

Memorandum to the City of Markham Committee of Adjustment

November 26, 2020

File: A/108/20
Address: 215 Webb Street, Markham
Applicant: Cornell Rouge Development Corp.
Agent: Madison Homes Cornell Limited
Hearing Date: Wednesday December 02, 2020

The following comments are provided on behalf of the East Team:

The applicant is requesting relief from the following Residential Two (R2) Exception *190*192*514 (R2*190*192*514) zone requirements of By-law 177-96, as amended, as it relates to a proposed two-storey detached dwelling on the subject property. The variance requested is as follows:

a) By-law 177-96, Section 7.192.1(IV)

To increase the required set back from the rear lot line of an attached private garage that contains the opening for motor vehicle access from 1.20 m (3.94 ft) to 6.0 m (19.69 ft) from the rear lot line.

BACKGROUND

Property Description

The 427.8 m² (4,604.8 ft²) subject property is a corner lot, located on the east side of Webb Street, south side of Elsegood Avenue. More generally, the subject property is located south of 16th Avenue and west of Donald Cousens Parkway, within the Cornell Community. The subject property, and abutting lands to the north, south, east and west, are vacant and proposed to be developed with low rise residential housing as part of a registered plan of subdivision. These dwellings are proposed to be lane-based which is consistent with the predominant built form in the Cornell Community in which motor vehicle access and parking will be provided to attached or detached private garages on public rear lanes.

Proposal

The applicant is proposing to construct a two-storey detached dwelling with an attached two-car garage and a 6 m (19.69 ft) long driveway accessing the rear lane. The proposal also includes second-storey living space above the attached garage and rear and exterior side yard amenity space along the north side of the property.

Official Plan and Zoning

Official Plan 2014 (partially approved on Nov 24/17, and further updated on April 9/18)

The subject property is designated "Residential Low Rise", which provides for low rise housing forms including single detached dwellings. Section 8.2.3.6 of the 2014 Official Plan outlines development criteria for new residential development including having street related buildings with consistent setbacks to create a harmonious relationship to the street and enhancing the pedestrian landscape with attractive streetscapes and landscaping, amongst other criteria.

Zoning By-Law 177-96

The subject property is zoned Residential Two Exception *190*192*514 (R2*190*192*514) under By-Law 177-96, as amended, which permits various forms of low rise housing including single detached dwellings. Exception *190 permits one (1) accessory dwelling unit as an

additional use above a private garage, and provides additional area specific development standards.

Exception *514 provides for additional area specific zone standards to permit a minimum rear yard of 0.6 m (1.97 ft) and maximum garage and driveway width of 6.1 m (20 ft).

Exception *192 also provides area specific development standards for corner lots and semi-detached dwellings. Section 7.192.1 a) iv) states:

“the wall of the attached private garage that contains the opening for motor vehicle access shall be set back no further than 1.2 metres (3.94 ft) from the rear lot line”.

As the proposed garage is setback 6.0 m (19.69 ft) from the rear lot line, the applicant has submitted a variance application to permit this increased setback.

Zoning Preliminary Review (ZPR) Not Undertaken

The owner has confirmed that a Zoning Preliminary Review (ZPR) has not been conducted. However, the applicant has received comments from the building department through their permit process to confirm the variances required for the proposed development.

COMMENTS

The Planning Act states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained; and
- d) The general intent and purpose of the Official Plan must be maintained.

Increased Garage Setback

The applicant is requesting an increase in the required setback from the rear lot line of an attached private garage that contains the opening for motor vehicle access from 1.2 m (3.94 ft) to 6.0 m (19.69 ft). This is an increase of 4.8 m (15.75 ft) from the rear lot line. This provision is applicable to only single detached dwellings with an attached private garage on corner lots. The intent of this provision is to ensure corner lots have reduced driveway paving in the rear and flankage yards.

While the intent of the by-law provision is to reduce overall paving in the rear yard, specifically corner lots, staff have reviewed the proposal with urban design and are satisfied that sufficient rear yard amenity space and soft landscaping will be provided. Staff note that the maximum driveway width is 6.1 m (20 ft), and that additional paving into the flankage yard is not permitted. The proposed garage is accessed by the rear lane and the siting is compatible to proposed development within the surrounding context. Staff have no concerns with the approval of this variance.

PUBLIC INPUT SUMMARY

No written submissions were received as of November 23, 2020. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

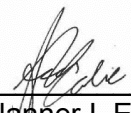
CONCLUSION

Planning Staff have reviewed the application with respect to Section 45(1) of The Planning Act, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variance request meets the four tests of the Planning Act. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Please see Appendix "A" for conditions to be attached to any approval of this application.

PREPARED BY:



Aqsa Malik, Planner I, East District

REVIEWED BY:



Stephen Corr, Senior Planner, East District

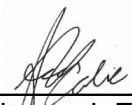
File Path: Amanda\File\ 20 130702 \Documents\District Team Comments Memo

APPENDIX “A”

CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/108/20

1. The variances apply only to the proposed development as long as it remains; and
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as ‘Appendix B’ to this Staff Report, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction.

CONDITIONS PREPARED BY:



Aqsa Malik, Planner I, East District

Appendix B

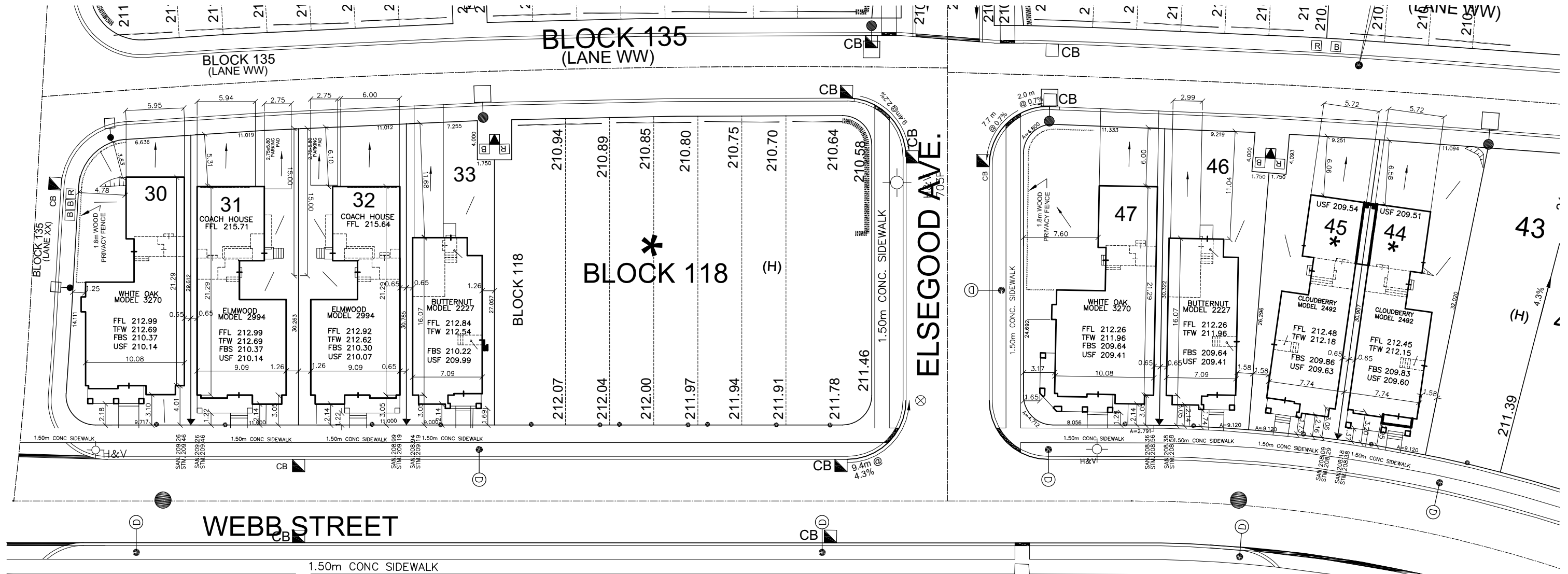
File: 20.130702.000.00.MNV

Date: 11/27/20

MM/DD/YY

File: 20.130702.000.00.MNV

Date: 11/27/20
MM/DD/YY



GENERAL NOTES

- ★ 1. Builder and Surveyor to confirm difference between FFL and USF before proceeding with excavation. Report discrepancies to the Architect.
2. Surveyor is to comply with current subdivision zoning regarding setbacks in laying out the work. Any discrepancies are to be reported to the Architect and the builder immediatly.
3. The builder shall comply with all current standards for Local Municipal Subdivision Lot Drainage and Grading as they relate to max. & min. slopes for yards, swales & drives and clearances to street furniture and services for driveways.
4. The builder shall check and verify all given grade elevations and drainage prior to commencement of construction. Builder shall verify location of existing and proposed utilities prior to commencement of construction.
5. Footings to bear on natural undisturbed soil and be a min. of 1.22m below finished grade. Underside of footings shown are taken from architectural plans and may not represent actual footing level.

6. All dimensions and grade elevations are shown in metres.
7. Unless otherwise indicated, finished floor level is 0.40m above Specified House Grade at entry points to house and provision of 2 risers at entries must be made to gain entry into house. Maintain top of foundation wall min. 0.15m above finished grade.
8. Unprotected openings (windows,doors) must be min 1.2m from lot lines. Builder to verify location of all windows relative to lot line to maintain min. setback for unprotected openings.
9. These General Notes apply to all drawings for Siting & Grading including siting on individual sheets.
10. All front and rear yards shall be graded at a 2% – 5% grade within 6.0m of the dwelling unit.
11. Base curb elevation to be checked vs garage slab elevation to ensure adequate driveway grade before constructing garage.
12. Downspouts to discharge onto ground via splash pad.
13. For details of the laneway & privacy fence refer to the landscape drawings.

BUILDING TO ENSURE WATERBOX IS ACCESSIBLE AND OPERATIONAL AT ALL TIMES.

Appendix B

File: 20.130702.000.00.MNV

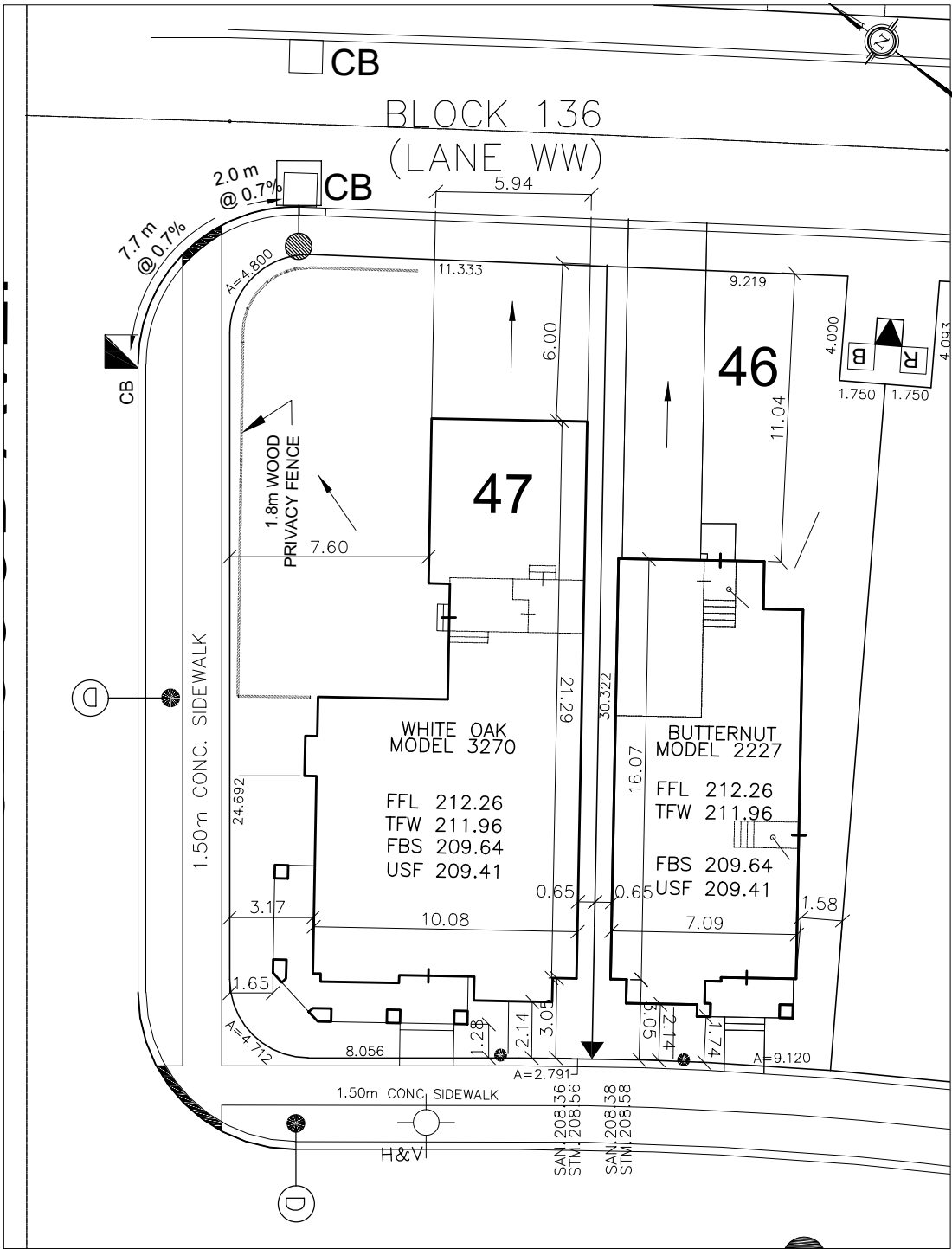
Date: 11/27/20

MM/DD/YY

LEGEND

- 286.0 PROPOSED GRADES
- 286.0 LOT CORNER
- 286.0 PROPOSED GRADE
- DIRECTION OF FLOW
- FFL FINISHED FLOOR LEVEL
- FGF FINISHED GROUND FLOOR
- FLH FINISHED LANDING HEIGHT
- TFW TOP OF FOUNDATION WALL
- FFER/F FINISHED FLOOR ENTRY REAR/FRONT
- USFR/F UNDERSIDE OF FOOTINGS REAR/FRON
- FBS FINISHED BASEMENT SLAB
- AMENITY SPACE
- STREET LIGHT
- LANEWAY STREET LIGHT
- HYDRANT
- TRANSFORMER
- VALVE CHAMBER
- WATER SERVICE
- STORM & SANITARY CONNECTION
- CABLE TV PEDESTAL
- BELL PEDESTAL
- CATCH BASIN
- EXTERIOR DOOR LOCATION
- SWALE DIRECTION
- W.O.D WALK OUT DECK
- W.O.B WALK OUT BASEMENT
- R REVERSE PLAN
- DOWNSPOUT
- ENGINEERED FILL
- STREET SIGN
- HYDRO TAIL

ELSEGOOD AVENUE



WEBB STREET

NOTES

Engineered truss drawings to be submitted to the architect for co-ordination of structure.

The architect has not been retained to carry out general review of the work and assumes no responsibility for the failure of the contractor or sub-contractor to carry out the work in accordance with the documents.

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DO NOT SCALE DRAWING

LOT GRADING

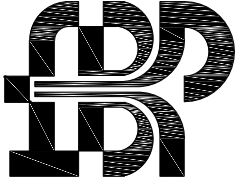
wsp

REVIEWED
REVIEWED AS MODIFIED
REVISE AND RE-SUBMIT FOR REVIEW
NOT REVIEWED

This review by the undersigned is for the sole purpose of ascertaining conformance with the general grading concept, but no approval is given or responsibility assumed by the undersigned for correctness of dimensions or details or conformity to zoning by-law, which remain the responsibility of the architect.
Builder to verify lateral elevations prior to digging foundation.

Date By

DO NOT SCALE DRAWING



70 Siltan Road, Unit #01,
Woodbridge, Ontario, L4L 8B9
(905) 265-2688

MADISON HOMES
CORNELL ROUGE PHASE 7
HOUSE SITING & GRADING
LOT 47

Date Checked By

09.10.19

Job Number Drawn By

17-1327 FP

Scale

1:250

Cad Dwg. Sheet Number

LOT 47

GENERAL NOTES

- ★ 1. Builder and Surveyor to confirm difference between FFL and USF before proceeding with excavation. Report discrepancies to the Architect.

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BUILDING TO ENSURE WATERBOX IS ACCESSIBLE AND OPERATIONAL AT ALL TIMES.

Appendix B

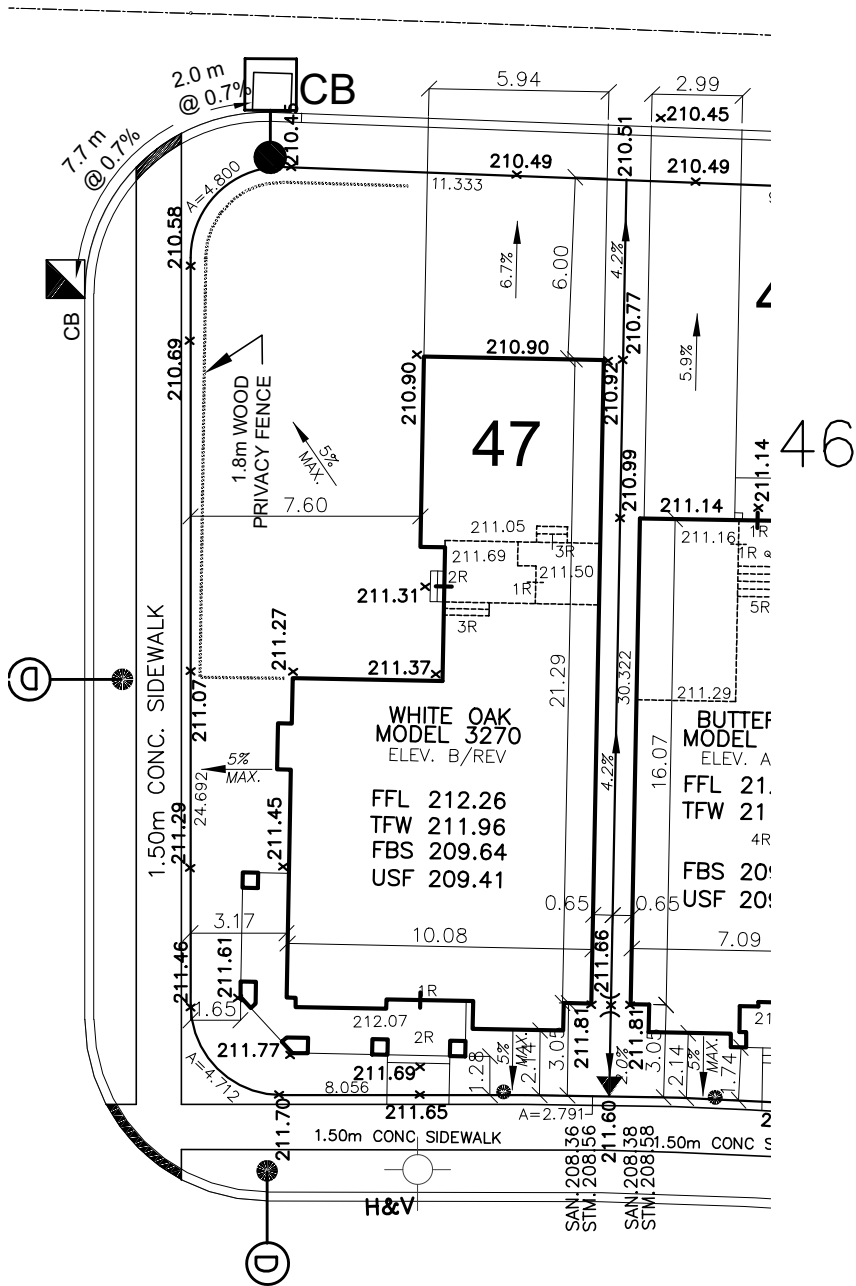
File: 20.130702.000.00.MNV

Date: 11/27/20

MM/DD/YY

BLOCK 136 (LANE WW)

ELSEGOOD AVENUE



WEBB STREET

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THE PLANNING PARTNERSHIP LTD.
Design Control Review

I, Richard F. Merrill of The Planning Partnership Ltd., certify that the Plans/Drawings comply with the approved architectural control guidelines. This stamp is ONLY for the purposes of design control and carries no other professional obligation.

Reviewed By: [Signature]
Date: September 17, 2020
Reviewed for: Final Review

LOT GRADING



REVIEWED ☒
REVIEWED AS MODIFIED ☐
REVISE AND RE-SUBMIT FOR REVIEW ☐
NOT REVIEWED ☐

This review by the undersigned is for the sole purpose of ascertaining conformance with the general grading concept, but no approval is given or responsibility assumed by the undersigned for correctness of dimensions or details or conformity to zoning by-law, which remain the responsibility of the architect.
Builder to verify lateral elevations prior to digging foundation.

Date: SEPT. 11, 2020 By: [Signature]

LEGEND

- 286.0

PROPOSED GRADES
- ⊙

LOT CORNER
- ×

286.0

PROPOSED GRADE
- DIRECTION OF FLOW
- FFL

FINISHED FLOOR LEVEL
- FGF

FINISHED GROUND FLOOR
- FLH

FINISHED LANDING HEIGHT
- TFW

TOP OF FOUNDATION WALL
- FFER/F

FINISHED FLOOR ENTRY REAR/FRONT
- USFR/F

UNDERSIDE OF FOOTINGS REAR/FRONT
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- STORM & SANITARY CONNECTION
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- BELL PEDESTAL
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- EXTERIOR DOOR LOCATION
- SWALE DIRECTION
- W.O.D

WALK OUT DECK
- W.O.B

WALK OUT BASEMENT
- 'R'

REVERSE PLAN
- DOWNSPOUT
- ENGINEERED FILL
- STREET SIGN
- HYDRO TAIL



09.10.20	FP	FOR FINAL GRADING APPROVAL
08.27.20	FP	FOR GRADING REVIEW
DATE	REF.	DESCRIPTION

DO NOT SCALE DRAWING



MADISON HOMES CORNELL ROUGE PHASE 7 HOUSE SITING & GRADING LOT 47

Date	Checked By
09.10.19	
Job Number	Drawn By
17-1327	FP
Scale	1:250
Cad Dwg.	Sheet Number
LOT 47	

MADISON HOMES

CORNELL
MARKHAM, ON

WHITE OAK 3270- CORNER 12.00 m LOTS

DRAWING LIST:

A0.1	TITLE SHEET /OBC DATA MATRIX	A3.1	DETAILS
A1.1	BASEMENT PLAN ELEV. 'A' & 'B' / PART BASEMENT PLAN	A3.2	DETAILS
		A4.1	SECTION
A1.2	FIRST & SECOND FLOOR PLAN ELEV. 'A'	A5.1	GENERAL NOTES
A1.3	OPTIONAL SECOND FLOOR PLAN EL. 'A'	A5.2	GENERAL NOTES
A1.4	FIRST & SECOND FLOOR PLAN ELEV. 'B'		
A1.5	OPTIONAL SECOND FLOOR PLAN EL. 'B'		
A1.6	ROOF PLAN 'A' AND 'B'		
A2.1	FRONT ELEVATION 'A' AND 'B'		
A2.2	LEFT SIDE ELEVATION 'A' AND 'B'		
A2.3	RIGHT SIDE ELEVATION 'A' AND 'B'		
A2.4	REAR ELEVATION 'A' AND 'B'		

Appendix B

File: 20.130702.000.00.MNV

Date: 11/27/20 MM/DD/YY

DATE	REF.	DESCRIPTION

Engineered truss drawings to be submitted to the architect for co-ordination of structure.

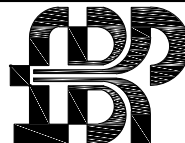
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Woodbridge, Ontario, L4L 8B9
(905) 265-2688

MADISON HOMES

CORNELL
MARKHAM, ONTARIO

MODEL: WHITE OAK 3270 - CORNER
12.00 m LOTS

Date JULY 2018 Checked By

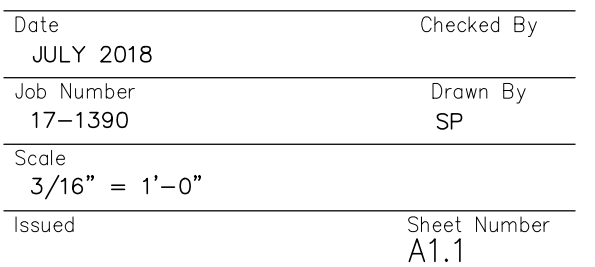
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Scale

Issued Sheet Number A0.1

MM/DD/YY

DO NOT SCALE DRAWING



Appendix B

File: 20.130702.000.00.MNV

Date: 11/27/20

MM/DD/YY

DATE	REF.	DESCRIPTION
SEPT. 09 2019	AF	REV. AS PER CITY COMMENTS
MAY 09 2019	AF	REV. AS PER ENG. COMMENTS
Apr. 26 2019	AF	REV. AS PER TRUSS LAYOUT
Apr. 03 2019	AF	REV. AS PER CLIENT COMMENTS
FEB 23 2019	AF	REV. AS PER CLIENT COMMENTS

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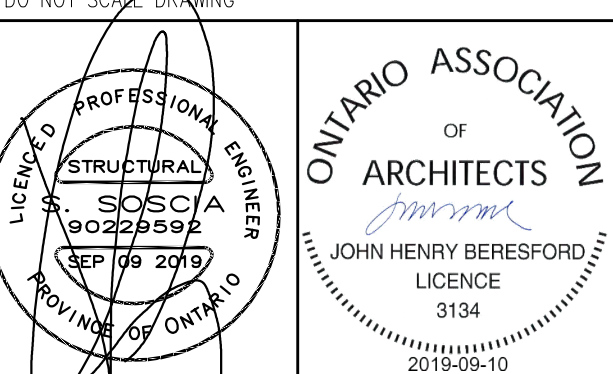
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MADISON HOMES

CORNELL
MARKHAM, ONTARIO

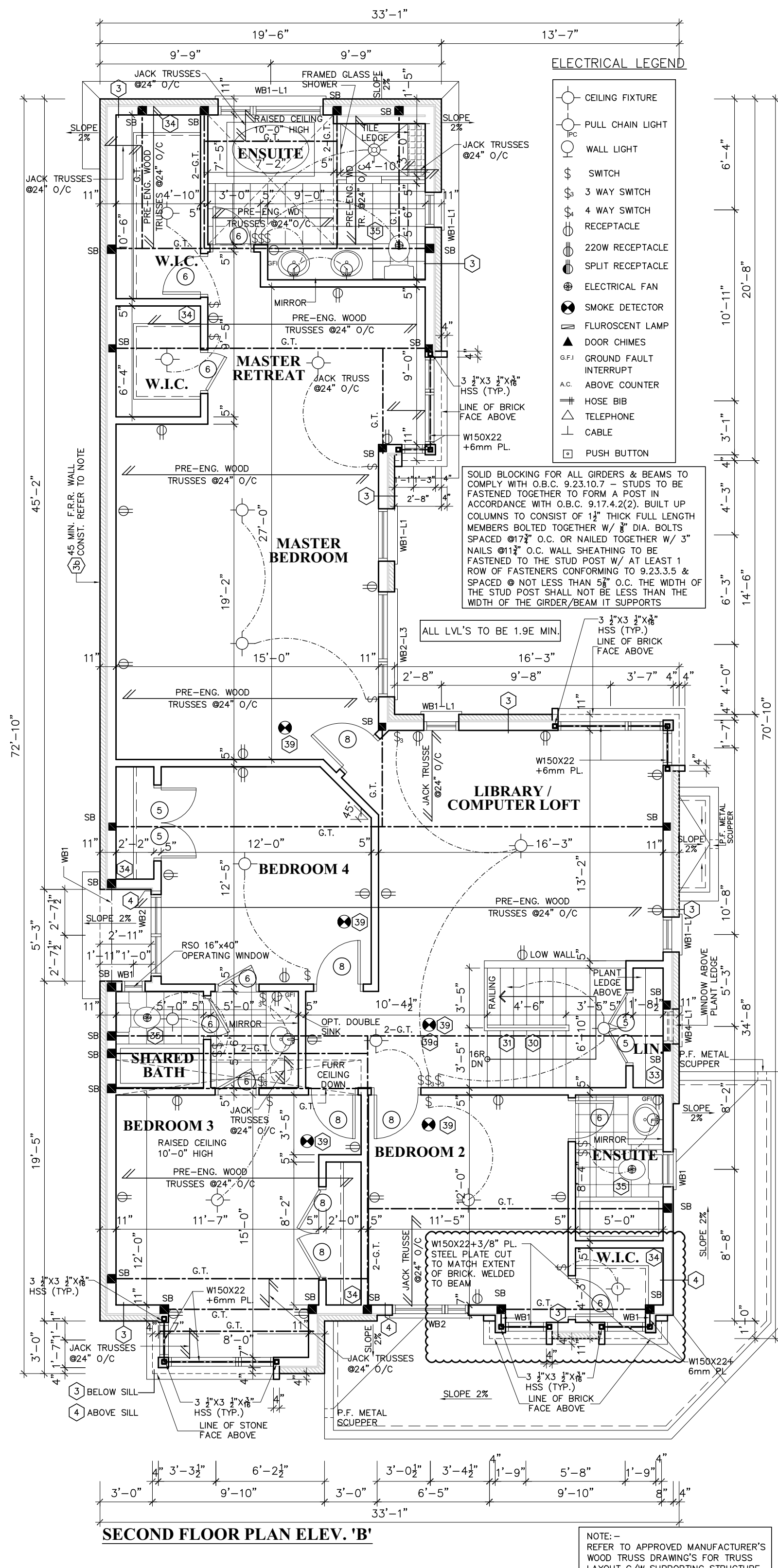
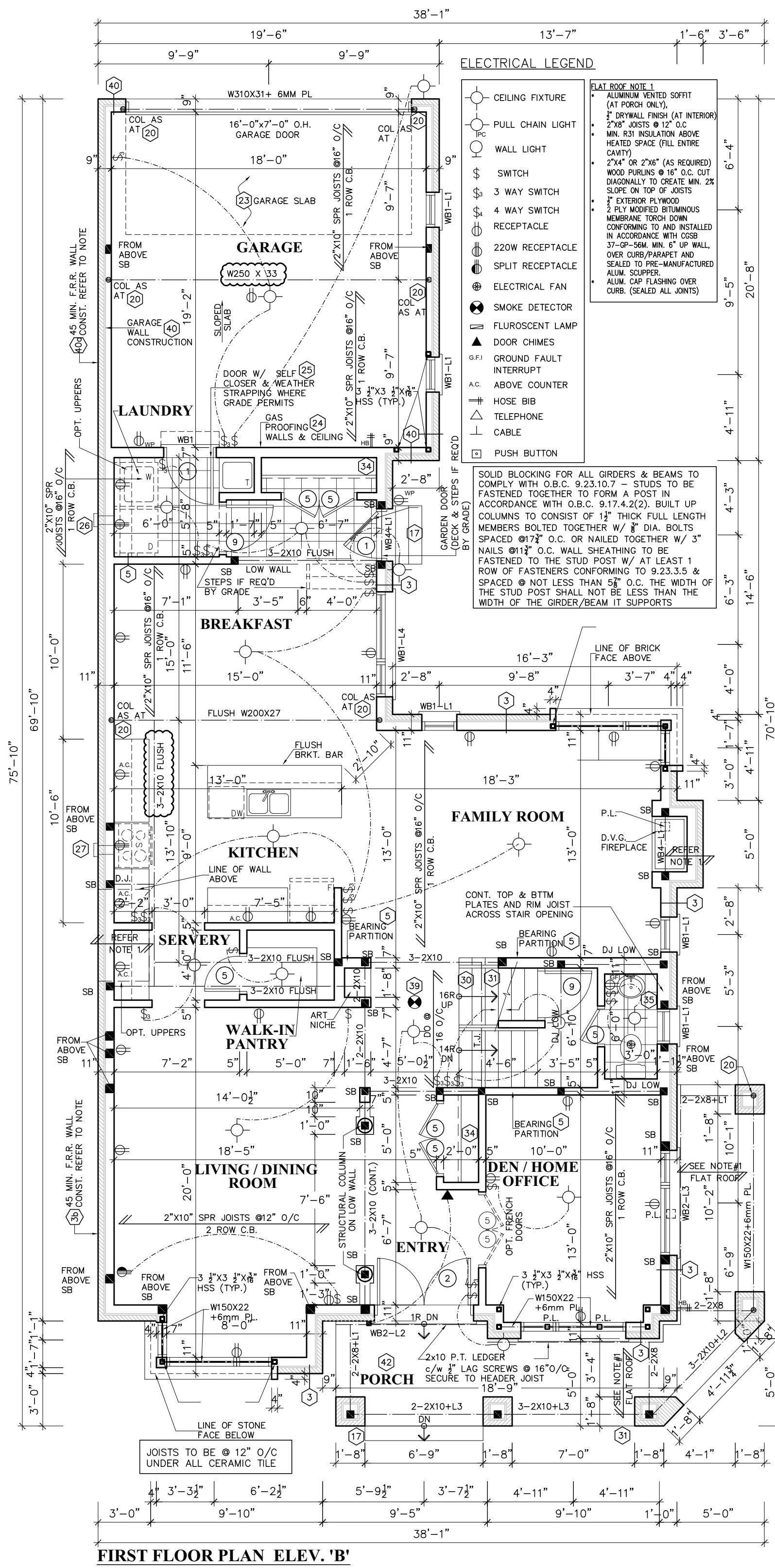
MODEL: WHITE OAK 3270 - CORNER
12.00 m LOTS

Date: JULY 2018 Checked By:

Job Number: 17-1390 Drawn By: SP

Scale: 3/16" = 1'-0"

Issued: Sheet Number A1.4



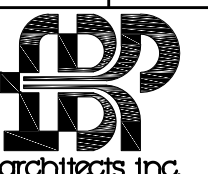
NOTE: -
REFER TO APPROVED MANUFACTURER'S
WOOD TRUSS DRAWING'S FOR TRUSS
LAYOUT C/W SUPPORTING STRUCTURE

30702.000.00.MNV
27/20
MM/DD/YY

Date: 11/27/20
MM/DD/YY

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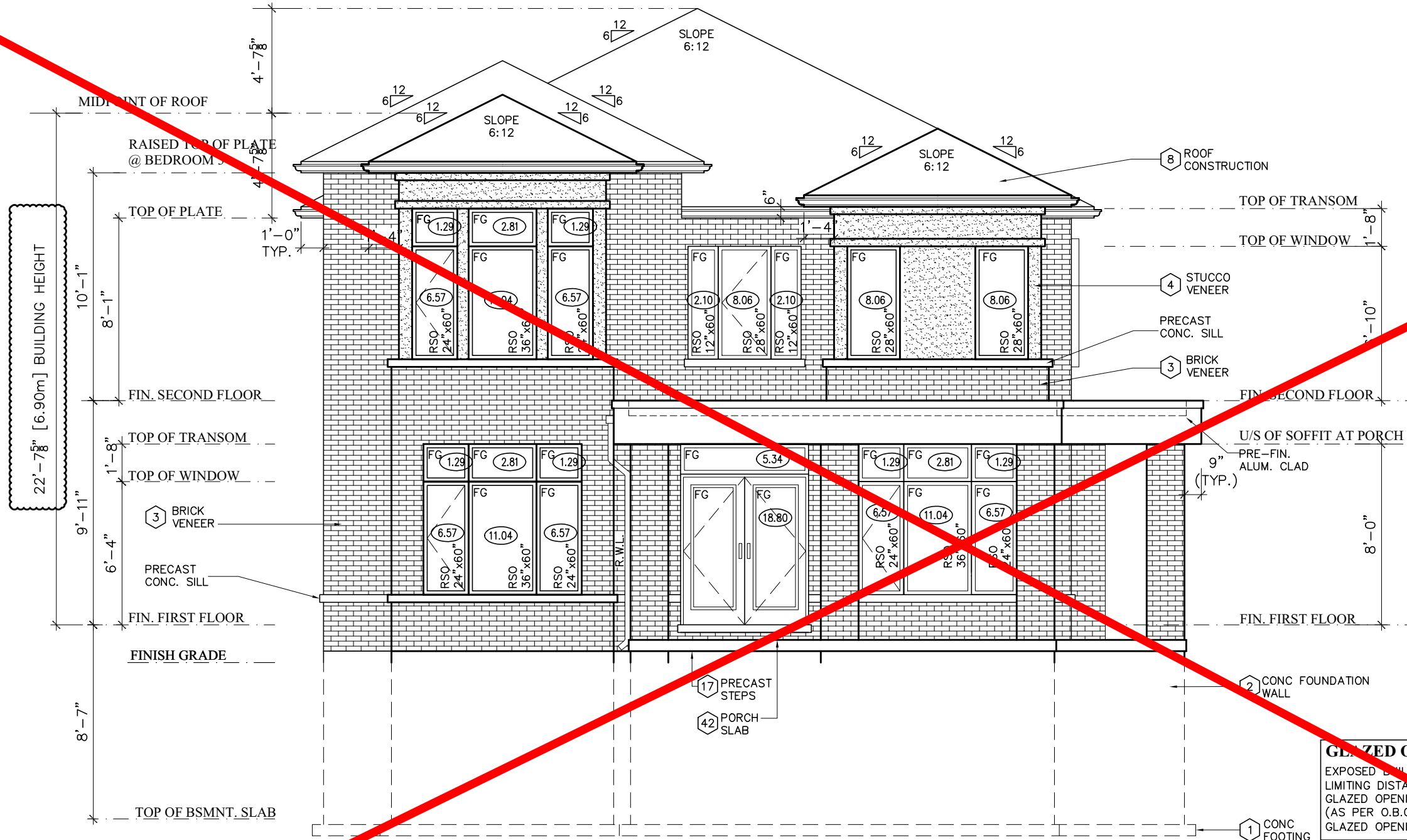
Sheet Number
A1.6



Appendix B

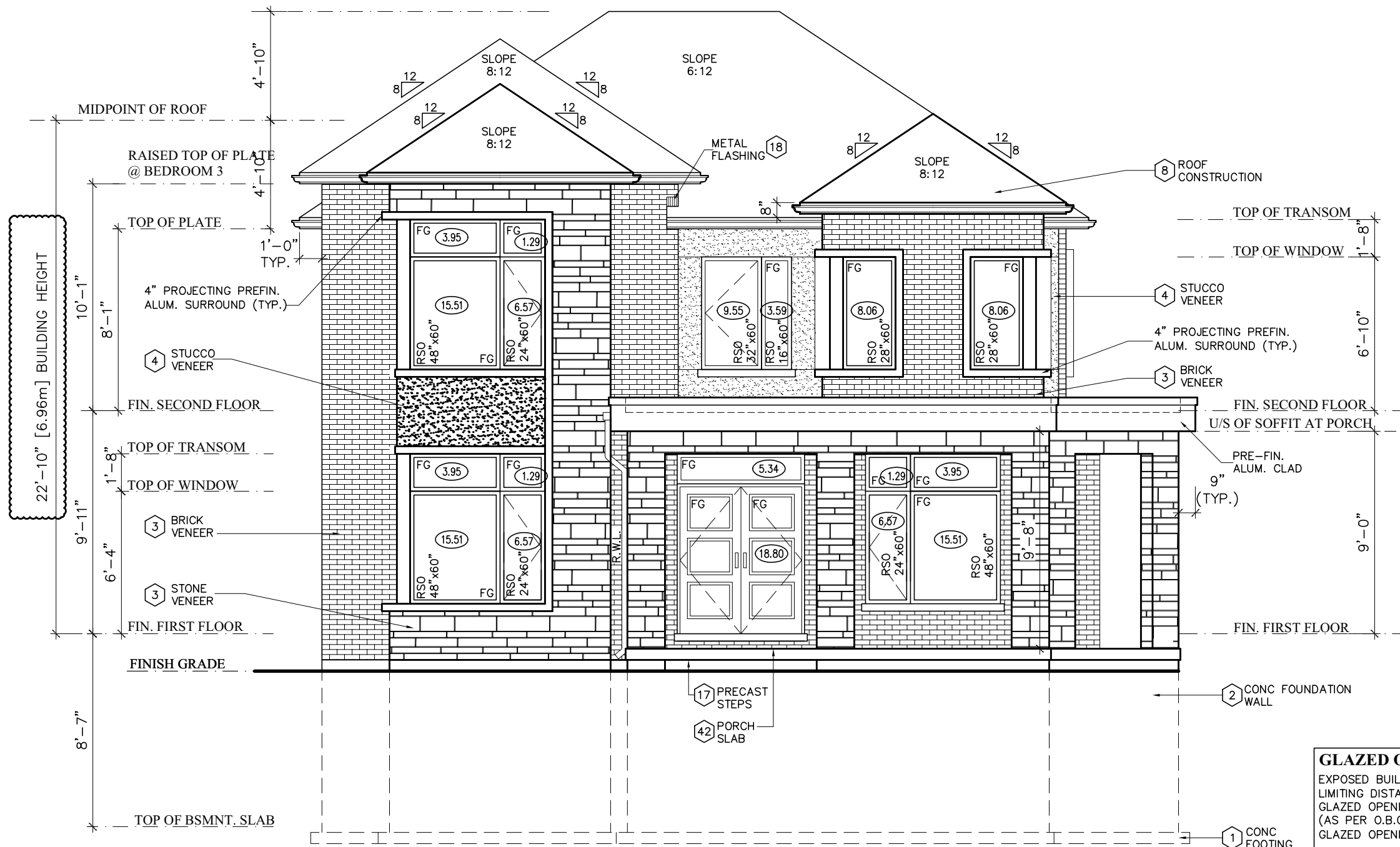
File: 20.130702.000.00.MNV

Date: 11/27/20
MM/DD/YY



FRONT ELEVATION 'A'

GLAZED OPENINGS			
EXPOSED BUILDING FACE:	63.39m ²	(682.31 S.F.)	
LIMITING DISTANCE:	9.90m	(32'-5")	
GLAZED OPENINGS PERMITTED (AS PER O.B.C. TABLE 9.10.15.4):	56.00%	35.49m ²	(382.09 S.F.)
GLAZED OPENINGS PROPOSED:	20.70%	13.12m ²	(141.23 S.F.)



FRONT ELEVATION 'B'

GLAZED OPENINGS			
EXPOSED BUILDING FACE:	63.39m ²	(682.31 S.F.)	
LIMITING DISTANCE:	9.90m	(32'-5")	
GLAZED OPENINGS PERMITTED (AS PER O.B.C. TABLE 9.10.15.4):	56.00%	35.49m ²	(382.09 S.F.)
GLAZED OPENINGS PROPOSED:	19.84%	12.58m ²	(135.36 S.F.)

DATE	REF.	DESCRIPTION
July 17, 2020	AF	REV. AS PER CITY COMMENTS
Apr. 03, 2019	AF	REV. AS PER CLIENT COMMENTS

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70 Silton Road, Unit #01,
Woodbridge, Ontario, L4L 8B9
(905) 265-2688

MADISON HOMES

CORNELL
MARKHAM, ONTARIO

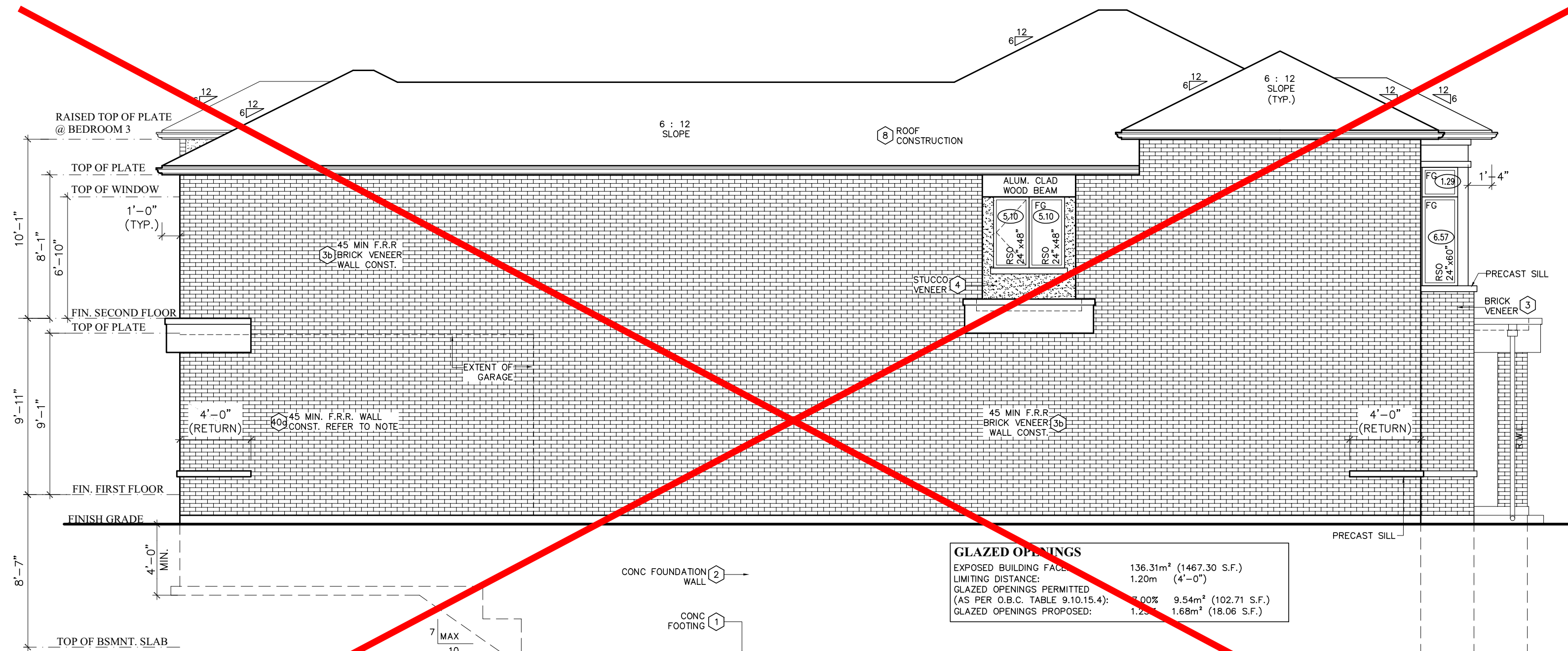
MODEL: WHITE OAK 3270 - CORNER
12.00 m LOTS

Date	Checked By
JULY 2018	
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17-1390	SP
Scale	
3/16" = 1'-0"	
Issued	Sheet Number
	A2.1

Appendix B

File: 20.130702.000.00.MNV

Date: 11/27/20
MM/DD/YY



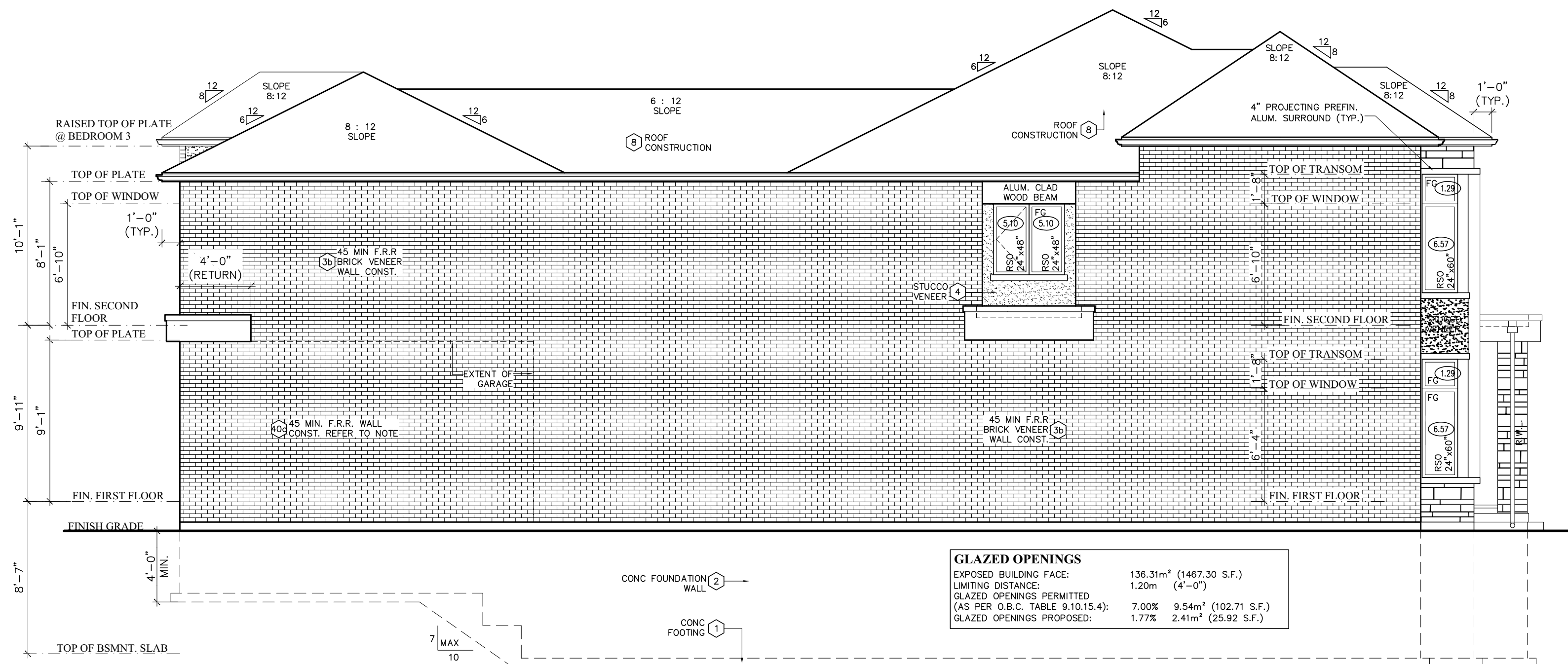
LEFT SIDE ELEVATION 'A'

GLAZED OPENINGS	
EXPOSED BUILDING FACE:	136.31m ² (1467.30 S.F.)
LIMITING DISTANCE:	1.20m (4'-0")
GLAZED OPENINGS PERMITTED (AS PER O.B.C. TABLE 9.10.15.4):	7.00% 9.54m ² (102.71 S.F.)
GLAZED OPENINGS PROPOSED:	1.77% 2.41m ² (25.92 S.F.)

THE PLANNING
PARTNERSHIP LTD.
Design Control Review

I, Richard F. Merrill of The Planning Partnership Ltd., certify that the Plans/Drawings comply with the approved architectural control guidelines. This stamp is ONLY for the purposes of design control and carries no other professional obligation.

Reviewed By: *[Signature]*
Date: May 21, 2019
Reviewed for: Final Review



LEFT SIDE ELEVATION 'B'

GLAZED OPENINGS	
EXPOSED BUILDING FACE:	136.31m ² (1467.30 S.F.)
LIMITING DISTANCE:	1.20m (4'-0")
GLAZED OPENINGS PERMITTED (AS PER O.B.C. TABLE 9.10.15.4):	7.00% 9.54m ² (102.71 S.F.)
GLAZED OPENINGS PROPOSED:	1.77% 2.41m ² (25.92 S.F.)

Apr. 03 2019	AF	REV. AS PER CLIENT COMMENTS
DATE	REF.	DESCRIPTION

Engineered truss drawings to be submitted to the architect for co-ordination of structure.

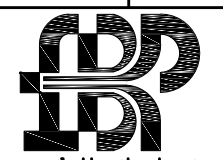
The architect has not been retained to carry out general review of the work and assumes no responsibility for the failure of the contractor or sub-contractor to carry out the work in accordance with the documents.

Single pages of the contract documents are not to be read independently of all pages of the contract documents.

The contractor shall verify all dimensions on the contract documents. Any discrepancies are to be reported to the architect prior to the commencement of the work. Under no circumstances shall the contractor or sub-contractors proceed in uncertainty.

Digital & Hard Copies are issued to the client on the understanding that no changes are to be made to the contract documents without written consent of the architect.

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DO NOT SCALE DRAWING



architects inc.
70 Silton Road, Unit #01,
Woodbridge, Ontario, L4L 8B9
(905) 265-2688

MADISON HOMES

CORNELL
MARKHAM, ONTARIO

MODEL: WHITE OAK 3270 - CORNER
12.00 m LOTS

Date	Checked By
JULY 2018	
Job Number	Drawn By
17-1390	SP
Scale	
3/16" = 1'-0"	
Issued	Sheet Number
	A2.2

Appendix B

File: 20.130702.000.00.MNV

Date: 11/27/20



DATE	REF.	DESCRIPTION
Apr. 03 2019	AF	REV. AS PER CLIENT COMMENTS

Engineered truss drawings to be submitted to the architect for co-ordination of structure.

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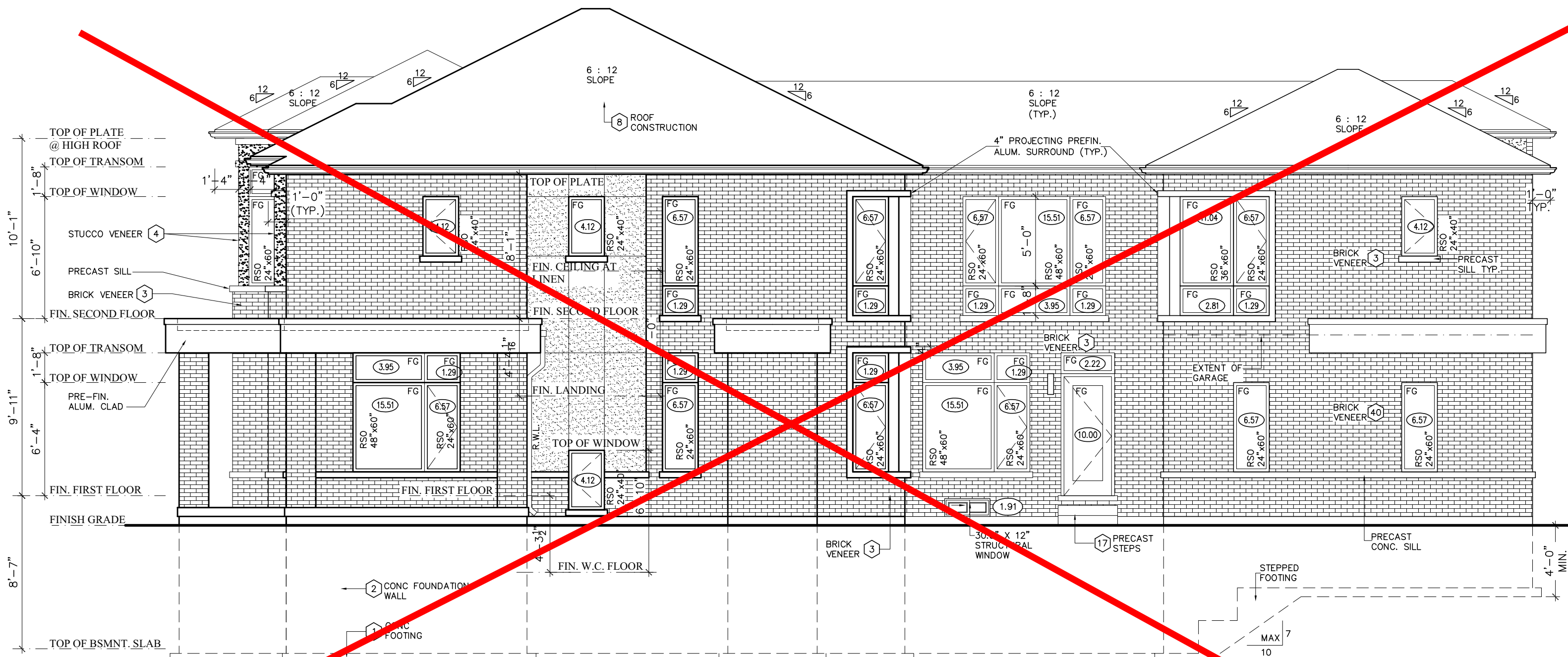
70 Silton Road, Unit #01,
Woodbridge, Ontario, L4L 8B9
(905) 265-2688

MADISON HOMES

**CORNELL
MARKHAM, ONTARIO**

**MODEL: WHITE OAK 3270 - CORNER
12.00 m LOTS**

Date	Checked By
JULY 2018	
Job Number	Drawn By
17-1390	SP
Scale	
3/16" = 1'-0"	
Issued	Sheet Number
	A2.3



RIGHT SIDE ELEVATION 'A'

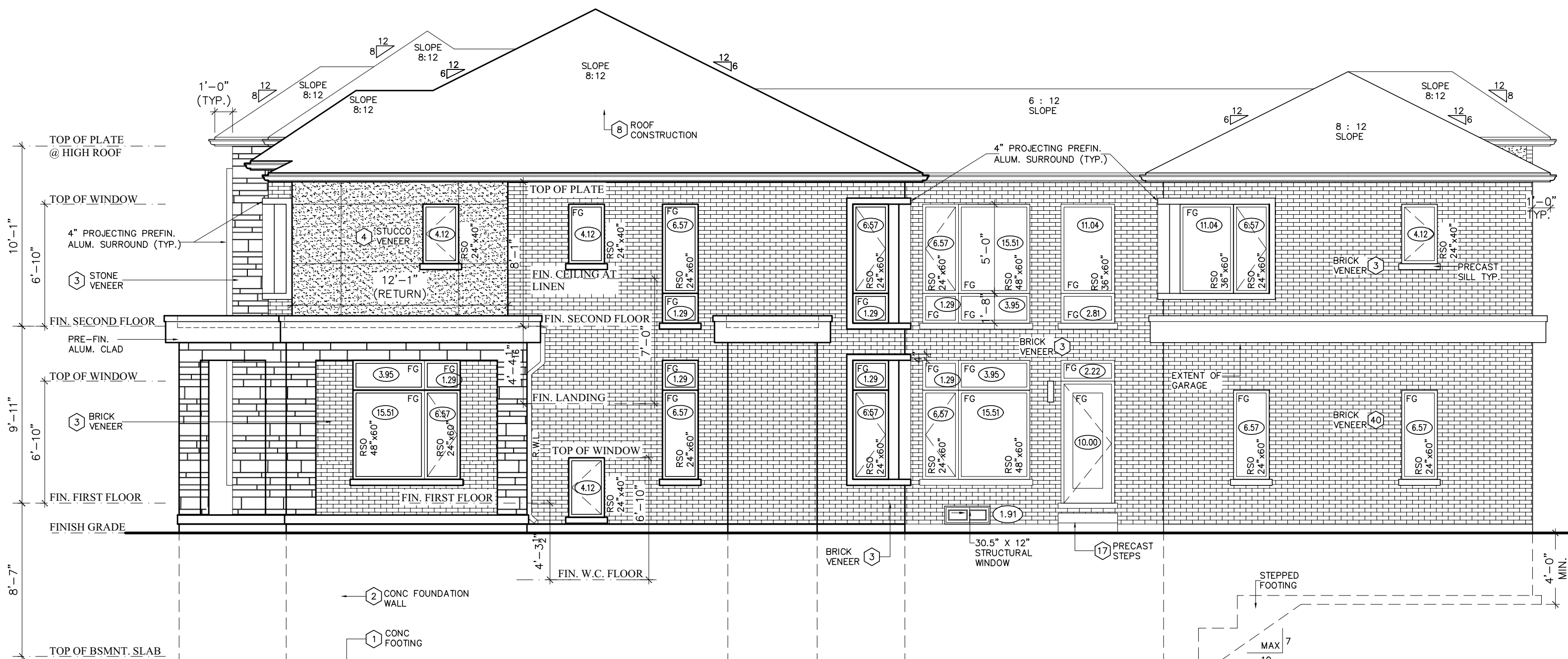
GLAZED OPENINGS	
EXPOSED BUILDING FACE:	129.41m ² (1393.05 S.F.)
LIMITING DISTANCE:	10.15m (32'-10")
GLAZED OPENINGS PERMITTED (AS PER O.B.C. TABLE 9.10.15.4):	40.00% 51.76m ² (557.22 S.F.)
GLAZED OPENINGS PROPOSED:	12.84% 16.62m ² (178.86 S.F.)

THE PLANNING
PARTNERSHIP LTD.
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RIGHT SIDE ELEVATION 'B'

GLAZED OPENINGS	
EXPOSED BUILDING FACE:	129.41m ² (1393.05 S.F.)
LIMITING DISTANCE:	10.15m (32'-10")
GLAZED OPENINGS PERMITTED (AS PER O.B.C. TABLE 9.10.15.4):	40.00% 51.76m ² (557.22 S.F.)
GLAZED OPENINGS PROPOSED:	13.54% 17.52m ² (188.61 S.F.)

Appendix B

File: 20.130702.000.00.MNV

Date: 11/27/20 MM/DD/YY

DATE	REF.	DESCRIPTION
Apr. 03 2019	AF	REV. AS PER CLIENT COMMENTS

Engineered truss drawings to be submitted to the architect for co-ordination of structure.

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MADISON HOMES

**CORNELL
MARKHAM, ONTARIO**

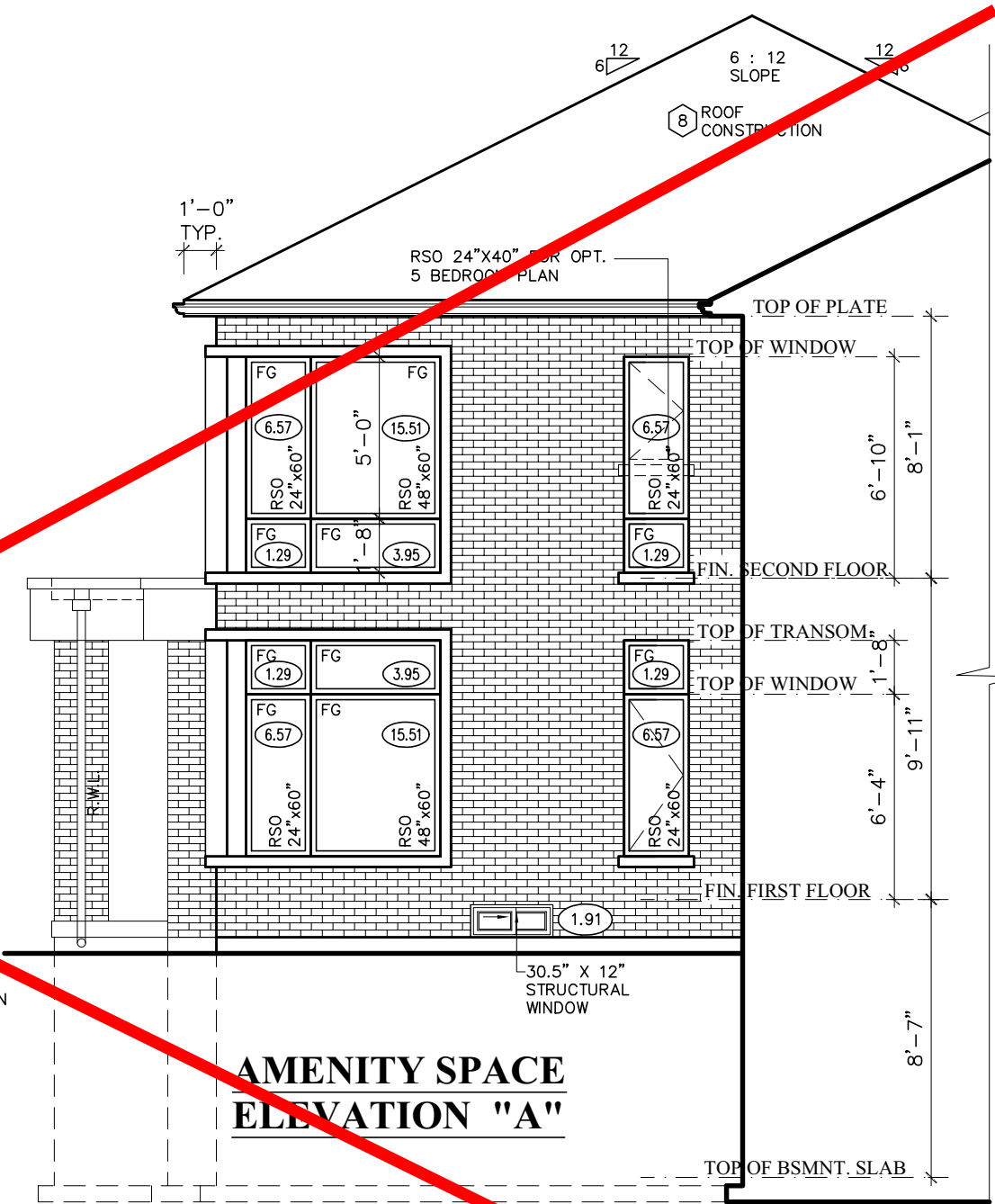
**MODEL: WHITE OAK 3270 - CORNER
12.00 m LOTS**

Date	JULY 2018	Checked By	
Job Number	17-1390	Drawn By	SP
Scale	3/16" = 1'-0"		
Issued		Sheet Number	A2.4

THE PLANNING
PARTNERSHIP LTD.
Design Control Review

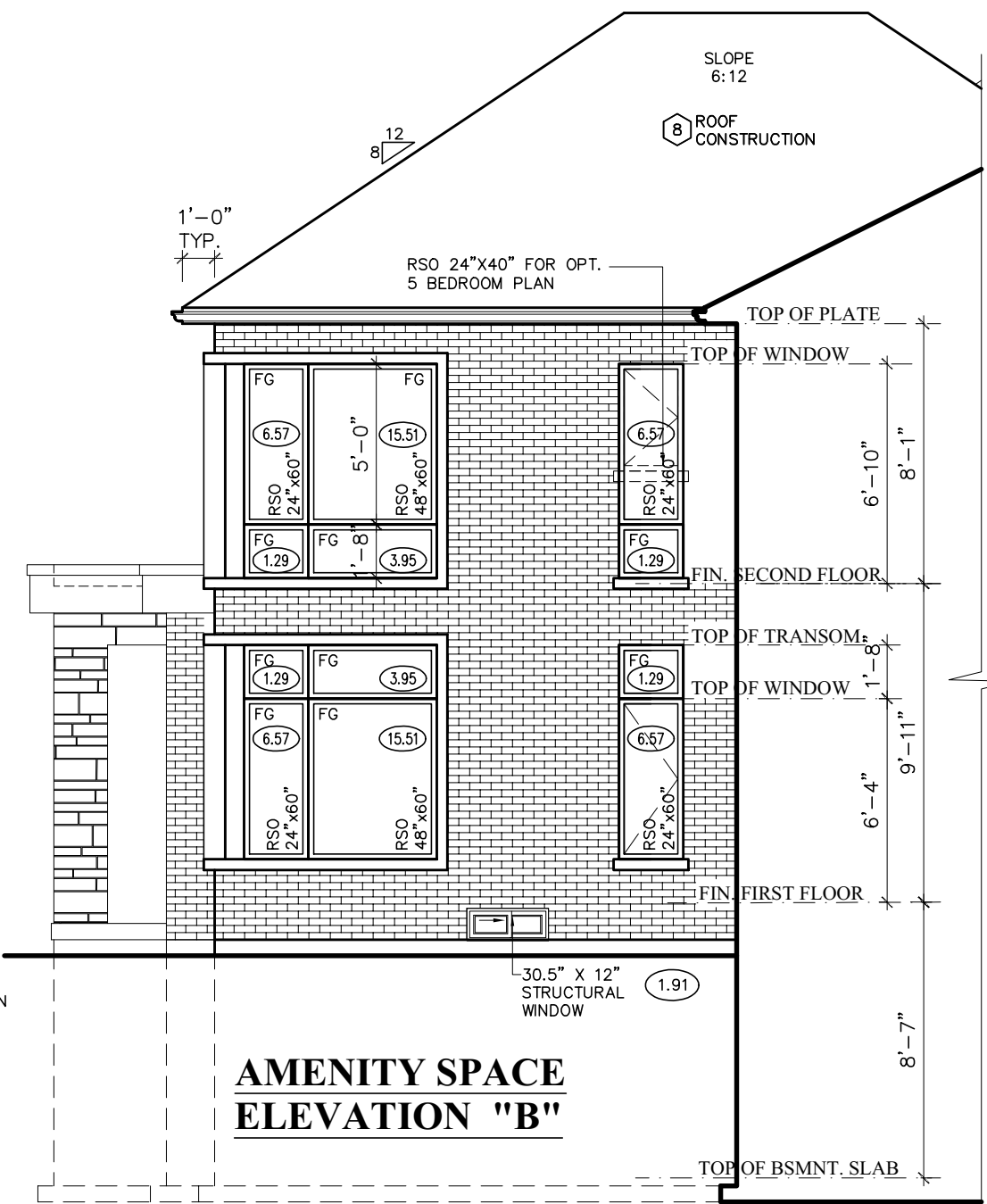
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Date: May 21, 2019
Reviewed for: Final Review



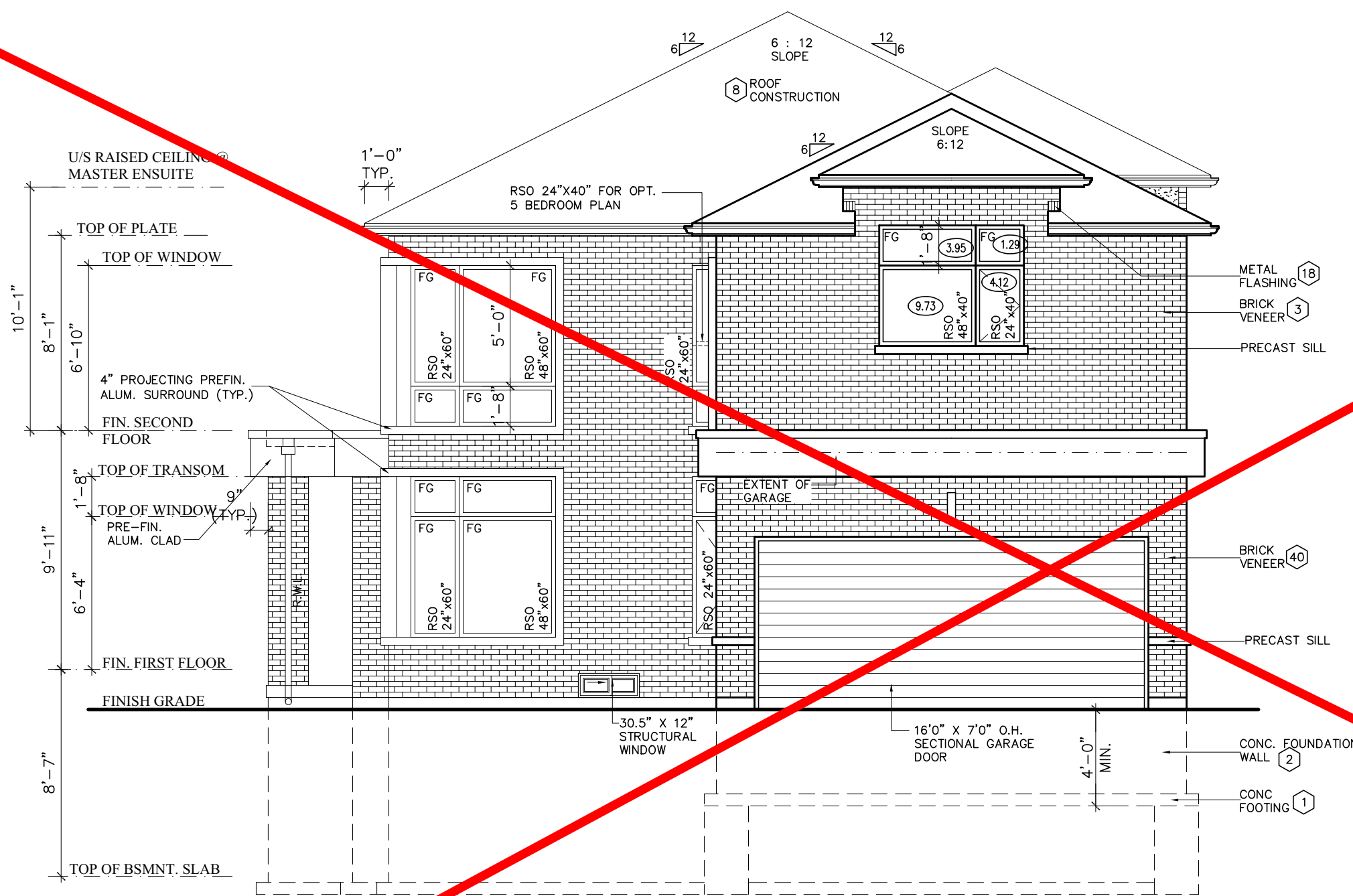
**AMENITY SPACE
ELEVATION "A"**

GLAZED OPENINGS	
EXPOSED BUILDING FACE:	29.68m ² (319.58 S.F.)
LIMITING DISTANCE:	16.40m (53'-10")
GLAZED OPENINGS PERMITTED (AS PER O.B.C. TABLE 9.10.15.4):	UNLIMITED
GLAZED OPENINGS PROPOSED:	



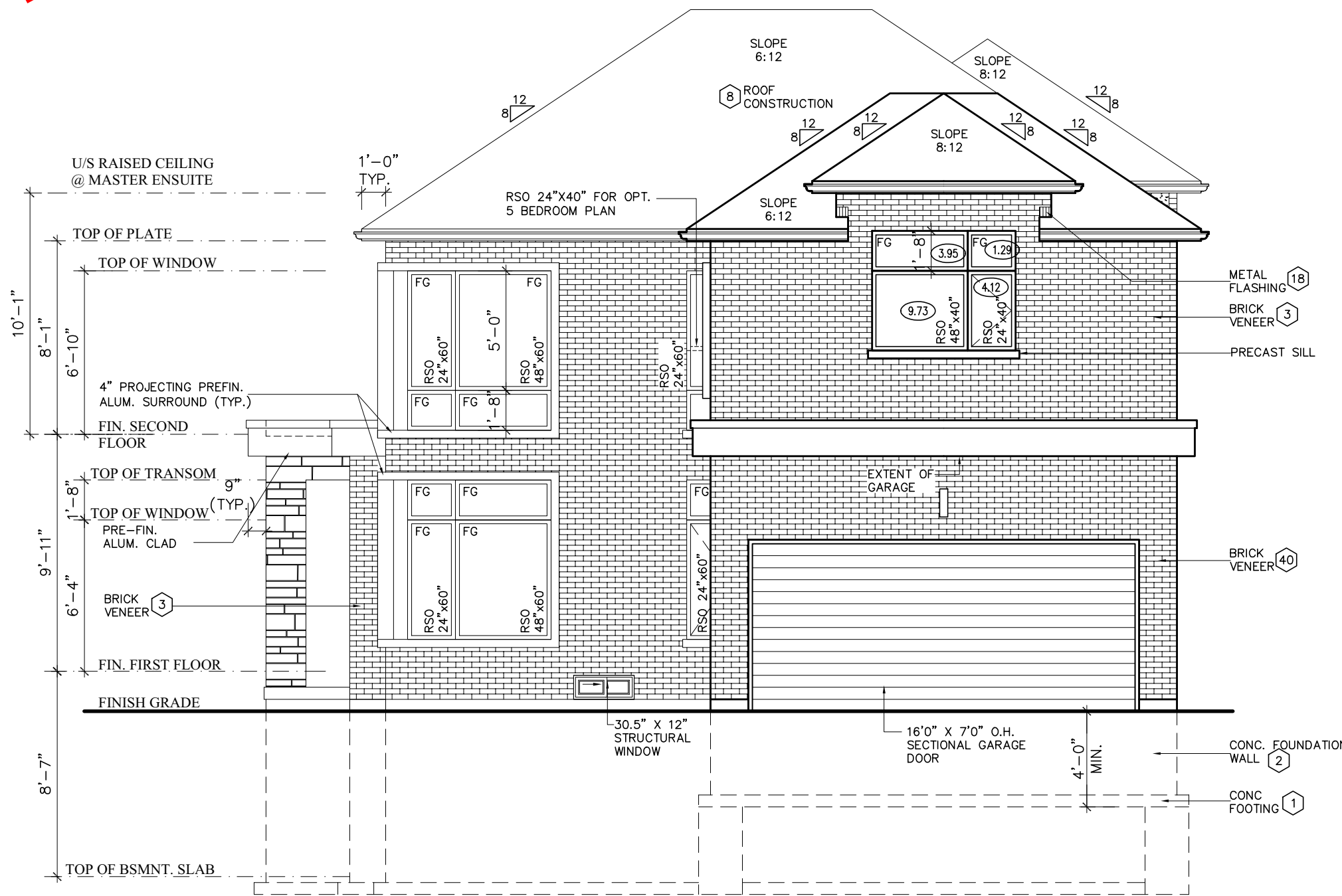
**AMENITY SPACE
ELEVATION "B"**

GLAZED OPENINGS	
EXPOSED BUILDING FACE:	29.68m ² (319.58 S.F.)
LIMITING DISTANCE:	16.40m (53'-10")
GLAZED OPENINGS PERMITTED (AS PER O.B.C. TABLE 9.10.15.4):	UNLIMITED
GLAZED OPENINGS PROPOSED:	



REAR ELEVATION "A"

GLAZED OPENINGS	
EXPOSED BUILDING FACE:	35.63m ² (383.50 S.F.)
LIMITING DISTANCE:	4.90m (16'-0")
GLAZED OPENINGS PERMITTED (AS PER O.B.C. TABLE 9.10.15.4):	32.00% 11.40m ² (122.72 S.F.)
GLAZED OPENINGS PROPOSED:	4.98% 1.77m ² (19.09 S.F.)



REAR ELEVATION "B"

GLAZED OPENINGS	
EXPOSED BUILDING FACE:	35.63m ² (383.50 S.F.)
LIMITING DISTANCE:	4.90m (16'-0")
GLAZED OPENINGS PERMITTED (AS PER O.B.C. TABLE 9.10.15.4):	32.00% 11.40m ² (122.72 S.F.)
GLAZED OPENINGS PROPOSED:	4.98% 1.77m ² (19.09 S.F.)