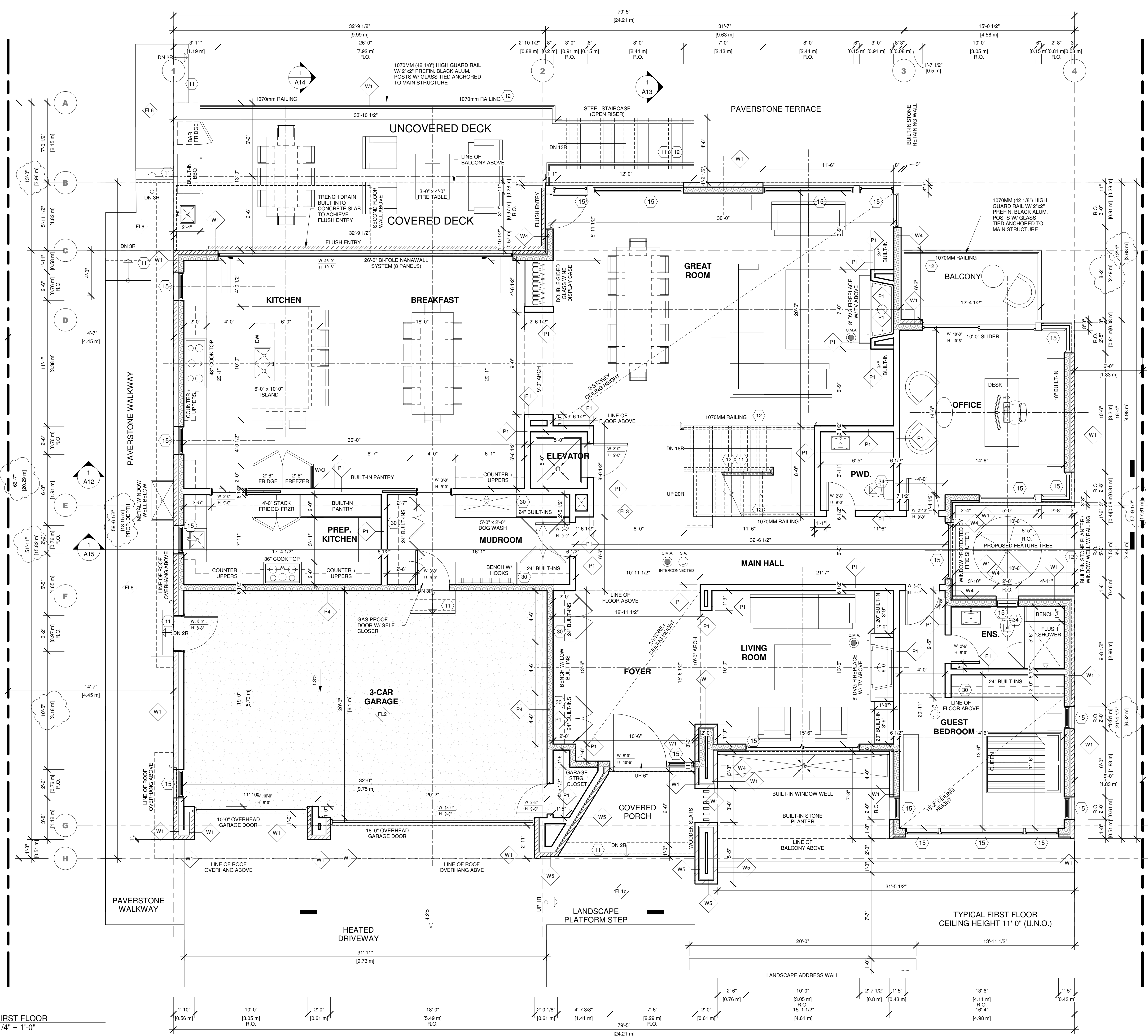
7 South-East, Elevation B Area  
 1/8" = 1'-0"

8 North-West, Elevation B Area  
 1/8" = 1'-0"

9 South-East, Left Elevation Area B  
 1/8" = 1'-0"

10 North-West Elevation Area B  
 1/8" = 1'-0"





Type Mark	Type	Description	Comments
10	Interior - (P8) Foundation (Drapping)	2" X 4" W.D. STUDS @ 16" O.C. SPRUCE #2 W/ R12 OR R14 MINERAL WOOL INSULATION IN STUD CAVITY. 5/8" POLY CONT. WALL OF MINIMUM AND FILL W/ R12 OR R14 CLOSED CELL SPRAY FOAM INSULATION.	
FW1	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW2	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW3	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW4	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW5	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW6	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW7	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW8	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW9	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW10	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW11	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW12	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW13	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW14	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW15	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW16	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW17	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW18	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW19	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
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FW23	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
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FW25	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
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FW41	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
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FW43	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW44	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW45	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW46	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW47	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW48	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW49	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW50	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW51	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW52	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW53	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW54	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW55	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW56	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW57	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW58	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW59	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW60	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW61	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW62	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW63	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW64	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW65	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW66	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW67	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW68	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW69	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW70	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW71	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW72	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW73	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW74	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW75	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW76	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW77	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW78	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW79	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW80	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW81	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW82	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW83	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW84	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW85	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW86	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW87	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW88	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW89	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW90	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW91	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW92	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW93	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW94	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW95	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW96	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW97	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW98	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW99	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	
FW100	Foundation	1070MM (42 1/8") HIGH GUARD RAIL W/ 2" X 2" PREFIN. BLACK ALUM. POSTS W/ GLASS TIED ANCHORED TO MAIN STRUCTURE.	

Appendix B

File: 22.245438.000.00.MNV  
Date: 4/11/2024  
MM/DD/YY

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No. 1.	Issued for:	Date
2.	ZONING REVISION	2023-SEP-15
	COA REVISION	2024-MAR-07

contempstudio

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info@contempstudio.ca w. contempstudio.com  
t. (416) 770-0071 f. (416) 642-1691

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents:

QUALIFICATION INFORMATION  
Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.

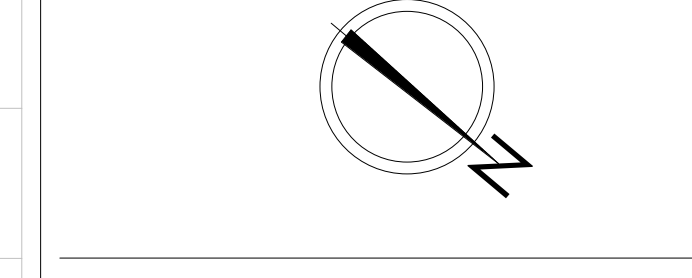
MARIN ZABZUNI	SIGNATURE	45250
NAME	REGISTRATION INFORMATION	BCIN
Required unless design is exempt under 3.2.4.7, Division C of the Ontario Building Code.		
CONTEMPSTUDIO	46972	
FIRM NAME	REGISTRATION INFORMATION	BCIN

2 STOREY DWELLING

AT

67 BABCOMBE DR  
THORNHILL, ON

FIRST FLOOR PLAN

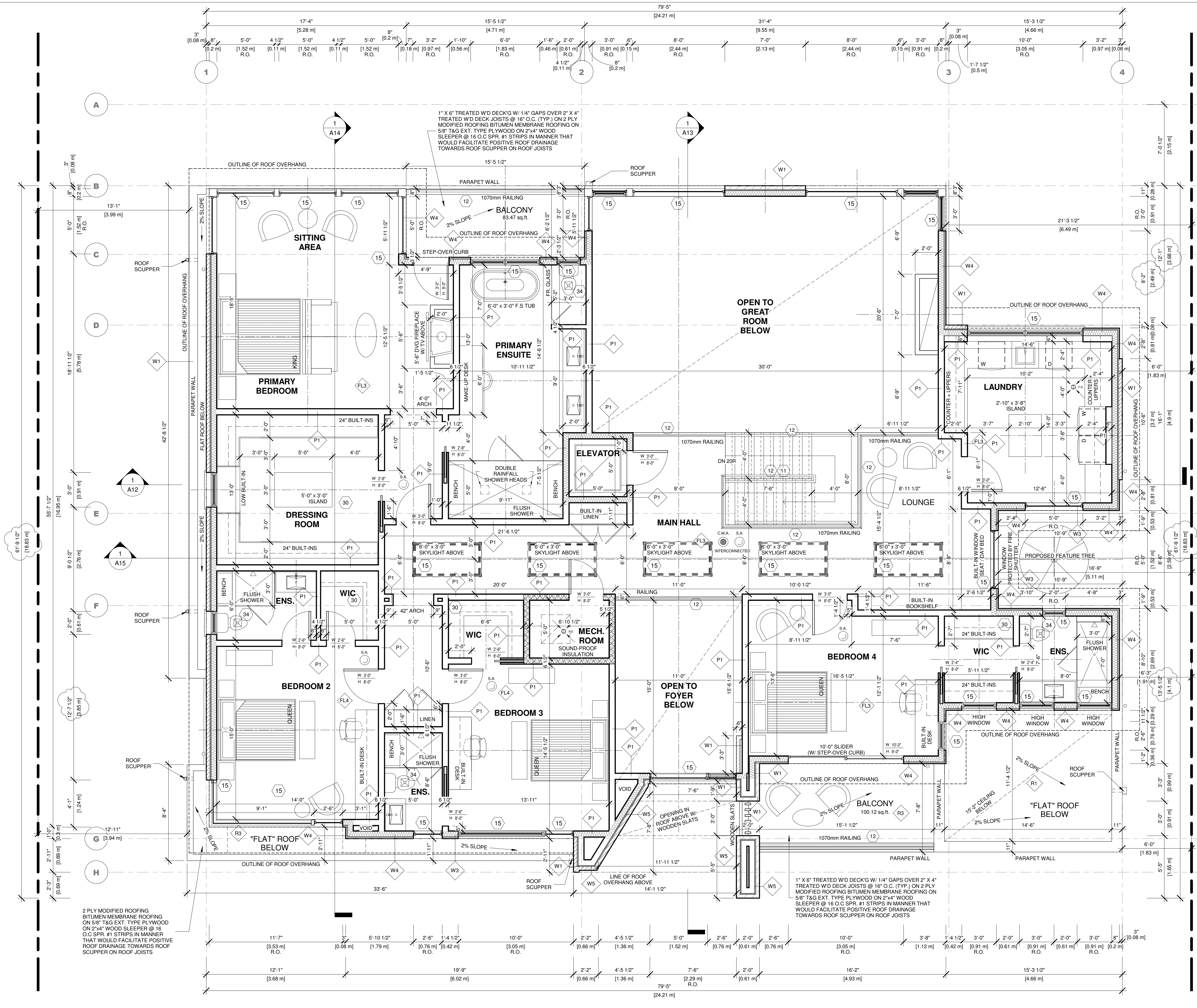


Project number: 2022-41  
Rev. no.: 1  
Scale: 1/4" = 1'-0"  
Date: MARCH, 2024  
Drawn by: C.C.  
Approved by: M.Z.

Drawing number:

A3





Type Mark	Type	Description	Comments
10	Interior - (P8)	2" x 4" W.D. STUDS @ 16" O.C. SPRUCE #2 W/ R12 OR R14 MINERAL WOOL INSULATION IN STUD CAVITY. 5/8" POLY CONT. VAPOUR BARRIER - OFFSET STUD WALL FROM FOUNDATION WALL 2" AWAY. PLACE 2" THICK RIGID INSULATION (CONTINUOUS) W/ TAPED JOINTS BETWEEN FEN. WALL & STUD TOTAL R-VALUE = R-15.0 (CONTINUOUS)	SPRUCE #2 W/ R12 OR R14 MINERAL WOOL INSULATION IN STUD CAVITY. 5/8" POLY CONT. VAPOUR BARRIER - OFFSET STUD WALL FROM FOUNDATION WALL 2" AWAY. PLACE 2" THICK RIGID INSULATION (CONTINUOUS) W/ TAPED JOINTS BETWEEN FEN. WALL & STUD TOTAL R-VALUE = R-15.0 (CONTINUOUS)
FW1	Foundation	250mm (10") REINFORCED CONCRETE FOUNDATION WALLS. 150mm (6") POLY STRENGTHENING FIBRE REINFORCED CONCRETE (PRISMATIC) INSULATION. 150mm (6") POLY STRENGTHENING FIBRE REINFORCED CONCRETE (PRISMATIC) INSULATION. 150mm (6") POLY STRENGTHENING FIBRE REINFORCED CONCRETE (PRISMATIC) INSULATION. 150mm (6") POLY STRENGTHENING FIBRE REINFORCED CONCRETE (PRISMATIC) INSULATION.	250mm (10") REINFORCED CONCRETE FOUNDATION WALLS. 150mm (6") POLY STRENGTHENING FIBRE REINFORCED CONCRETE (PRISMATIC) INSULATION. 150mm (6") POLY STRENGTHENING FIBRE REINFORCED CONCRETE (PRISMATIC) INSULATION. 150mm (6") POLY STRENGTHENING FIBRE REINFORCED CONCRETE (PRISMATIC) INSULATION. 150mm (6") POLY STRENGTHENING FIBRE REINFORCED CONCRETE (PRISMATIC) INSULATION.
FW2	Foundation	UNCONCRETE FOUNDATION WALL AS PER ENG.	UNCONCRETE FOUNDATION WALL AS PER ENG.
GL1	Glazing	3049mm (24") @ 400mm (16") O.C. FOR LOAD BEARING WALLS. 3049mm (24") @ 600mm (24") O.C. NON LOAD BEARING WALLS.	3049mm (24") @ 400mm (16") O.C. FOR LOAD BEARING WALLS. 3049mm (24") @ 600mm (24") O.C. NON LOAD BEARING WALLS.
P2	Interior - (P2)	12mm (1/2") GYPSUM WALLBOARD ON BOTH SIDES OF 2" x 4" W.D. STUDS @ 16" O.C. SPRUCE #2 W/ R12 OR R14 MINERAL WOOL INSULATION IN STUD CAVITY. 5/8" POLY CONT. VAPOUR BARRIER - OFFSET STUD WALL FROM FOUNDATION WALL 2" AWAY. PLACE 2" THICK RIGID INSULATION (CONTINUOUS) W/ TAPED JOINTS BETWEEN FEN. WALL & STUD TOTAL R-VALUE = R-15.0 (CONTINUOUS)	12mm (1/2") GYPSUM WALLBOARD ON BOTH SIDES OF 2" x 4" W.D. STUDS @ 16" O.C. SPRUCE #2 W/ R12 OR R14 MINERAL WOOL INSULATION IN STUD CAVITY. 5/8" POLY CONT. VAPOUR BARRIER - OFFSET STUD WALL FROM FOUNDATION WALL 2" AWAY. PLACE 2" THICK RIGID INSULATION (CONTINUOUS) W/ TAPED JOINTS BETWEEN FEN. WALL & STUD TOTAL R-VALUE = R-15.0 (CONTINUOUS)
P4	Interior - (P4)	12mm (1/2") GYPSUM WALLBOARD ON WALLS & CEILING. 12mm (1/2") GYPSUM WALLBOARD ON WALLS & CEILING.	12mm (1/2") GYPSUM WALLBOARD ON WALLS & CEILING. 12mm (1/2") GYPSUM WALLBOARD ON WALLS & CEILING.
W1	Window	12mm (1/2") GYPSUM WALLBOARD ON WALLS & CEILING. 12mm (1/2") GYPSUM WALLBOARD ON WALLS & CEILING.	12mm (1/2") GYPSUM WALLBOARD ON WALLS & CEILING. 12mm (1/2") GYPSUM WALLBOARD ON WALLS & CEILING.
W3	Window	12mm (1/2") GYPSUM WALLBOARD ON WALLS & CEILING. 12mm (1/2") GYPSUM WALLBOARD ON WALLS & CEILING.	12mm (1/2") GYPSUM WALLBOARD ON WALLS & CEILING. 12mm (1/2") GYPSUM WALLBOARD ON WALLS & CEILING.
W4	Window	12mm (1/2") GYPSUM WALLBOARD ON WALLS & CEILING. 12mm (1/2") GYPSUM WALLBOARD ON WALLS & CEILING.	12mm (1/2") GYPSUM WALLBOARD ON WALLS & CEILING. 12mm (1/2") GYPSUM WALLBOARD ON WALLS & CEILING.
W5	Window	12mm (1/2") GYPSUM WALLBOARD ON WALLS & CEILING. 12mm (1/2") GYPSUM WALLBOARD ON WALLS & CEILING.	12mm (1/2") GYPSUM WALLBOARD ON WALLS & CEILING. 12mm (1/2") GYPSUM WALLBOARD ON WALLS & CEILING.
FL1	Floor	3/4" FINISHED FLOORING AS NOTED POURED CONCRETE SLAB AS PER STRUCTURAL. SEE NOTE #11 W/ REGARDANT FLOOR FINISH. 1/2" POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONTN. AIR BARRIER. WARM SEES. 150mm (6") INTERIOR GYP. WALL BOARD FINISH. PROVIDE 3/8" WEEP HOLES MAX. 800mm (32") O.C. IN BENCHERS. PROVIDE BASE FLASHING UP MIN. 150mm (6") OR BLUESKIN UP 100 BEHIND BUILDING PAPER. PROVIDE BRICK OR STONE SILLS UNDER ALL OPENINGS & FLASH UNDER SILL.	3/4" FINISHED FLOORING AS NOTED POURED CONCRETE SLAB AS PER STRUCTURAL. SEE NOTE #11 W/ REGARDANT FLOOR FINISH. 1/2" POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONTN. AIR BARRIER. WARM SEES. 150mm (6") INTERIOR GYP. WALL BOARD FINISH. PROVIDE 3/8" WEEP HOLES MAX. 800mm (32") O.C. IN BENCHERS. PROVIDE BASE FLASHING UP MIN. 150mm (6") OR BLUESKIN UP 100 BEHIND BUILDING PAPER. PROVIDE BRICK OR STONE SILLS UNDER ALL OPENINGS & FLASH UNDER SILL.
FL2	Floor	6" CONCRETE SLAB (4" MINIMUM REIN. W/ 6 X 6 @ 600MM (24") FROM TOP OF SLAB. 32 MPa (4650 PSI) MIN. CONCRETE. 8% MIN. AIR ENTRAINMENT. 100mm (4") POLYETHYLENE VAPOUR BARRIER ON WARM SIDE ON MIN. 8" COMPACTED GRANULAR "A" OR CLEAR CRUSHED STONE PER GEOTECH. PROVIDE 2" RIGID INSULATION TO DRAINAGE. PROVIDE 2" RIGID INSULATION TO DRAINAGE. PROVIDE 2" RIGID INSULATION TO DRAINAGE.	6" CONCRETE SLAB (4" MINIMUM REIN. W/ 6 X 6 @ 600MM (24") FROM TOP OF SLAB. 32 MPa (4650 PSI) MIN. CONCRETE. 8% MIN. AIR ENTRAINMENT. 100mm (4") POLYETHYLENE VAPOUR BARRIER ON WARM SIDE ON MIN. 8" COMPACTED GRANULAR "A" OR CLEAR CRUSHED STONE PER GEOTECH. PROVIDE 2" RIGID INSULATION TO DRAINAGE. PROVIDE 2" RIGID INSULATION TO DRAINAGE. PROVIDE 2" RIGID INSULATION TO DRAINAGE.
FL3	Floor	12" GYPSUM WALL BOARD. PER STRUCTURAL NOTES FLOOR JOISTS AS SPECIFIED. CEILING TREATMENT UNLESS INDICATED OTHERWISE AS SHOWN IN CONSTRUCTION DOCUMENTS. DOUBLE JOISTS UNDER PARTITION WALLS PARALLEL TO JOISTS. NOTE: FOR AREAS WITH TILE ABOVE FLOOR JOISTS SPACING 12" O.C. TYP.	12" GYPSUM WALL BOARD. PER STRUCTURAL NOTES FLOOR JOISTS AS SPECIFIED. CEILING TREATMENT UNLESS INDICATED OTHERWISE AS SHOWN IN CONSTRUCTION DOCUMENTS. DOUBLE JOISTS UNDER PARTITION WALLS PARALLEL TO JOISTS. NOTE: FOR AREAS WITH TILE ABOVE FLOOR JOISTS SPACING 12" O.C. TYP.
FL6	Floor	1 1/2" FLAGSTONE TOPPING. STYLE & COLOUR TO BE APPROVED BY OWNER. 1 1/2" FLAGSTONE TOPPING. STYLE & COLOUR TO BE APPROVED BY OWNER.	1 1/2" FLAGSTONE TOPPING. STYLE & COLOUR TO BE APPROVED BY OWNER. 1 1/2" FLAGSTONE TOPPING. STYLE & COLOUR TO BE APPROVED BY OWNER.

# Appendix B

File: 22.245438.00.00.MNV  
Date: 4/11/2024  
MM/DDYY

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No. 1.	Issued for:	Date
2.	ZONING REVISION	2023-SEP-15
	COA REVISION	2024-MAR-07

## contempstudio

1140 The Queensway, Toronto, Ontario M8Z 1P7  
info@contempstudio.ca w.contempstudio.ca  
1. (416) 770-0071 f. (416) 642-1691

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents:

QUALIFICATION INFORMATION			
Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.			
MARIN ZABZUNI		45250	BCIN
REGISTRATION INFORMATION			
Required unless design is exempt under 3.2.4.7, Division C of the Ontario Building Code.			
CONTEMPOSTUDIO		46972	BCIN

2 STOREY DWELLING  
AT  
**67 BABCOMBE DR  
THORNHILL, ON**  
SECOND FLOOR PLAN

Project number:	2022-41
Rev. no.:	1
Scale:	1/4" = 1'-0"
Date:	MARCH, 2024
Drawn by:	C.C.
Approved by:	M.Z.

Drawing number: A4

1 SECOND FLOOR  
1/4" = 1'-0"



# Appendix B

File: 22.245438.000.00.MNV

Date: 4/11/2024

MM/DD/YY

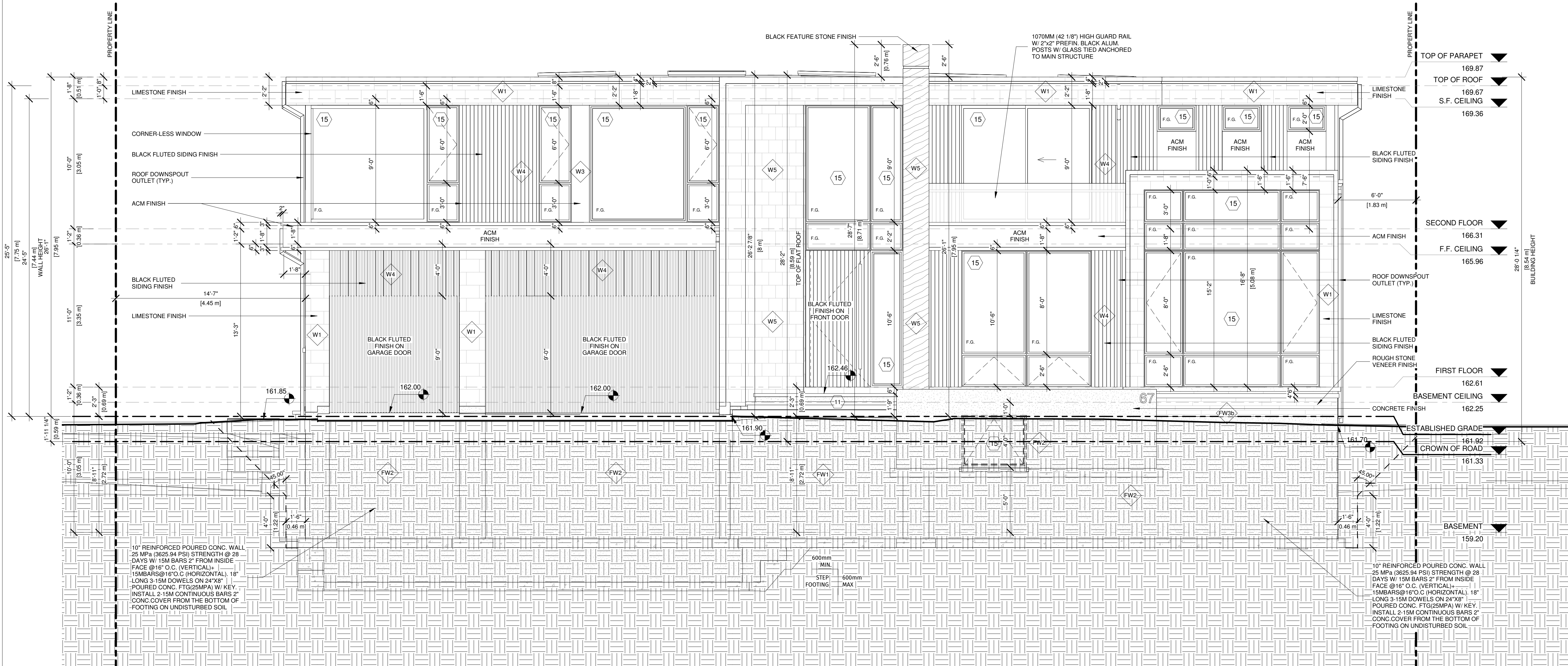
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No.	Issued for:	Date
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2.	COA REVISION	2024-MAR-07



## contempostudio

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 info@contempostudio.ca w. contempostudio.ca  
 1. (416) 770-0071 f. (416) 642-1691

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Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.	
MARIN ZABZUNI	45250
SIGNATURE	BCIN
REGISTRATION INFORMATION	
Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.	
CONTEMPO STUDIO	46972
FIRM NAME	BCIN

2 STOREY DWELLING  
 AT  
 67 BABCOMBE DR  
 THORNHILL, ON

### FRONT ELEVATION

Project number:	2022-41
Rev. no.:	
Scale:	1/4" = 1'-0"
Date:	MARCH, 2024
Drawn by:	C.C.
Approved by:	M.Z.

Drawing number: A6

1 North-East, Front Elevation  
 1/4" = 1'-0"



# Appendix B

File: 22.245438.000.00.MNV

Date: 4/11/2024

MM/DD/YY

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No.	Issued for:	Date
1.	ZONING REVISION	2023-SEP-15
2.	COA REVISION	2024-MAR-07

## contempostudio

1140 The Queensway, Toronto, Ontario M8Z 1P7  
 info@contempostudio.ca w. contempostudio.ca  
 t. (416) 770-0071 f. (416) 642-1691

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents:

**QUALIFICATION INFORMATION**  
 Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.

MARIN ZABZUNI  45250  
 NAME SIGNATURE BCIN

**REGISTRATION INFORMATION**  
 Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.  
 CONTEMPO STUDIO 46972  
 FIRM NAME BCIN

2 STOREY DWELLING

AT  
 67 BABCOMBE DR  
 THORNHILL, ON

RIGHT ELEVATION

Project number:	2022-41
Rev. no.:	As indicated
Scale:	C.C.
Date:	MARCH, 2024
Drawn by:	M.Z.
Approved by:	

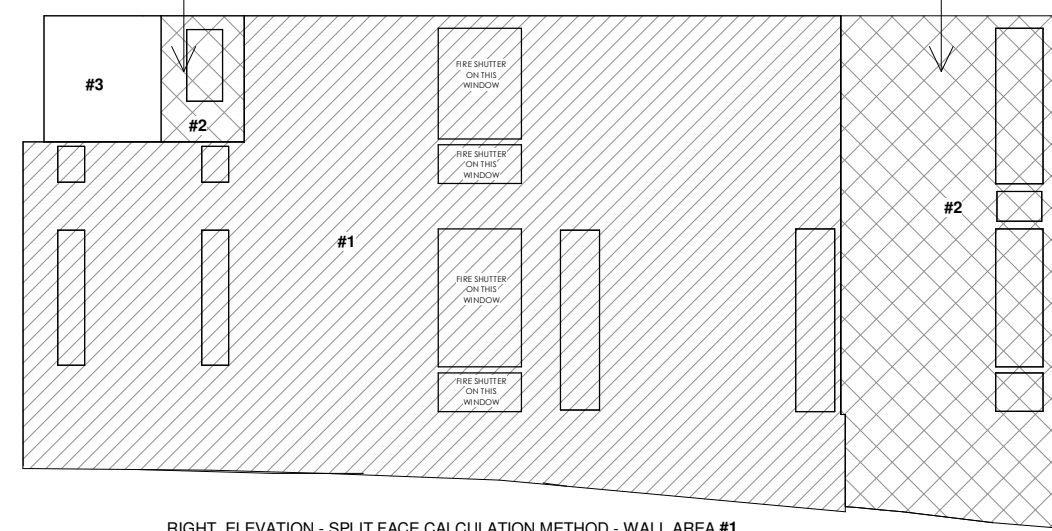
Drawing number:

# A7

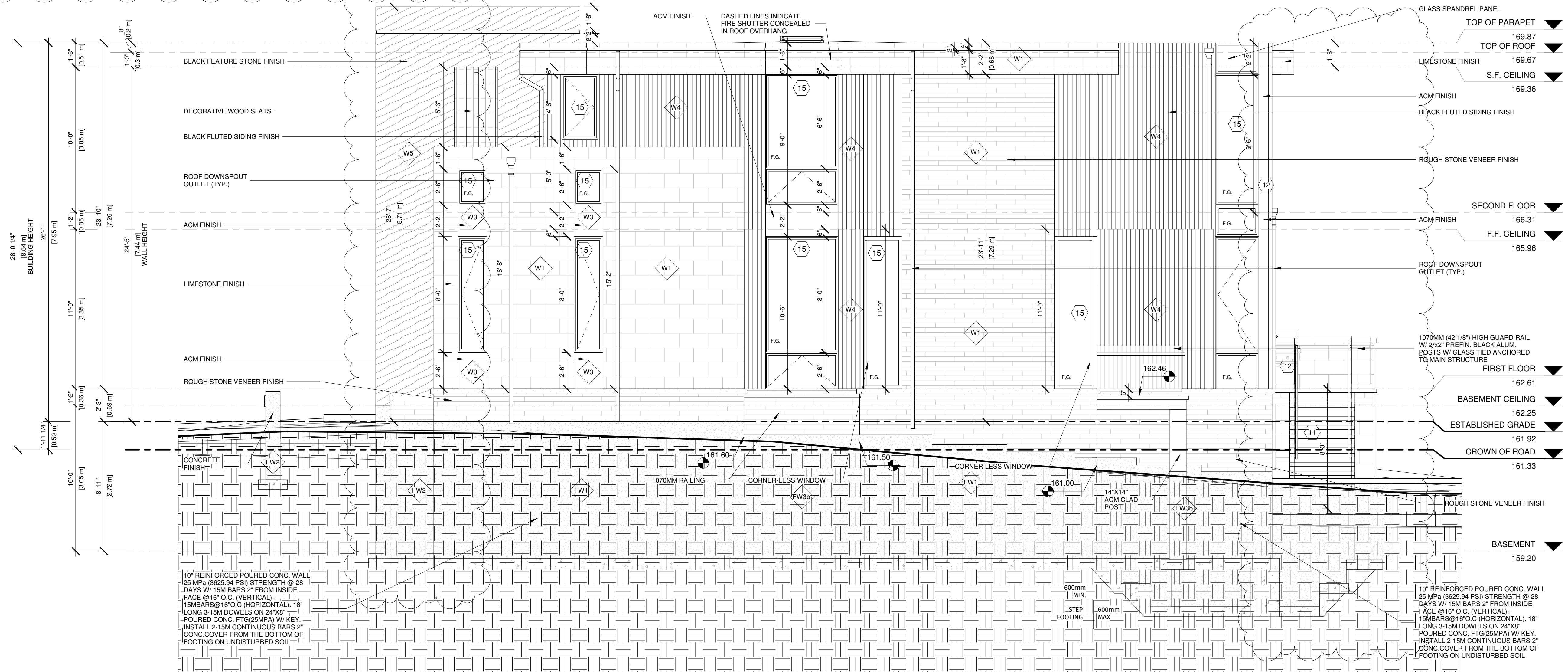
### RIGHT ELEVATION UNPROTECTED AREA CALCS.

3/32" = 1'-0"

**RIGHT ELEVATION - SPLIT FACE CALCULATION METHOD - WALL AREA #3**  
 LIMITING DISTANCE (LD) = 15.72m  
 WALL AREA #3 OF EXPOSED BUILDING FACE = 45.65 SF (4.24m²)  
 TABLE 9.10.15.4 (WITH TOTAL WALL AREA = 1514.74 SF (140.72m²), LD = 15.72m) EXTRAPOLATED MAX ALLOWED PERCENTAGE OF UPO = 89.41%  
 ALLOWABLE UPO AREA: 45.65 SF @ 89.41% = 40.82 SF  
 PROPOSED UPO AREA (WALL AREA #3) = 0 SF (GLAZING AREAS ONLY)  
 (17.72% UNDER THE MAX ALLOWED)



**RIGHT ELEVATION - SPLIT FACE CALCULATION METHOD - WALL AREA #1**  
 LIMITING DISTANCE (LD) = 1.83m  
 WALL AREA #1 OF EXPOSED BUILDING FACE = 1,093.52 SF (101.59m²)  
 TABLE 9.10.15.4 (WITH TOTAL WALL AREA = 1514.74 SF (140.72m²), LD = 1.83m) EXTRAPOLATED MAX ALLOWED PERCENTAGE OF UPO = 7.96%  
 ALLOWABLE UPO AREA: 1,093.52 SF @ 7.96% = 83.76 SF  
 PROPOSED UPO AREA (WALL AREA #1) = 72.40 SF (GLAZING AREAS ONLY)  
 (11.39% UNDER THE MAX ALLOWED)



1 North-West Right Elevation  
 1/4" = 1'-0"



# Appendix B

File: 22.245438.000.00.MNV

Date: 4/11/2024

MM/DD/YY

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MARIN ZABZUNI  
 NAME SIGNATURE 45250 BCIN

REGISTRATION INFORMATION  
 Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.

CONTEMPO STUDIO 46972 BCIN  
 FIRM NAME

2 STOREY DWELLING

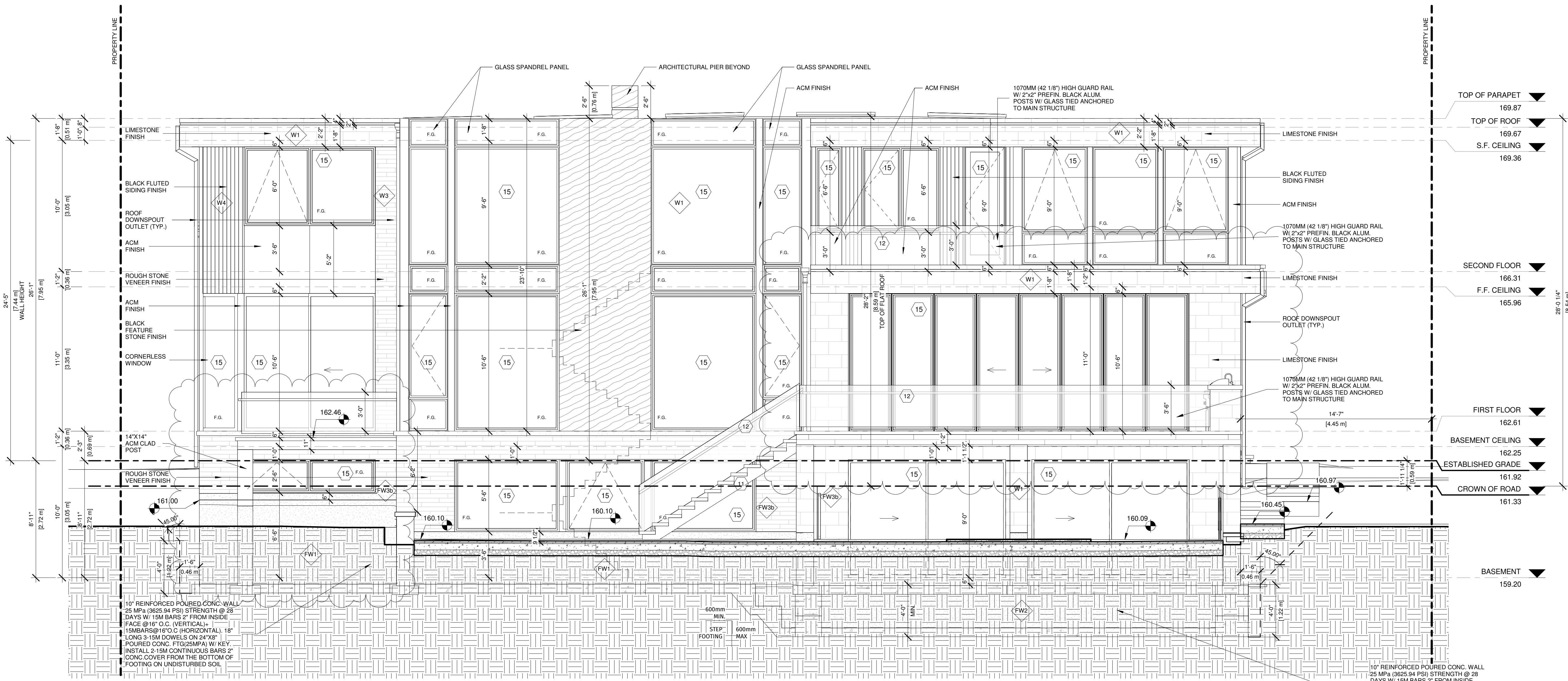
AT  
 67 BABCOMBE DR  
 THORNHILL, ON

REAR ELEVATION

Project number: 2022-41  
 Rev. no.: 1  
 Scale: 1/4" = 1'-0"  
 Date: MARCH, 2024  
 Drawn by: C.C.  
 Approved by: M.Z.

Drawing number:

# A8



① South-West, Rear Elevation  
 1/4" = 1'-0"

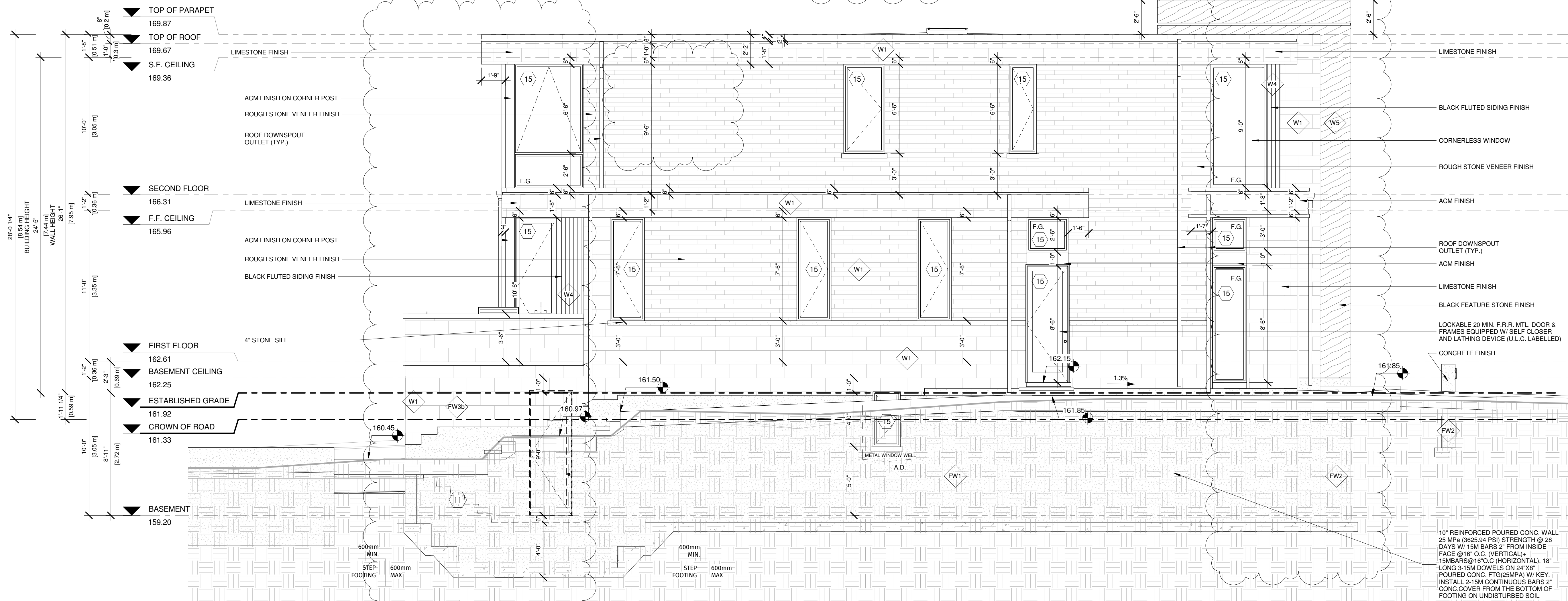


# Appendix B

File: 22.245438.000.00.MNV

Date: 4/11/2024  
MM/DDYY

**WALL AREA**  
UNPROTECTED OPENING CALCULATION AS PER S.10.15.4  
EXPOSING BUILDING FACE AREA 123.30m<sup>2</sup>  
LIMITED DISTANCE 4.45m @ 13.58%  
MAX. ALLOWABLE GLASS OPENING 16.74m<sup>2</sup>  
TOTAL GLASS OPENING PROVIDE 15.05m<sup>2</sup>



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MARIN ZABZUNI  45250  
NAME SIGNATURE BCIN

**REGISTRATION INFORMATION**

Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.  
CONTEMPO STUDIO 46972  
FIRM NAME BCIN

2 STOREY DWELLING

AT  
67 BABCOMBE DR  
THORNHILL, ON

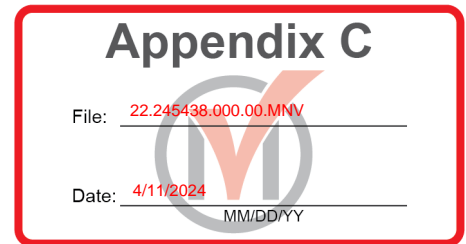
LEFT ELEVATION

Project number: 2022-41  
Rev. no.: 1  
Scale: 1/4" = 1'-0"  
Date: MARCH, 2024  
Drawn by: C.C.  
Approved by: M.Z.

Drawing number:

A9





**CITY OF MARKHAM**  
**Virtual Meeting on Zoom**

**February 21, 2024**  
**7:00 pm**

**COMMITTEE OF ADJUSTMENT**

**Minutes**

The 3<sup>rd</sup> regular meeting of the Committee of Adjustment for the year 2024 was held at the time and virtual space above with the following people present:

Arrival Time

Tom Gutfreund, Acting Chair	7:00 pm
Jeannie Reingold	7:00 pm
Sally Yan	7:00 pm
Patrick Sampson	7:00 pm
Arun Prasad	7:02 pm

Shawna Houser, Secretary-Treasurer  
Greg Whitfield, Supervisor, Committee of Adjustment  
Vrinda Bhardwaj, Development Technician  
Erin O'Sullivan, Development Technician

**Regrets**

Gregory Knight Chair  
Kelvin Kwok

**DISCLOSURE OF INTEREST**

None

**Minutes: February 7, 2024**

THAT the minutes of Meeting No. 2, of the City of Markham Committee of Adjustment, held February 7, 2024 respectively, be:

- a) Approved on February 21, 2024.

**Moved by: Patrick Sampson**  
**Seconded by: Jeannie Reingold**

**Carried**



## **REQUESTS FOR DEFERRAL**

1. **A/218/23**

**Owner Name: Yafang Chen**  
**Agent Name: Prohome Consulting Inc. (Vincent Emami)**  
**66 Fonthill Boulevard, Markham**  
**PLAN 7566 LOT 133**

The applicant was requesting relief from the requirements of By-law 11-72, as amended, to permit:

- a) **By-law 11-72, Section 6.1:**  
a minimum side yard setback of 4 feet, whereas the by-law requires a minimum side yard setback of 6 feet for the two-storey building;
- b) **By-law 11-72, Section 6.1:**  
a maximum lot coverage of 35.85 percent, whereas the by-law permits a maximum lot coverage of 33.33 percent;
- c) **By-law 11-72, Section 6.1:**  
a maximum height of 26 feet 6 inches, whereas the by-law permits a maximum height of 25 feet; and
- d) **By-law 11-72, Section 6.1:**  
a minimum flankage side yard of 12 feet, whereas the by-law requires a minimum flankage side yard of 13 feet 3 inches with half the building height of 26 feet 6 inches;

as it related to a proposed two-storey residential dwelling.

The Acting Chair introduced the application.

Francesco Fiorani, the applicant attended the meeting and requested deferral.

Member Yan motioned for deferral.

**Moved By: Sally Yan**  
**Seconded By: Patrick Sampson**

THAT Application No. **A/218/2023** be **deferred** sine die.

Resolution Carried



## **PREVIOUS BUSINESS**

### **1. A/114/22**

**Owner Name: Sakineh Safarзад Gourabjavar**  
**Agent Name: Contempo Studio (Marin Zabzuni)**  
**67 Babcombe Drive, Thornhill**  
**PLAN M941 LOT 114**

The applicant was requesting relief from the requirements of By-law 1767, as amended, to permit:

- a) **Section 18 (ii)(b):**  
a lot coverage of 34.50 percent, whereas the by-law permits a maximum lot coverage of 33.33 percent;
- b) **By-law 100-90, Section 1.2:**  
a floor area ratio of 48.10 percent, whereas the by-law permits a maximum floor area ratio of 47 percent;
- c) **By-law 100-90, Section 1.2(iii):**  
a maximum building depth of 20.75 metres, whereas the by-law permits a maximum building depth of 16.8 metres;
- d) **Section 12 (iv)(a):**  
a minimum front yard setback of 36.12 feet, whereas the by-law requires that the front yard setback of a dwelling to be erected between two existing dwellings shall comply with the corresponding yards of the two existing dwellings being 42.7 feet;
- e) **Section 9(i):**  
an encroachment of 29 inches for an architectural feature, whereas the by-law permits an encroachment of no more than 18 inches into the required front yard;  
and
- f) **By-law 100-90, Section 1.2(i):**  
a building height of 8.54 metres, whereas the by-law permits a maximum flat roof building height of 8.0 metres;

as it related to the construction of a new two-storey detached dwelling.

The Acting Chair introduced the application.

The agent, Marin Zabzuni appeared on behalf of the application. Marin reviewed each variance and provided an explanation and justification for each request. Marin also indicated they had met with the immediately adjacent neighbours to address concerns.



The Committee received twenty written pieces of correspondence.

Patrick Leung, a front-facing neighbour, spoke to the Committee and opposed the application, noting that they built additions to their home without requiring variances and did not support any of the variances, indicating that the applicant should be required to build to the by-law.

The Acting Chair clarified *Planning Act* provisions for minor variances and noted support for the application in the staff report.

Anthony Szeto, a neighbour, had provided written comments and spoke to the Committee regarding ponding and flooding on adjacent properties, indicating that any increase in lot coverage would decrease absorption and burden the neighbours.

Andrew Levins, an adjacent neighbour, spoke to the Committee, noting their concerns remained the same as shared at the August 2023 meeting. Andrew commented that the application had changed very little. Andrew raised concerns about the massing, including the covered patio and impact on the streetscape, the reduced front yard, drainage, and the removal of trees. Andrew expressed that a significant home could be built without variances.

Jeff Burrell, a front-facing neighbour, spoke to the Committee, expressing concerns that the project had a considerable visual impact on the streetscape as the house would be ahead of the two adjacent properties.

Sarah Langdon, an adjacent neighbour, had met with the applicant, stating that the changes and reductions made since the August meeting were minimal. Of particular concern to Sarah were the impacts that would occur to adjacent rear yards, including reduced privacy, impactful overlook from the balconies, tree removal and damage to neighbouring trees.

Rishi Singh, a rear neighbour, spoke to the Committee about significant drainage issues in the adjacent properties' rear yards with ongoing water pooling. Rishi was concerned that the increased lot coverage of the home and hardscaping related to the covered patios and pool, coupled with tree removal, could worsen the problem.

Samuel Grabski, a neighbour and resident of the street for 22 years, had observed a significant change in the neighbourhood. Samuel noted that with the high water table in the area, many homes were experiencing increased flooding on their lots as the size of homes and lot coverage increased. Samuel was also concerned about removing trees from the property. Samuel spoke to the requests for increased depth, height and encroachment into the front yard, indicating that due to the large lot size, even small numerical increases were significant and could not be considered minor. Samuel objected to the house, contending it did not fit within the neighbourhood. Samuel's concerns related not to style or design but to scale and massing.



Member Reingold noted that the significant community turnout raised concerns about the project's compatibility with the neighbourhood. The member complimented the design of the dwelling but indicated the proposal did not meet the test of desirability as the size and massing would overwhelm the neighbourhood. The encroachment into the front yard would significantly alter the streetscape, and the application did not meet the four tests of the *Planning Act*. Member Reingold did not support variances c) and d).

Member Yan noted that the applicant had met with the neighbours but observed that the neighbours' concerns remained essentially unchanged since the last meeting. The member indicated the property size permitted a large house as of right, and the request for multiple variances created issues of scale and massing with cumulative impacts. Member Yan considered variances a), b), e) and f) minor but did not support variances c) and d), stating they were not minor and contributed to overbuilding of the rear amenity space, front yard greenspace and sightlines on the streetscape.

Member Sampson, indicated the scale and massing presented cumulative impacts for adjacent properties and the streetscape.

Member Prasad agreed with their colleague's assessment and recommendations.

The Acting Chair noted that the property size permitted a very large house as-of-right within the zoning standards. The numerous variances requested resulted in the overbuilding of the rear yard and significant changes to the streetscape. The Acting Chair noted the members' concerns and asked the agent how they wished to proceed.

Marin Zabzuni requested a deferral.

Member Reingold motioned for deferral.

**Moved by: Jeamie Reingold**  
**Seconded by: Sally Yan**

THAT Application No. **A/114/22** be **deferred** sine die.

Resolution Carried

**2. A/123/23**

**Owner Name: Roger Nguyen**  
**Agent Name: In Roads Consultants (Ida Evangelista)**  
**221 The Meadows Avenue, Markham**  
**PLAN 65M4306 LOT 156**

The applicant was requesting relief from the requirements of By-law 177-96, as amended, to permit:



- a) **By-law 177-96, Section 6.3.1.7(a):**  
a garage lot coverage of 19.71 percent, whereas the by-law permits a maximum of 15 percent;
- b) **By-law 177-96, Section 7.190.2(c)(ii):**  
a side yard setback of 0.01 metres, whereas the by-law permits a maximum of 0.3 metres;
- c) **By-law 177-96, 6.3.1.2:**  
a setback from the main building of 5.80 metres, whereas the by-law requires a minimum of 6.0 metres; and
- d) **By-law 28-97, Section 3.0:**  
2 parking spaces, whereas the by-law requires 3 parking spaces;

as it related to a coach house.

The Acting Chair introduced the application.

The agent, Ida Evangelista appeared on behalf of the application.

Member Sampson noted that the application was similar to a previous application approved by the Committee on The Meadows Avenue. Member Sampson agreed with the staff report, indicating that the requests were minor.

Member Reingold noted that the irregular lot shape contributed to the need for variances and considered the variances minor and desirable without significantly impacting adjacent properties.

Member Sampson motioned for approval with conditions.

**Moved by: Patrick Sampson**  
**Seconded s: Jeamie Reingold**

The Committee unanimously approved the application.

THAT Application No. **A/123/23** be **approved** subject to conditions contained in the staff report.

Resolution Carried

**3. A/184/23**

**Owner Name: Yongqin Li**  
**Agent Name: Humphries Planning Group Inc. (Puneh Jamshidi)**  
**10197 Victoria Square Boulevard, Markham**



**CON 4 PT LT 22 65R25245 PT 5**

The applicant was requesting relief from the requirements of By-law 304-87, as amended, to permit:

- a) **By-law 304-87, Section 7.1:**  
an accessory garden suite dwelling to be located in the front yard whereas, the by-law does not permit an accessory building in the front yard;
- b) **By-law 304-87, Section 7.5 (b)(i):**  
a south side yard setback of 1.6 metres for the house whereas, the by-law requires a minimum side yard setback of 3 metres;
- c) **By-law 304-87, Section 7.5 (b)(i):**  
a north side yard setback 2.02 metres for the garden suite whereas, the by-law requires a minimum side yard setback of 3 metres;
- d) **By-law 304-87, Section 7.5 (b)(i):**  
a 3.6 metre front yard setback for the garden suite whereas, the by-law requires a minimum front yard setback of 7.5 metres;

as it related to a proposed two-storey detached dwelling and a proposed one-storey accessory garden suite in the front yard.

The Acting Chair introduced the application.

The agent, Rosemarie Humphries, appeared on behalf of the application. Rosemarie indicated that the variance requests were needed to allow the proposal to work within the constraints of the property. Due to the meander belt of the watercourse, the development of the property needed to be toward the front of the lot. The requested setbacks were similar to setbacks for other structures within the area. The proposed home was further from the street, and the garden suite would have setbacks similar to the existing home.

The Committee received one written piece of correspondence.

Joan Smith, an adjacent neighbour, spoke to the Committee, indicating that the reduced setbacks of the proposal impacted the privacy of the adjacent properties, the streetscape, and the proposed cycle lanes and sidewalks. Joan expressed the garden suite in the front yard was out of character for the area.

Member Sampson commented that the proposed garden suite within the front yard was not in keeping with other secondary suites within the city and was out of character for the area.

The Acting Chair asked if other locations had been considered for the accessory dwelling unit. Rosemarie Humphries indicated that site restraints did not allow for the construction of the unit in the rear yard and that the owners had considered a coach house over the garage but had elected for a detached unit.

Member Reingold understood the measures of using garden suites to create additional housing and urban living spaces. However, the Victoria Square area maintained a "rural" sense of the original development, and the garden suite did not suit the composition of the streetscape or complement the existing built form of the area or the proposed main house. Member Reingold was uncertain of the desirability of the garden suite in the front yard.

Member Yan commented that garden suites were typically ancillary and complimentary to the main house and considered the current configuration negatively impacting the streetscape.

Rosemarie's response to the member's comments determined that the plans attached to the staff report differed from those provided to the members and on the city website.

Considering the member's comments regarding the garden suite, Rosemarie requested a deferral to address the concerns raised.

Member Reingold motioned for deferral.

**Moved by: Jeamie Reingold**  
**Seconded by: Sally Yan**

THAT Application No. **A/184/23** be **deferred** sine die.

Resolution Carried

**NEW BUSINESS:**

**1. A/207/23**

**Owner Name: Brian Tsang**  
**Agent Name: Digitech Designs Inc. (Andre Grisolia)**  
**111 Grandview Avenue, Thornhill**  
**PLAN 2446 LOT 276 W PT LOT 275**

The applicant was requesting relief from the requirements of By-law 2237, as amended, to permit:

- a) By-law 101-90, Section 1.2 (iv):**  
a maximum building depth of 20 metres, whereas the by-law permits a maximum building depth of 16.8 metres;



as it related to a proposed rear covered porch and cabana.

The Acting Chair introduced the application.

The agent, Andre Grisolia, appeared on behalf of the application.

The Committee received one written piece of correspondence.

Gholamabbas Keshavarzi & Zahra Alian, neighbours, spoke to the Committee regarding potential impacts on privacy, disruptions to the harmony of the area, and concerns that approval could set precedents.

Member Yan agreed with the staff report, noting that only one variance was required, the proposal was minor, it met the four tests of the *Planning Act*, and had minimal impacts.

Member Reingold confirmed with the owner, Brian Tsang, that the neighbours to the west had no concerns with the proposal.

Member Sampson motioned for approval with conditions.

**Moved by: Patrick Sampson**  
**Seconded by: Arun Prasad**

The Committee unanimously approved the application.

THAT Application No. **A/207/23** be **approved** subject to conditions contained in the staff report.

Resolution Carried

**2. A/208/23**

**Owner Name: Ru Hong Zhao**  
**Agent Name: Frank Rotundo Architect Inc. (Frank Rotundo)**  
**4 Strathroy Crescent, Markham**  
**PLAN 65M4306 LOT 156**

The applicant was requesting relief from the requirements of By-law 1229, as amended, to permit:

- a) **By-law 1229, Section Table 11.1:**  
a lot coverage of 38.99 percent, whereas the by-law permits a maximum lot coverage of 35 percent;

as it related to a proposed shed.

The Acting Chair introduced the application.

The agent, Frank Rotundo, appeared on behalf of the application. Frank indicated that the proposed shed replaced an existing pre-fabricated shed at the rear of the property and had been designed to meet all other zoning requirements. The increased lot coverage was related to the shed and would not increase the size of the home.

The Committee received one piece of correspondence.

Elizabeth Brown, Committee of Adjustment representative for Markham Village, Sherwood Conservation Residents Association, indicated that large sheds such as the one proposed were not minor and could impact the large trees at the rear of the property. Elizabeth noted that the infill dwelling had been built to maximum lot coverage, and the request could set a precedent for lot coverage for infill homes and accessory buildings.

Member Sampson clarified the intended use of the shed, commended the applicant for applying for permits and variances, and motioned for approval with conditions.

**Moved by: Patrick Sampson**

**Seconded by: Sally Yan**

The Committee unanimously approved the application.

THAT Application No. **A/208/23** be **approved** subject to conditions contained in the staff report.

Resolution Carried

**3. A/009/24**

**Owner Name: Ronald Langendyk and Brenda Langendyk**  
**Agent Name: DB Designs (Dylan Borsten)**  
**29 Pringle Avenue, Markham**  
**PLAN M1385 LOT 29**

The applicant was requesting relief from the requirements of By-law 1229, as amended, to permit:

**a) Section 11.2 (c) (i):**

a porch to encroach 34.6 inches into a required yard, whereas the by-law permits a maximum encroachment of 18 inches;



**b) Table 11.1:**

a rear yard setback of 16.99 feet, whereas the by-law requires a minimum rear yard setback of 25 feet; and

**c) Amending By-law 99-90, Section 1.2(iii):**

a depth of 24.4 metres, whereas the by-law permits a maximum depth of 16.8 metres;

as it related to a proposed addition to a residential dwelling.

The Acting Chair introduced the application.

The agent, Dylan Borsten, appeared on behalf of the application.

The Committee received one piece of correspondence.

Member Sampson clarified with the applicant that work would be done to the front of the home as well as the rear yard addition.

The Acting Chair indicated that the requests were reasonable for a single-storey addition on an irregular lot, that the addition would not impose on the streetscape or the public realm, and that it met the four tests of the *Planning Act*.

Elizabeth Brown, Committee of Adjustment representative for Markham Village, Sherwood Conservation Residents Association, asked what type of structure the existing house was and if it would be maintained with the addition. Dylan Borsten confirmed that the existing home was a back split and that the addition would maintain the form.

Member Reingold felt that given the lot's irregular shape, the addition was sensible and would not impact the neighbours.

Member Yan appreciated the complimentary design, noting that options for additions to the existing structure were limited. Member Yan expressed that the application met the four tests of the *Planning Act* and would not impact the neighbours.

Member Yan motioned for approval with conditions.

**Moved by: Sally Yan**

**Seconded by: Jeamie Reingold**

The Committee unanimously approved the application.

THAT Application No. **A/009/23** be **approved** subject to conditions contained in the staff report.

Resolution Carried

Adjournment

**Moved by: Arun Prasad**  
**Seconded by: Sally Yan**

THAT the virtual meeting of the Committee of Adjustment was adjourned at 9:16 pm, and the next regular meeting would be held on March 6, 2024.

CARRIED



---

Secretary-Treasurer  
Committee of Adjustment



---

Chair  
Committee of Adjustment



**To:** *Shawna Houser, Secretary-Treasurer, Committee of Adjustment*; City of Markham  
**From:** *Third Party Projects Review - Adjacent Developments - GO Expansion and LRT*  
**Date:** *December 11<sup>th</sup>, 2023*  
**Re:** **A/114/22 - 67 Babcombe Drive, Thornhill**

File: 22.245438.000.00.MNVDate: 4/11/2024  
MM/DD/YY

Metrolinx is in receipt of the minor variance application for 67 Babcombe Dr, Thornhill to facilitate the construction of a new two-storey detached dwelling. Metrolinx's comments on the subject application are noted below:

- The subject property is located within 300 meters of Metrolinx's Bala Subdivision which carries Metrolinx's Richmond Hill GO Train service.
- As per section 3.9 of the Federation of Canadian Municipalities and Railway Association of Canada's Guidelines for New Development in Proximity to Railway Operations, the Owner shall grant Metrolinx an environmental easement for operational emissions. The environmental easement provides clear notification to those who may acquire an interest in the subject property and reduces the potential for future land use conflicts. The environmental easement shall be registered on title of the subject property. A copy of the form of easement is included for the Owner's information. The applicant may contact [Farah.Faroque@metrolinx.com](mailto:Farah.Faroque@metrolinx.com) with questions and to initiate the registration process. (It should be noted that the registration process can take up to 6 weeks).

Should you have any questions or concerns, please do not hesitate to contact the undersigned.

Best regards,  
Farah Faroque  
Project Analyst, Third Party Projects Review  
Metrolinx  
10 Bay Street | Toronto | Ontario | M5J 2N8

**Form of Easement**

WHEREAS the Transferor is the owner of those lands legally described in the Properties section of the Transfer Easement to which this Schedule is attached (the “**Easement Lands**”).

IN CONSIDERATION OF the sum of TWO DOLLARS (\$2.00) and such other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged by the Transferor, the Transferor transfers to the Transferee, and its successors and assigns, a permanent and perpetual non-exclusive easement or right and interest in the nature of a permanent and perpetual non-exclusive easement over, under, along and upon the whole of the Easement Lands and every part thereof for the purposes of discharging, emitting, releasing or venting thereon or otherwise affecting the Easement Lands at any time during the day or night (provided that doing so is not contrary to law applicable to Metrolinx) with noise, vibration and other sounds and emissions of every nature and kind whatsoever, including fumes, odours, dust, smoke, gaseous and particulate matter, electromagnetic interference and stray current but excluding spills, arising from or out of, or in connection with, any and all present and future railway or other transit facilities and operations upon the lands of the Transferee and including, without limitation, all such facilities and operations presently existing and all future renovations, additions, expansions and other changes to such facilities and all future expansions, extensions, increases, enlargement and other changes to such operations.

THIS Easement and all rights and obligations arising from the above easement shall extend to, be binding upon and enure to the benefit of the parties hereto and their respective officers, directors, shareholders, agents, employees, tenants, sub-tenants, customers, licensees and other operators, occupants and invitees and each of its or their respective heirs, executors, legal personal representatives, successors and assigns. The covenants and obligations of a party hereto, if such party comprises more than one person, shall be joint and several.

Easement in gross.