

Memorandum to the City of Markham Committee of Adjustment

November 09, 2020

File: A/104/20
Address: 102 Highland Park Boulevard, Thornhill
Applicant: Orang Yazdani
Agent: Orang Yazdani
Hearing Date: Wednesday, November 18, 2020

The following comments are provided on behalf of the West Team. The applicant is requesting relief from the following requirements of the "Residential Four (R4)" zone requirements of By-law 2237, as amended, to permit:

a) Infill By-law 101-90, Section 1.2 (vii):

a maximum floor area ratio of 53.3 percent (3,528 sq.ft.), whereas the By-law permits a maximum floor area ratio of 50 percent (3,313 sq.ft.).

The variance request relates to a proposed two storey detached dwelling.

BACKGROUND

Property Description

The 650.29 m² (6,999.64 ft²) subject property is located on the north side of Highland Park Boulevard, north of Steeles Avenue East and east of Henderson Avenue. The property is located within an established residential neighbourhood, which contains a mix of one and two-storey single detached dwellings. A one-storey dwelling with an attached two car garage, circa 1950, exists on the property. Mature vegetation exists on the property including one large mature tree in the front yard.

Proposal

The applicant is proposing to demolish the existing one-storey detached dwelling, and construct a two-storey detached dwelling with an attached two car garage and front covered porch. The total gross floor area of the proposed dwelling is approximately 327.76 m² (3,528 ft²) with 171.96 m² (1,851 ft²) on the ground floor, and a smaller second floor footprint of approximately 155.80 m² (1,677 ft²).

Official Plan and Zoning

Official Plan 2014 (partially approved on Nov 24/17, and further updated by the LPAT on April 9/18)

The subject property is designated "Residential – Low Rise", which provides for low rise housing forms including single detached dwellings. Section 8.2.3.5 of the 2014 Official Plan outlines development criteria for the 'Residential – Low Rise' designation with respect to height, massing and setbacks. This criteria is established to ensure that the development is appropriate for the site and generally consistent with the zoning requirements for adjacent properties and properties along the same street. In considering applications for development approval in a 'Residential Low Rise' area, which includes variances, infill development is required to meet the general intent of these development criteria. Regard shall also be had for retention of existing trees and vegetation, the width of proposed garages and driveways and the overall orientation and sizing of new lots within a residential neighbourhood.

Zoning By-Law 2237

The subject property is zoned Residential Four (R4) under By-law 2237, as amended, which permits single detached dwellings.

Residential Infill Zoning By-law 101-90

The subject property is also subject to the Residential Infill Zoning By-law 101-90. The intent of this By-law is to ensure the built form of new residential construction will maintain the general character of existing neighbourhoods. It specifies development standards for building depth, garage projection, garage width, net floor area ratio, height, yard setbacks and number of storeys. The proposed development does not comply with the infill By-law requirements with respect to maximum net floor area ratio.

Zoning Preliminary Review (ZPR) Undertaken

The owner has completed a Zoning Preliminary Review (ZPR) on October 5, 2020 to confirm the variances required for the proposed development.

COMMENTS

The Planning Act states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained;
- d) The general intent and purpose of the Official Plan must be maintained.

Increase in Maximum Floor Area Ratio

The applicant is requesting relief to permit a floor area ratio of 53.3 percent, whereas the By-law permits a maximum floor area ratio of 50 percent. The variance will facilitate the construction of a two-storey detached dwelling with a floor area of 327.76 m² (3,528 ft²), whereas the By-law permits a dwelling with a maximum floor area of 307.79 m² (3313 ft²). This represents an increase of approximately 19.97 m² (215 ft²) or 6.5 percent.

Floor Area Ratio is a measure of the interior square footage of the dwelling as a percentage of the net lot area however; it is not a definitive measure of the mass of the dwelling. The proposed dwelling meets all other zoning provisions, including setbacks, building depth, height and lot coverage which establishes the prescribed building envelope.

The intent of maximum floor area provision in the By-law is to ensure that the overall size of the proposed dwelling will be in keeping with the intended scale of residential infill developments in the neighbourhood. Staff are of the opinion that the requested variance will not negatively impact abutting properties, is compatible with the surrounding context, and is therefore, an appropriate development for the subject property.

PUBLIC INPUT SUMMARY

As of November 12, 2020 the City received one letter expressing support over the proposed detached dwelling. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

CONCLUSION

Planning staff have reviewed the application with respect to Section 45(1) of the *Planning Act*, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the requested variance to permit a maximum floor area ratio of 53.3 percent meets the four tests of the *Planning Act* and have no objection. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the By-law, and how they satisfy the tests of the *Planning Act* required for the granting of minor variances.

Please see Appendix "A" for conditions to be attached to any approval of this application

PREPARED BY:



Justin Mott, Planner, Zoning and Special Projects

REVIEWED BY:



Stephen Kitagawa, Development Manager, West District

APPENDIX "A"

CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/104/20

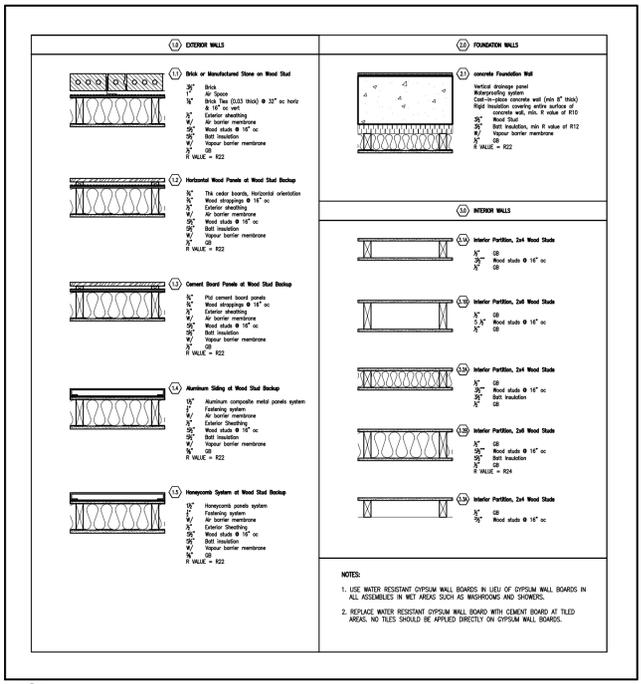
1. The variances apply only to the proposed development as long as it remains;
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as 'Appendix B' to this Staff Report and received by the City of Markham on October 19, 2020, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction;
3. Submission of a Tree Assessment and Preservation Plan, prepared by a qualified arborist in accordance with the City's Streetscape Manual (2009), as amended, to be reviewed and approved by the City, and that the Secretary-Treasurer receive written confirmation from Tree Preservation Technician or Director of Operations that this condition has been fulfilled to his/her satisfaction, and that any detailed Siting, Lot Grading and Servicing Plan required as a condition of approval reflects the Tree Assessment and Preservation Plan;
4. That prior to the commencement of construction or demolition, tree protection be erected and maintained around all trees on site in accordance with the City's Streetscape Manual, including street trees, in accordance with the City's Streetscape Manual (2009) as amended, and inspected by City Staff to the satisfaction of the Tree Preservation Technician or Director of Operations.
5. That tree replacements be provided and/or tree replacement fees be paid to the City if required in accordance with the Tree Assessment and Preservation Plan, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the Tree Preservation Technician or Director of Operations;
6. That the proposed building elevations/addition be designed and constructed in conformity with the requirements of Markham's Bird Friendly Guidelines 2014, and that architectural plans be submitted to the City demonstrating compliance, to the satisfaction of the Director of Planning and Urban Design or their designate.

CONDITIONS PREPARED BY:



Justin Mott, Planner, Zoning and Special Projects

APPENDIX "B"
PLANS TO BE ATTACHED TO ANY APPROVAL OF FILE A/104/20



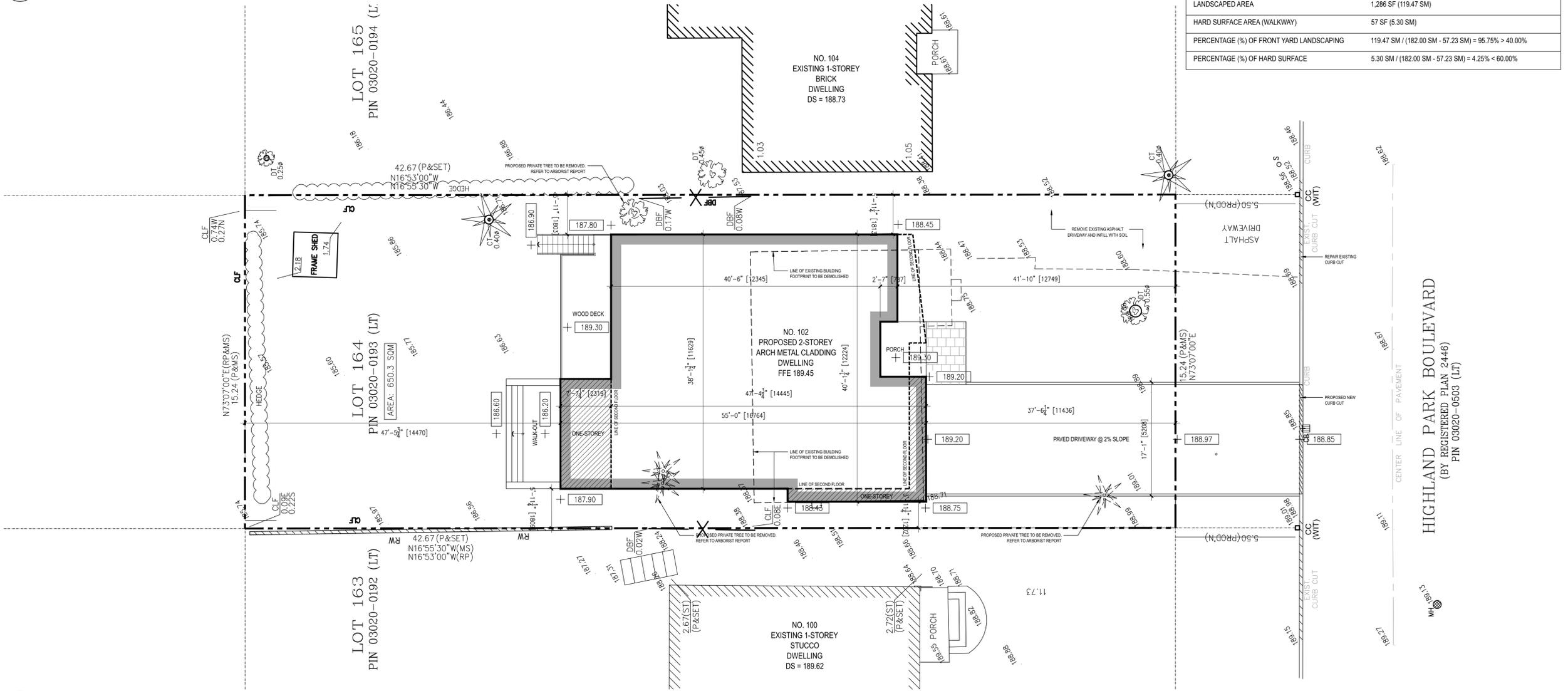
2 Wall Assembly
 SCALE: 1/8" = 1'-0"

HEIGHT TABLE

AVERAGE GRADE AT CL. ST.	188.87
FINISH GROUND FLOOR LEVEL	189.45
GARAGE FLOOR LEVEL	189.20
BASEMENT FLOOR LEVEL	186.35
U/S BASEMENT FOOTING	186.00
WALK-OUT BASEMENT FLOOR LEVEL	186.20
TOP OF FOUNDATION WALL	189.15
TOP OF ROOF	196.37

STATISTIC

ITEM	EXISTING	PROPOSED	PROVIDED
GROSS BASEMENT FLOOR AREA	N/A	1,861 SF (172.89 SM)	1,861 SF (172.89 SM)
GROUND FLOOR AREA (INCL. GARAGE)	N/A	1,861 SF (172.89 SM)	1,861 SF (172.89 SM)
STAIRCASE & OPENING AREA AT GROUND FLOOR	N/A	10 SF (0.93 SM)	10 SF (0.93 SM)
GROSS GROUND FLOOR AREA	N/A	1,851 SF (171.96 SM)	1,851 SF (171.96 SM)
SECOND FLOOR AREA	N/A	1,736 SF (161.28 SM)	1,736 SF (161.28 SM)
STAIRCASE & OPENING AREA AT SECOND FLOOR	N/A	62 SF (5.76 SM)	62 SF (5.76 SM)
GROSS SECOND FLOOR AREA	N/A	1,677 SF (155.80 SM)	1,806 SF (167.76 SM)
LOT AREA	6,999.64 SF (650.29 SM)		
LOT COVERAGE	172.89 SM / 650.29 SM = 26.59% < 33.33%		
GROSS FLOOR AREA	1,851 SF + 1,677 SF = 3,528 SF (327.76 SM)		
MINIMUM LOT AREA	6,250 SF (580.64 SM)		
NET LOT AREA	6,250 SF + 1/4" (6,999.64 SF - 6,250 SF) = 6624.82 SF (615.47 SM)		
FLOOR AREA RATIO	3,528 SF / 6624.82 SF = 53.3%		
BUILDING HEIGHT (CROWN OF ROAD TO TOP OF ROOF)	24.60 FT (7.50 M)		
FRONT YARD SETBACK	37.52 FT (11.44 M)		
WEST SIDE YARD SETBACK	5.94 FT (1.81 M)		
WEST SIDE YARD SETBACK (GARAGE ONLY)	3.94 FT (1.20 M)		
EAST SIDE YARD SETBACK	5.94 FT (1.81 M)		
REAR YARD SETBACK	47.48 FT (14.47 M)		
BUILDING DEPTH	55.00 FT (16.76 M)		
FRONT YARD LANDSCAPING			
FRONT YARD AREA	1,959 SF (182.00 SM)		
DRIVEWAY AREA	616 SF (57.23 SM)		
LANDSCAPED AREA	1,286 SF (119.47 SM)		
HARD SURFACE AREA (WALKWAY)	57 SF (5.30 SM)		
PERCENTAGE (%) OF FRONT YARD LANDSCAPING	119.47 SM / (182.00 SM - 57.23 SM) = 95.75% > 40.00%		
PERCENTAGE (%) OF HARD SURFACE	5.30 SM / (182.00 SM - 57.23 SM) = 4.25% < 60.00%		



1 Site Plan
 SCALE: 1/8" = 1'-0"

GENERAL NOTES:
 DO NOT SCALE DRAWINGS.
 ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE.

REVISION RECORD

NO.	DATE	DESCRIPTION
1	2020-11-09	ISSUED FOR COA REV. 1
2	2020-10-05	ISSUED FOR ZONING REVIEW

ISSUE RECORD

ONTARIO ASSOCIATION OF ARCHITECTS
 WANG JAKRANI
 LICENCE 7212

1:100
 1 2 3 5M

y architects
 t 416.230.9130
 e info@yarchitects.ca

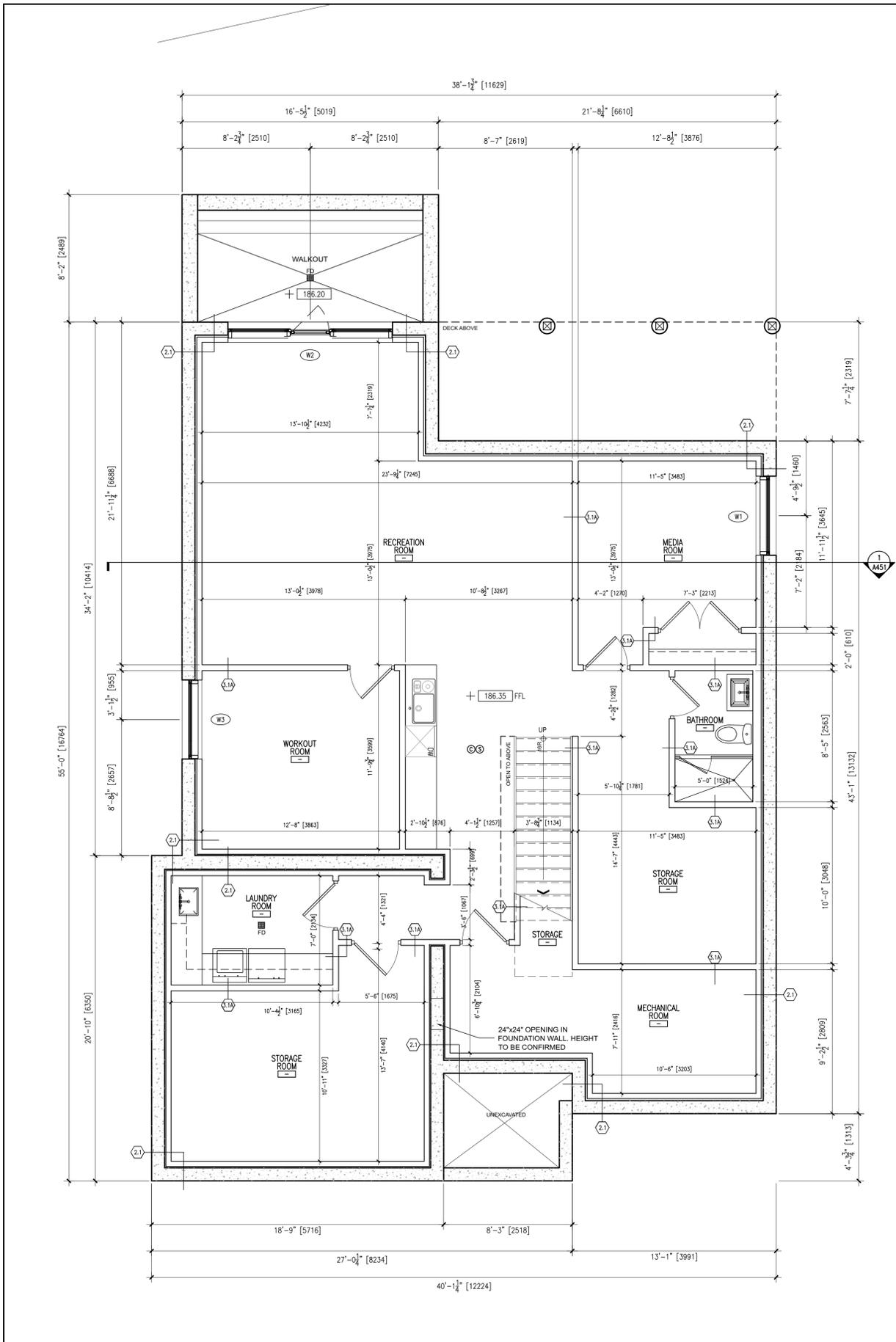
SINGLE-FAMILY RESIDENCE
 102 HIGHLAND PARK BLVD.
 MARKHAM, ON

2002 NOTED PROJECT SCALE OY OY
 DRAWN REVIEWED

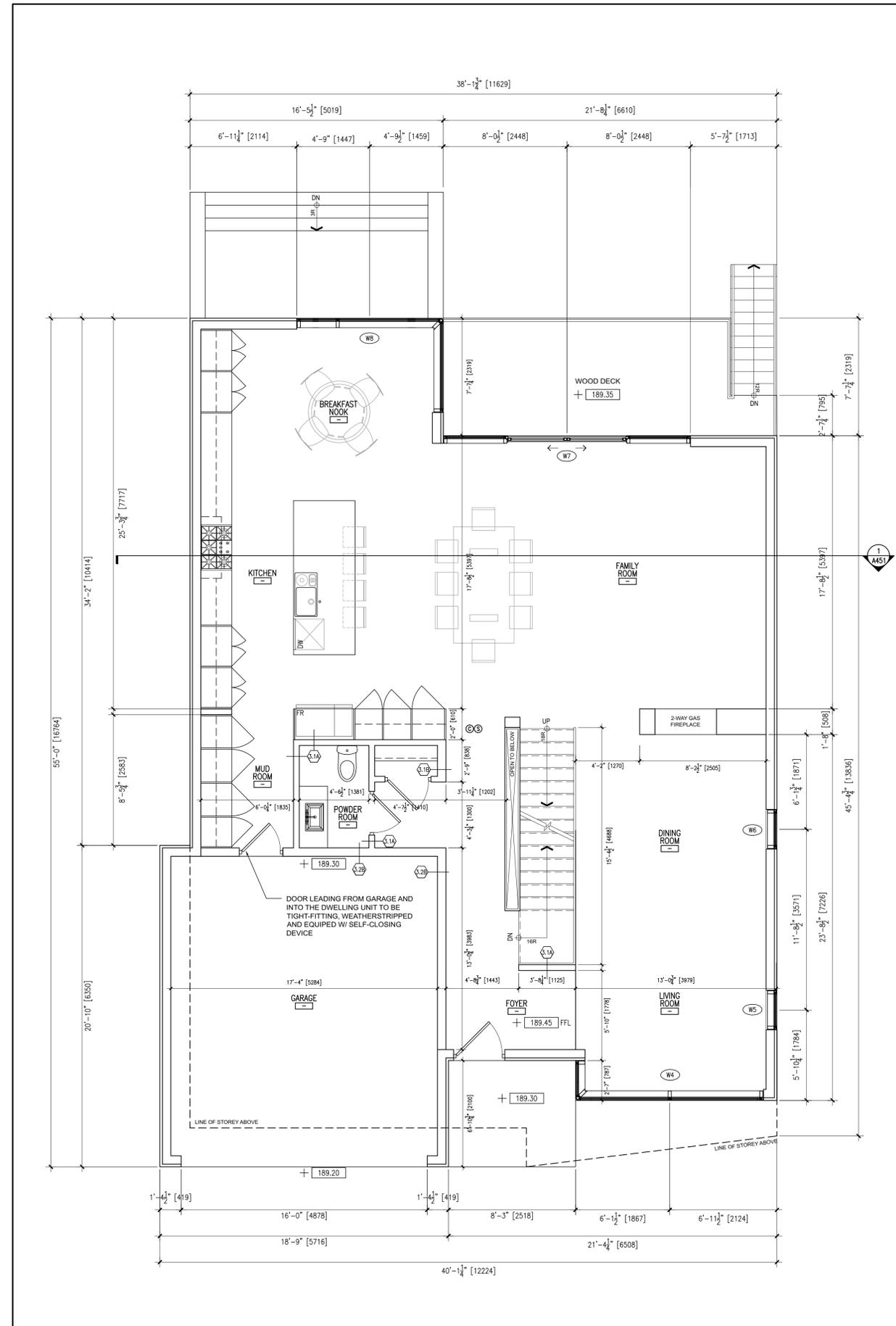
SITE PLAN & STATISTICS

A101

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.



1 Basement Floor Plan
 A201 SCALE: 1/4" = 1'-0"



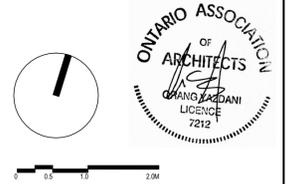
2 Ground Floor Plan
 A201 SCALE: 1/4" = 1'-0"

GENERAL NOTES:
 DO NOT SCALE DRAWINGS.
 ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE.

REVISION RECORD

2020-10-05 ISSUED FOR ZONING REVIEW

ISSUE RECORD



y architects
 t 416.230.9130
 e info@yarchitects.ca

SINGLE-FAMILY RESIDENCE
 102 HIGHLAND PARK BLVD.
 MARKHAM, ON

2002 NOTED PROJECT SCALE OY OY DRAWN REVIEWED

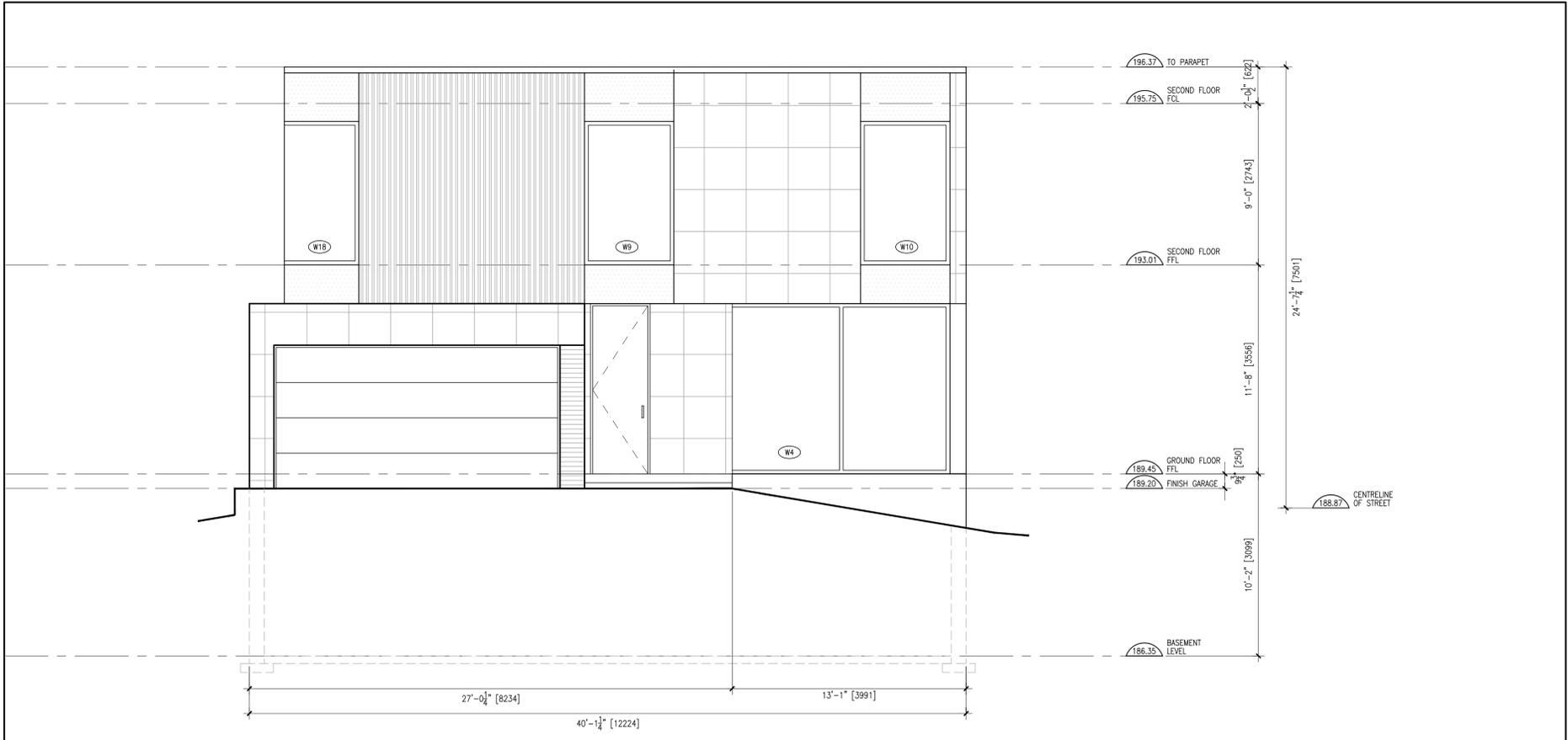
PROPOSED FLOOR PLANS

A201

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.



2 West Elevation
 A401 SCALE: 1/4" = 1'-0"



1 South Elevation
 A401 SCALE: 1/4" = 1'-0"

LEGEND:

-  BRICK FINISH
-  CEMENT BOARD
-  THINK STONE HONEYCOMB FINISH
-  CEDAR WOOD FINISH

GENERAL NOTES:
 DO NOT SCALE DRAWINGS.
 ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE.

REVISION RECORD

NO.	DATE	DESCRIPTION
1	2020-10-05	ISSUED FOR ZONING REVIEW

ISSUE RECORD

2020-10-05 ISSUED FOR ZONING REVIEW




y architects
 t 416.230.9130
 e info@yarchitects.ca

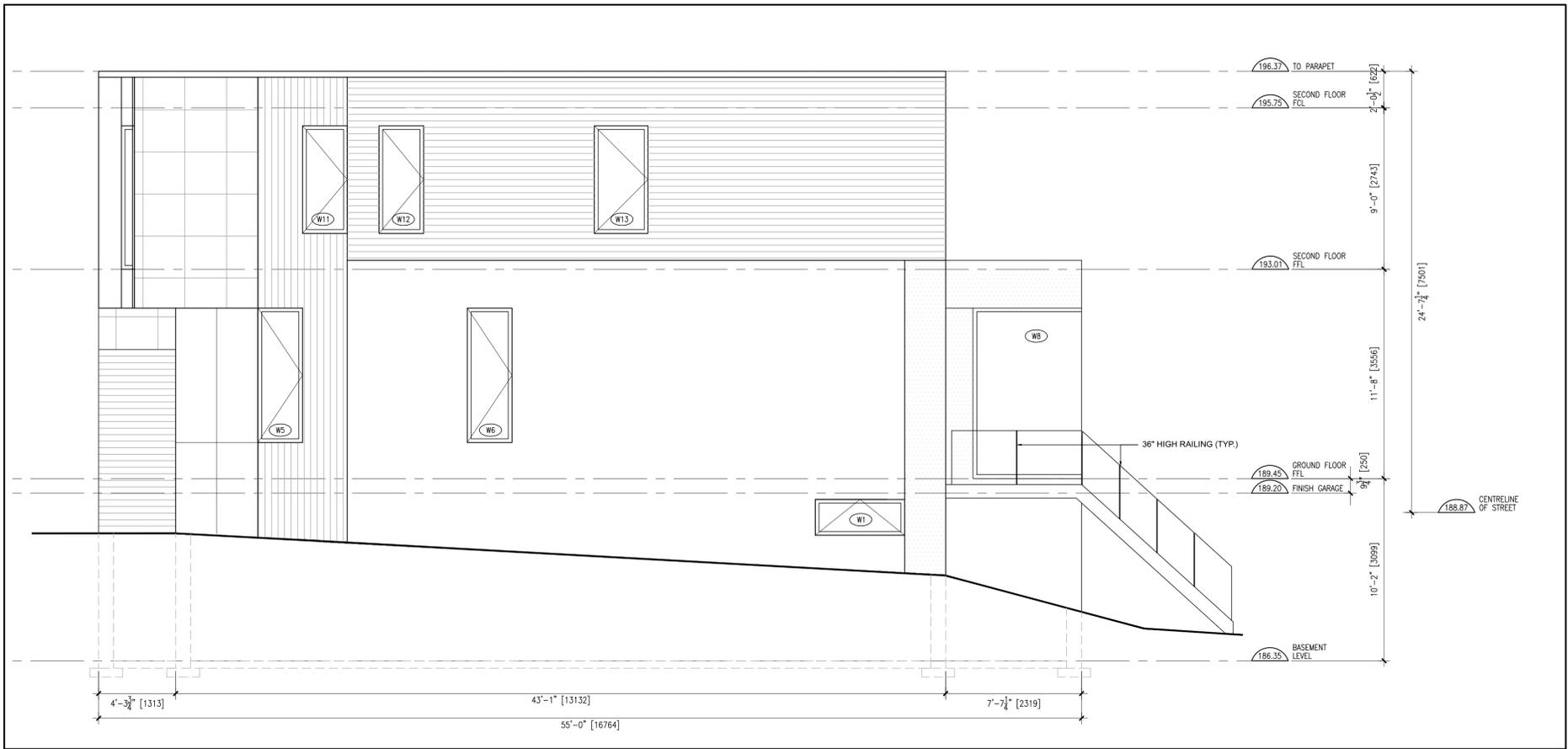
SINGLE-FAMILY RESIDENCE
 102 HIGHLAND PARK BLVD.
 MARKHAM, ON

20002 NOTED PROJECT SCALE OY OY DRAWN REVIEWED

ELEVATIONS

A401

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.



2 East Elevation
 A402 SCALE: 1/4" = 1'-0"



1 North Elevation
 A402 SCALE: 1/4" = 1'-0"

LEGEND:

-  BRICK FINISH
-  CEMENT BOARD
-  THINK STONE HONEYCOMB FINISH
-  CEDAR WOOD FINISH

GENERAL NOTES:
 DO NOT SCALE DRAWINGS.
 ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE.

REVISION RECORD

NO.	DATE	DESCRIPTION

2020-10-05 ISSUED FOR ZONING REVIEW

ISSUE RECORD



Scale bar: 0 10 20

y architects
 t 416.230.9130
 e info@yarchitects.ca

SINGLE-FAMILY RESIDENCE
 102 HIGHLAND PARK BLVD.
 MARKHAM, ON

20002 NOTED PROJECT SCALE OY OY DRAWN REVIEWED

ELEVATIONS

A402

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

A. AZIZ SURVEYORS INC., O.L.S.
 METRIC: DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

© COPYRIGHT 2020
 THE REPRODUCTION ALTERATION OR USE OF THIS REPORT IN WHOLE OR IN PART WITHOUT THE EXPRESS PERMISSION OF A. AZIZ SURVEYORS INC. O.L.S. IS STRICTLY PROHIBITED.

CAUTION
 THIS IS NOT A PLAN OF SURVEY AND SHOULD NOT BE USED FOR ANY REAL ESTATE TRANSACTIONS.

GEODETTIC:
 ELEVATIONS SHOWN HEREON ARE GEODETTIC AND ARE DERIVED FROM THE TOWN OF MARKHAM BENCH MARK # M-01-007, ELEVATION 187.076m

TREE NOTE
 TREES LOCATED WITHIN THE PROPOSED DWELLING AND DRIVEWAY TO BE REMOVED

NOTES
 1. PRIOR TO SUBMITTING A BUILDING PERMIT APPLICATION, THE BUILDER SHALL HAVE INDIVIDUAL SITING PLANS FOR EACH LOT APPROVED BY THE SUBDIVISIONS CONSULTING ENGINEER, WHICH COMPLY WITH THE APPROVED SUBDIVISION GRADING PLANS AND COMPOSITE UTILITY PLANS. SITING PLANS SHALL INCLUDE AS CONSTRUCTED SANITARY AND STORM SERVICE CONNECTION INVERT ELEVATION AT THE STREET LINE FOR EACH LOT.

2. WHERE INDICATED ON THIS PLAN, LOTS WHICH ABUT THE SUBDIVISION LIMIT SHALL BE GRADED TO PROVIDE A MINIMUM 0.6 METER STRIP OF UNDISTURBED LAND ADJACENT TO THE SUBDIVISION LIMIT. ALL EMBANKMENTS REQUIRED FOR THE GRADING OF THE LOTS SHALL COMMENCE AT THE INSIDE EDGE OF THIS STRIP OF LAND.

3. DRAINAGE SWALES SHALL BE CONSTRUCTED BY THE BUILDER ON THE PROPERTY LINE AND TO THE GRADES, DEPTHS AND SECTIONS SPECIFIED HEREIN:
 MINIMUM DEPTH= 0.15M, MAXIMUM DEPTH= 0.50M
 MINIMUM GRADIENT= 2.00% - MAXIMUM GRADIENT= 5.00%

4. ALL EMBANKMENTS FORMED DURING LOT GRADING SHALL HAVE A MAXIMUM FIVE (5) HORIZONTAL TO ONE(1) VERTICAL SLOPE.

5. DRIVEWAYS SHALL NOT BE USED AS AN OUTLET FOR ANY SIDE YARD SWALES.

6. DRIVEWAYS SHALL HAVE A GRADIENT BETWEEN 2.00% TO 8.00%

7. RETAINING WALL DESIGNS SHALL BE AS PER MANUFACTURER'S SPECIFICATIONS AND ARE TO BE STAMPED BY THE STRUCTURAL DESIGN ENGINEER. ALL RETAINING WALLS ARE TO BE INSPECTED BY A CONSULTING ENGINEER DURING CONSTRUCTION AND CERTIFIED UPON COMPLETION PRIOR TO RELEASE OF GRADING DEPOSIT.

8. WHEN A SEPARATION BETWEEN HOUSES IS LESS THAN 3.0 METRES, PLACE 19MM OF CLEAR STONE TO A DEPTH OF 100MM IN PLACE OF TOPSOIL & SOD. A POSITIVE GRADE AWAY FROM THE HOUSE AT SUB GRADE LEVEL IS MANDATORY.

9. UNDERSIDE OF BASEMENT FLOOR SHALL BE MIN. 0.5M ABOVE THE 100 YEAR HYDRAULIC GRADE LINE.

LEGEND:

CB	DENOTES	CATCH BASIN
FTW		TOP OF FOUNDATION WALL
FFE		FINISHED FLOOR ELEVATION
USF		UNDERSIDE OF FOOTING
BS		BASEMENT SLAB
MH		MANHOLE
HP		HYDRO POLE
SP		SEWER PILE
CB		CATCH BASIN
DU		DRAIN UNKOWN
MS		MEASURED
DT		DECIDUOUS TREE
CT		CONIFEROUS TREE
DS		DOOR SILL
DF		DOUBLE BOARD FENCE
CLF		CHAIN LINK FENCE
ST		STUCCO
FD		FOUNDATION
RW		RETAINING WALL
X		TREE TO BE REMOVED
100.00		PROPOSED ELEVATION
100.00		EXISTING ELEVATION
MH		MANHOLE
DR		DRAIN FOR BASEMENT WALKOUT
DS		DOOR SILL
MH		MANHOLE
HP		HYDRO POLE
LP		LAMP POST
STM		STORM
TPZ		TREE PROTECTION ZONE
PROP		PROPOSED
PRODN		PRODUCTION
CONN		CONNECTION
EX		EXISTING
CONN		CONNECTION
TPZ		TREE PROTECTION FENCE
TPZ		TREE PROTECTION ZONE
TPZ		SEDIMENT CONTROL FENCE
TPZ		TREE PROTECTION ZONE
TPZ		HORIZONTAL HOARDING ZONE

UNDERGROUND SERVICES
 IT IS THE BUILDER OR CONTRACTOR RESPONSIBILITY TO CHECK THE UNDERGROUND SERVICES AND CONNECTIONS PRIOR TO THE EXCAVATION OF THE NEW DWELLING. THE UNDERGROUND CLAIMS NO RESPONSIBILITY FOR THE UNDERGROUND INVERTS AND ELEVATIONS OR LOCATIONS.

CONSIDERING PROPOSED SANITARY SERVICES AS SHOWN ON THE PLAN, THE OWNER IS RESPONSIBLE FOR THE COST OF ANY DAMAGE OR REPAIR OF THE OUP LINER AFTER THE SERVICING WORK IS TENDERED.

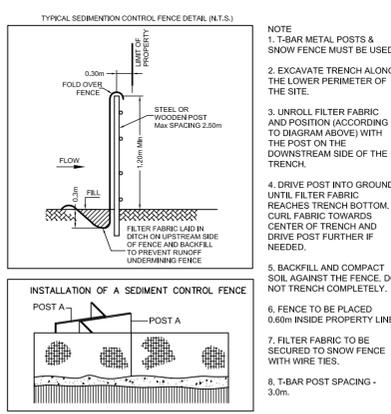
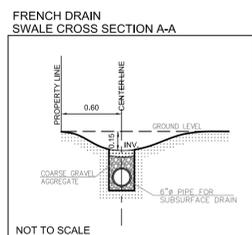
DECOMMISSIONED SERVICES
 ALL DECOMMISSIONED SERVICES TO BE DONE BY CITY AT OWNERS EXPENSE

SURVEYOR'S CERTIFICATE
 I HAVE REVIEWED THIS SITE PLAN FOR THE DWELLING No. 102 HIGHLAND PARK BOULEVARD IT IS MY BELIEF THAT THE GRADES AS SHOWN WILL PRODUCE ADEQUATE SURFACE DRAINAGE WITHOUT DETRIMENTAL EFFECT ON ADJACENT PROPERTIES.

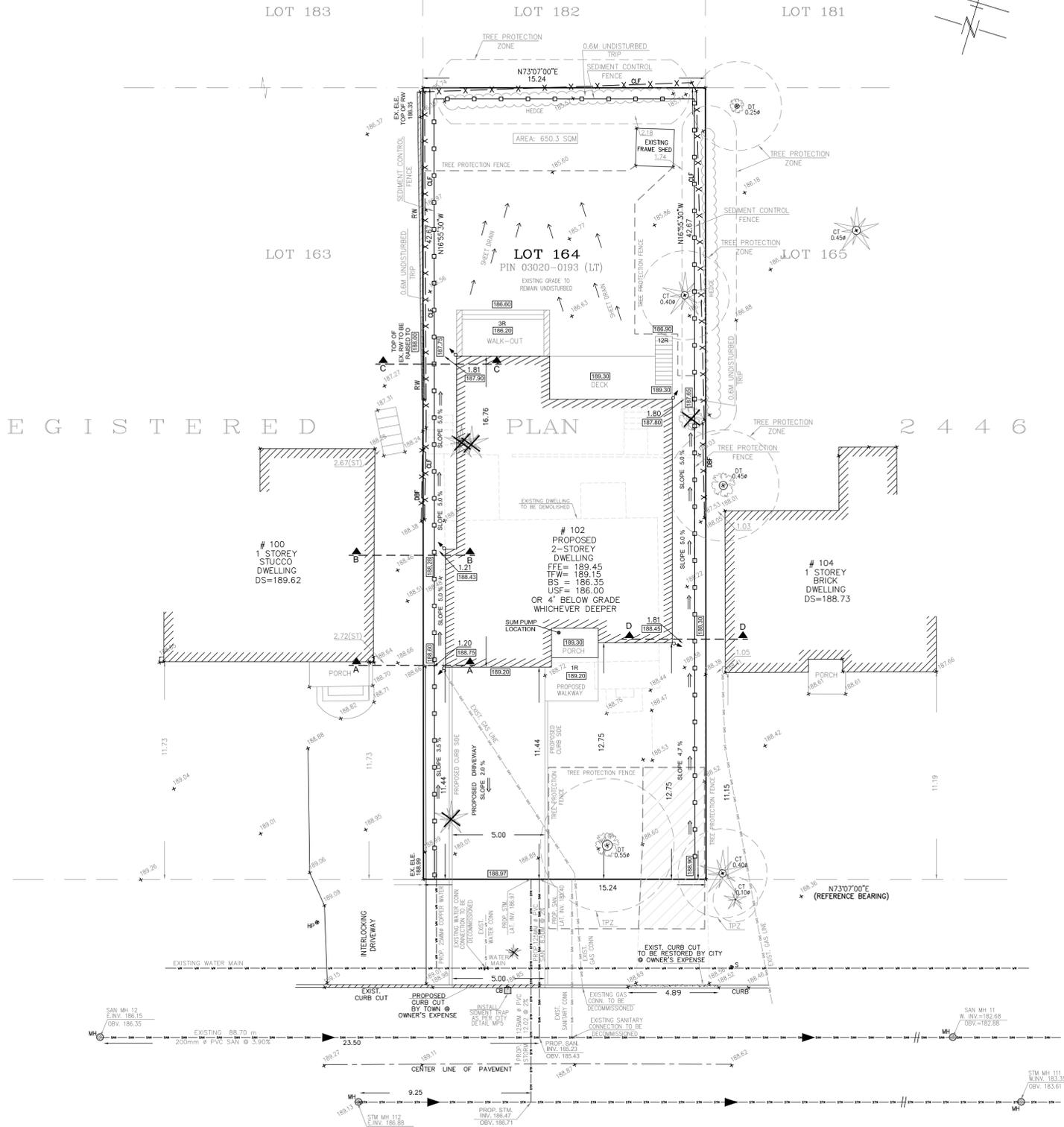
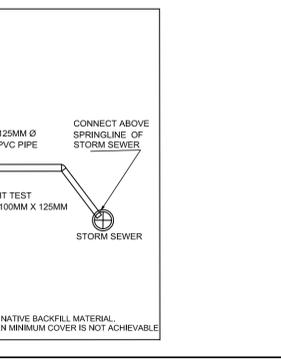
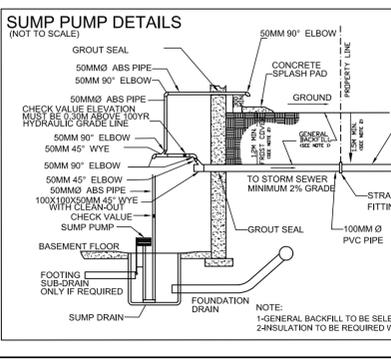
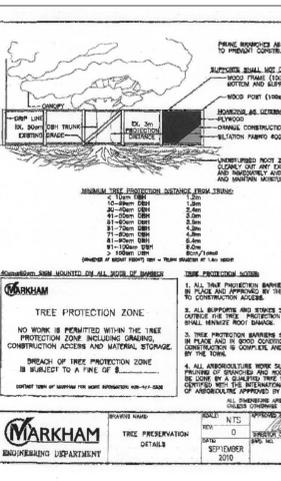
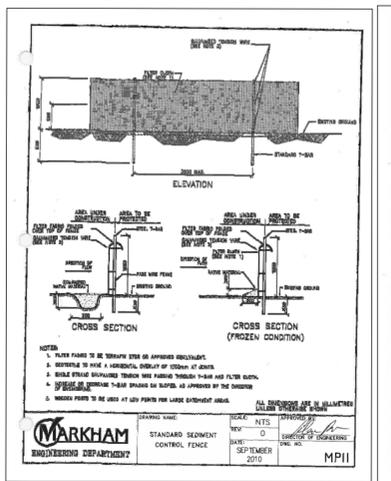
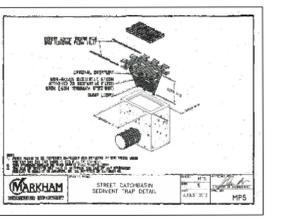
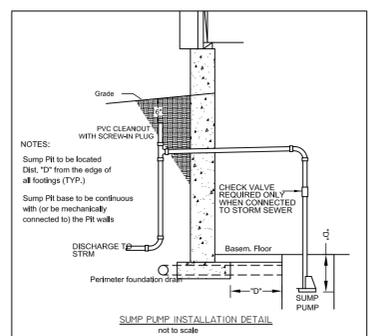
DATE: SEPTEMBER 03, 2020
 A. AZIZ SURVEYORS INC.
 ONTARIO LAND SURVEYORS

A. AZIZ SURVEYORS INC
 ONTARIO LAND SURVEYORS
 120 NEWKIRK ROAD-#31, RICHMOND HILL, ONT. L4C-9S7
 Tel: (905) 237-4224 Fax: (416) 477-5465
 Website: M-Azizsurveyors.ca
 E-Mail: aziz@m-azizsurveyors.ca

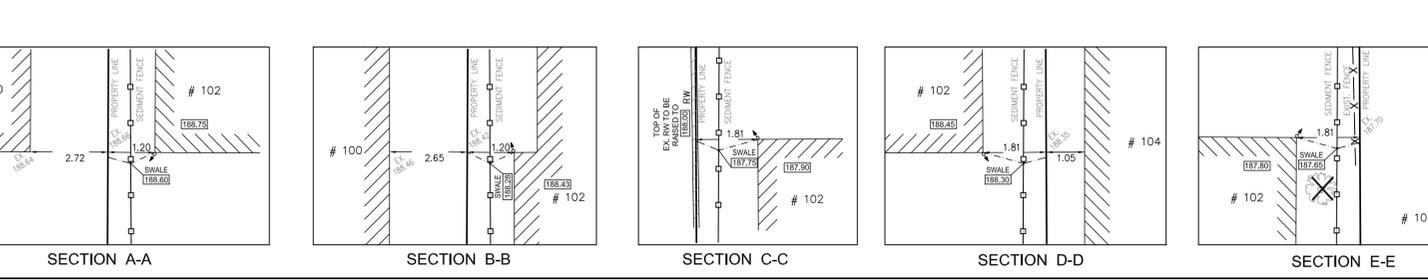
PROJECT NUMBER	PROJECT
20-042	102 HIGHLAND PARK BOULEVARD (GP)
DRAWN BY: C.H	CHECKED BY: A.A



- NOTE**
1. T-BAR METAL POSTS & SNOW FENCE MUST BE USED.
 2. EXCAVATE TRENCH ALONG THE LOWER PERIMETER OF THE SITE.
 3. UNROLL FILTER FABRIC AND POSITION (ACCORDING TO DIAGRAM ABOVE) WITH THE POST ON THE DOWNSTREAM SIDE OF THE TRENCH.
 4. DRIVE POST INTO GROUND UNTIL FILTER FABRIC REACHES TRENCH BOTTOM. CURL FABRIC TOWARDS CENTER OF TRENCH AND DRIVE POST FURTHER IF NEEDED.
 5. BACKFILL AND COMPACT SOIL AGAINST THE FENCE. DO NOT TRENCH COMPLETELY.
 6. FENCE TO BE PLACED 0.60m INSIDE PROPERTY LINE.
 7. FILTER FABRIC TO BE SECURED TO SNOW FENCE WITH WIRE TIES.
 8. T-BAR POST SPACING - 3.0m.

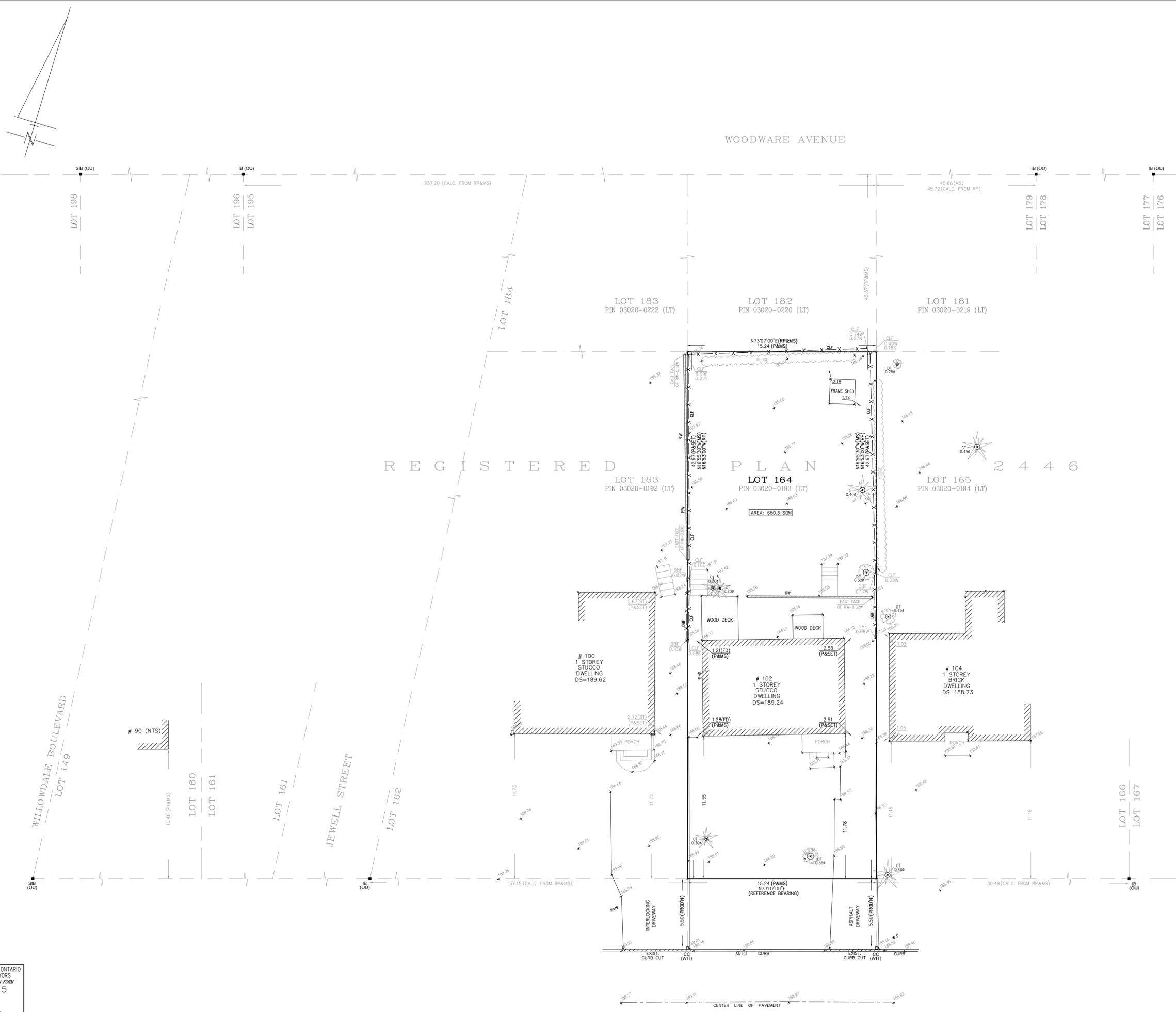


HIGHLAND PARK BOULEVARD
 (BY REGISTERED PLAN 2446)
 PIN 03020-0503 (1T)





A. AZIZ SURVEYORS INC., O.L.S.
 METRIC: DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.
 © COPYRIGHT 2020
 THE REPRODUCTION, ALTERATION OR USE OF THIS REPORT IN WHOLE OR IN PART WITHOUT THE EXPRESS PERMISSION OF A. AZIZ SURVEYORS INC., O.L.S. IS STRICTLY PROHIBITED.



PART 2:
REPORT
 * THIS REPORT WAS PREPARED FOR O.YAZDANI, AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR ITS USE BY OTHER PARTIES.
BOUNDARIES
 * LOT 164, REGISTERED PLAN 2446
TITLE SEARCH INDICATES
 * NO EASEMENTS OR RIGHT OF WAYS REGISTERED ON TITLE.
ZONING
 * NO INVESTIGATION WITH RESPECT TO MUNICIPAL ZONING BY LAW HAS BEEN MADE FOR THE SUBJECT PROPERTY (PROPERTIES).
FENCES
 * PLEASE NOTE THE POSITION OF THE FENCES IN RELATION TO THE NORTHERLY, EASTERLY & WESTERLY BOUNDARIES; THEY ARE LOCATED OVER THE SUBJECT BOUNDARIES TO THE EXTENT SHOWN ON THE PLAN.
BEARING NOTE
 * BEARING ARE ASTROMOMIC AND ARE REFERRED TO THE NORTHERLY LIMIT OF HIGHLAND PARK BOULEVARD HAVING A BEARING OF N73°07'00"E AS SHOWN ON REGISTERED PLAN 2446
GEODETIC:
 ELEVATIONS SHOWN GEODETIC DRIVEN FROM CITY OF MARKHAM BENCH MARK # M-01-007, ELEVATION 187.076m

LEGEND:

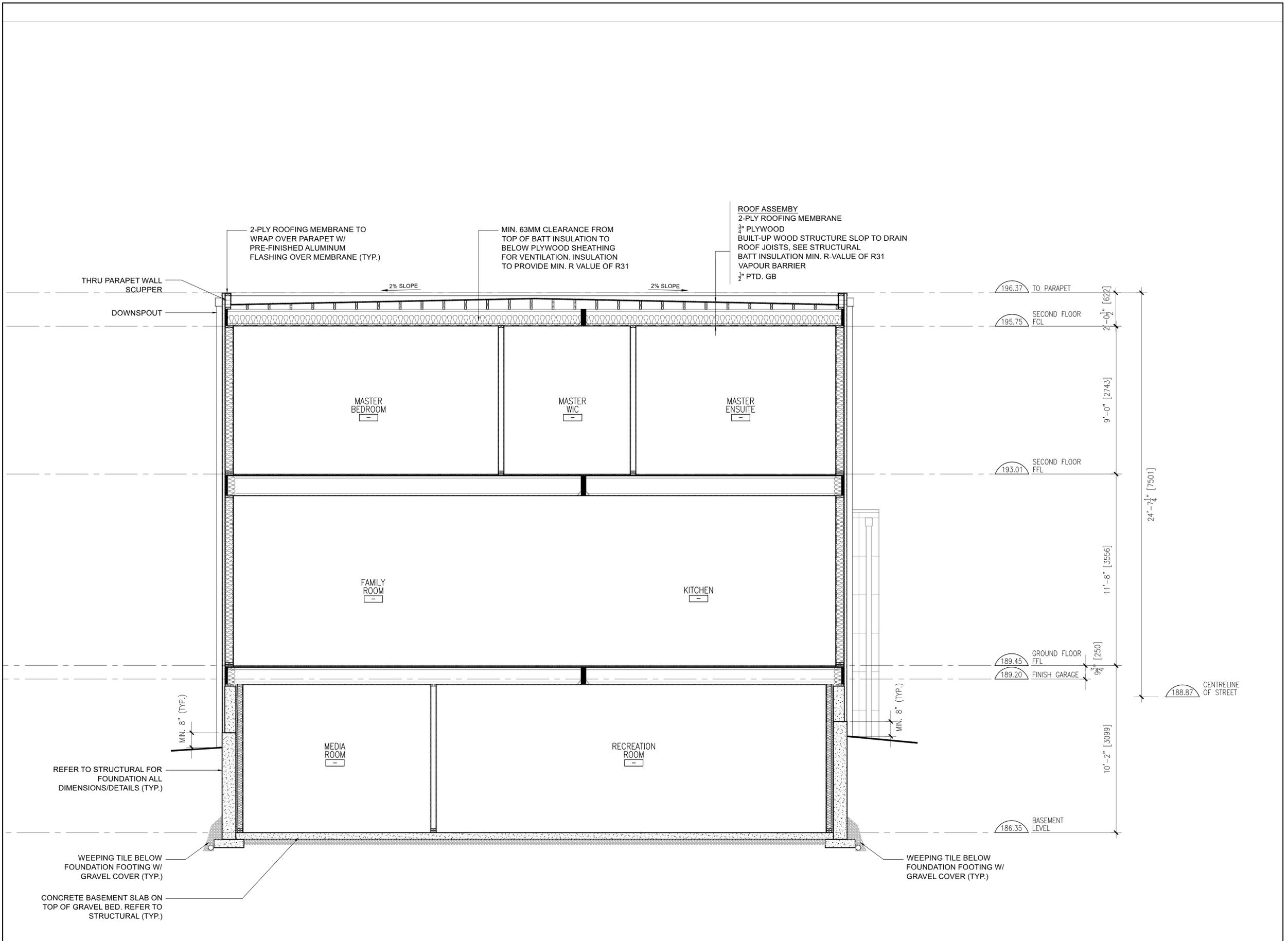
■ DENOTES SURVEY MONUMENT FOUND	IB DENOTES IRON BAR
□ SURVEY MONUMENT SET	MH MANHOLE
SB STANDARD IRON BAR	HP HYDRO POLE
N.E.S.W NORTH, EAST, SOUTH, WEST	S SIGN
DBF DOUBLE BOARD FENCE	CB CATCH BASIN
CLF CHAIN LINK FENCE	OU OCEAN UMBELION
RP REGISTERED PLAN 2446	MS MEASURED
P SURVEY BY ARSAN PILLER CORP. O.L.S. DATED NOVEMBER 26, 1993	DT DECIDUOUS TREE
PI SURVEY BY ARSAN PILLER CORP. O.L.S. DATED DECEMBER 11, 2007	CT CONFERIOUS TREE
	DS DOOR SILL
	IS CALC.
	NTS NOT TO SCALE
	ST STUCCO
	FD FOUNDATION
	RW RETAINING WALL
	CC CUT CROSS
	WT WITNESS
	PROD/N PRODUCTION

ASSOCIATION OF ONTARIO LAND SURVEYORS
 PLAN SUBMISSION FORM
 2118915
 THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR. In accordance with Regulation 1026, Section 29(3).

SURVEYOR'S CERTIFICATE
 I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON THE 21st DAY OF FEBRUARY, 2020

DATE: MARCH 10, 2020
 A. ABDELSHAMH
 ONTARIO LAND SURVEYOR
A. AZIZ SURVEYORS INC
 ONTARIO LAND SURVEYORS
 120 NEWKIRK ROAD #31, RICHMOND HILL, ONT. L4C-9S7
 Tel. (905) 237-8224 Fax: (416) 477-5465
 Website: M-Azizsurveyors.ca
 E-Mail: aziz@m-azizsurveyors.ca

PROJECT NUMBER	PROJECT
20-042	102 HIGHLAND PARK BOULEVARD (SR-PR)
DRAWN BY: C.H	CHECKED BY: A.A

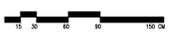


GENERAL NOTES:
 DO NOT SCALE DRAWINGS.
 ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE.

REVISION RECORD

2020-10-05 ISSUED FOR ZONING REVIEW

ISSUE RECORD



y architects
 t 416.230.9130
 e info@yarchitects.ca

SINGLE-FAMILY RESIDENCE
 102 HIGHLAND PARK BLVD.
 MARKHAM, ON

2002 NOTED PROJECT SCALE OY OY DRAWN REVIEWED

SECTION

A451

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

1 East-West Section
 SCALE: 3/8" = 1'-0"