

Memorandum to the City of Markham Committee of Adjustment

June 30th, 2020

File: A/034/20
Address: 47 Hawkridge Avenue, Markham
Applicant: ARK Group
Agent: Zhi Da Chen
Hearing Date: July 7th, 2020

The following comments are provided on behalf of the East Team:

The applicant is requesting relief from the following Residential One (R1) zone requirements of By-law 1229, as amended, as they relate to a proposed two-storey detached dwelling on the subject property:

- a) **By-law, 1229, Section 11.2 (c):**
to permit uncovered stairs to encroach 40 inches into the required front yard, whereas the By-law permits a maximum encroachment of 18 inches into the required yard; and
- b) **Infill By-law 99-90, Section 1.2 (vi):**
to permit a proposed net floor area ratio of 53.5 percent, whereas the By-law allows a maximum floor area ratio of 45 percent.

BACKGROUND

Property Description

The 814.5 m² (8,767 ft²) subject property is located on the east side of Hawkridge Avenue, north of Highway 7 East and west of Main Street Markham North. There is an existing one storey detached dwelling on the property, which according to the variance application form, was constructed in the 1970s. Mature vegetation exists across the property.

The property is located within an established residential neighbourhood comprised of one and two-storey detached dwellings. The surrounding context can be described as one that is in transition with several examples of newer infill homes that have been developed as larger two-storey dwellings with attached garages. There have been several homes in the area that have been approved for variances for increased floor area ratio including 44, 49, 56, 66 and 67 Hawkridge Avenue.

Proposal

The applicant is proposing to demolish the existing dwelling and construct a new two storey 353.18 m² (3,801.6 ft²) detached dwelling with an attached garage on the subject property. The proposed dwelling also includes a walk out basement and rear deck. The attached garage has the appearance of a two-car garage from the Hawkridge Avenue however, is designed to accommodate a third vehicle parking space in tandem.

Official Plan and Zoning

Official Plan 2014 (partially approved on Nov 24/17, and further updated on April 9/18)

The subject property is designated “Residential – Low Rise”, which provides for low-rise housing forms including single detached dwellings. Section 8.2.3.5 of the 2014 Official Plan outlines development criteria for the ‘Residential – Low Rise’ designation with respect to height, massing and setbacks. This criteria is established to ensure that the development is appropriate for the site and generally consistent with the zoning requirements for adjacent properties and properties along the same street. In considering applications for development approval in a ‘Residential Low Rise’ area, which includes variances, infill development is required to meet the general intent of these development criteria. Regard shall also be had for retention of existing trees and vegetation, the width of proposed garages and driveways and the overall orientation and sizing of new lots within a residential neighbourhood.

Zoning By-Law 1229

The subject property is zoned Residential One (R1) under By-law 1229, as amended, which permits a single detached dwelling. The proposed development does not comply with the By-law requirements with respect to maximum encroachment into the required front yard.

Residential Infill Zoning By-law 99-90

The subject property is also subject to the Residential Infill Zoning By-law 99-90. The intent of this By-law is to ensure the built form of new residential construction will maintain the character of existing neighbourhoods. It specifies development standards for building depth, garage projection, garage width, net floor area ratio, height, yard setbacks and number of storeys. The proposed development does not comply with the infill By-law requirements with respect to maximum floor area ratio.

Zoning Preliminary Review (ZPR) Not Undertaken

The owner has confirmed that a Zoning Preliminary Review (ZPR) has not been conducted. It is the owner’s responsibility to ensure that the application has accurately identified all the variances to the Zoning By-law required for the proposed development. If the variance request in this application contains errors, or if the need for additional variances is identified during the Building Permit review process, further variance application(s) may be required to address the non-compliance.

COMMENTS

The Planning Act states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained;
- d) The general intent and purpose of the Official Plan must be maintained.

Increase in Maximum Floor Area Ratio

The applicant is requesting a floor area ratio of 53.5 percent, whereas the By-law permits a maximum floor area ratio of 45 percent. The variance will facilitate the construction of a two-storey detached dwelling with a floor area of 381.88 m² (4,110.6 ft²), whereas the By-law permits a dwelling with a maximum floor area of 321.22 m² (3,457.54 ft²). This represents an increase of approximately 60.66 m² (653 ft²).

The building layout meets all other zoning provisions (such as setbacks, lot coverage, height, building depth) that establishes the prescribed building envelope, which ensures the proposed dwelling will be in keeping with the intended scale of residential infill development in the neighbourhood. The proposed dwelling will be larger than existing one-storey dwellings in the surrounding area, which were originally constructed in the 1970s. However, the proposed dwelling is similar in size and scale to infill developments along Hawkridge Avenue, and staff are of the opinion that the proposed dwelling will be compatible with the newer homes on the street.

Increase in Maximum Uncovered Stair Encroachment

The applicant is requesting that the proposed uncovered stairs be permitted to encroach a maximum 40 inches (1 m) into required front yard, whereas the By-law permits a maximum uncovered stair encroachment of 18 inches (0.46 m) into the required yard. Staff do not have concerns with this requested variance.

Application Processing

On June 12, 2020, the Province announced that the emergency regulations relating to *Planning Act* applications will end on June 22, 2020. After June 22, 2020, the procedural requirements (e.g. sending of notices, hearing of applications, eligibility for appeals to LPAT, etc.) of *Planning Act* applications shall proceed as they did prior to the declaration of the emergency. Revisions to the initial memorandum include an update on matters relating to application processing.

PUBLIC INPUT SUMMARY

No written submissions were received as of April 3rd, 2020 when this report was finalized. Any additional public input received after the writing of the report will be provide by Secretary-Treasurer at the Committee of Adjustment meeting.

CONCLUSION

Planning Staff have reviewed the application with respect to Section 45(1) of The Planning Act, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variance request meets the four tests of the Planning Act. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Please see Appendix "A" for conditions to be attached to any approval of this application.

PREPARED BY:



Aqsa Malik, Planner, East District

REVIEWED BY:



Stephen Corr, Senior Planner, East District

File Path: Amanda\File\ 20 109970 \Documents\District Team Comments Memo

APPENDIX “A”

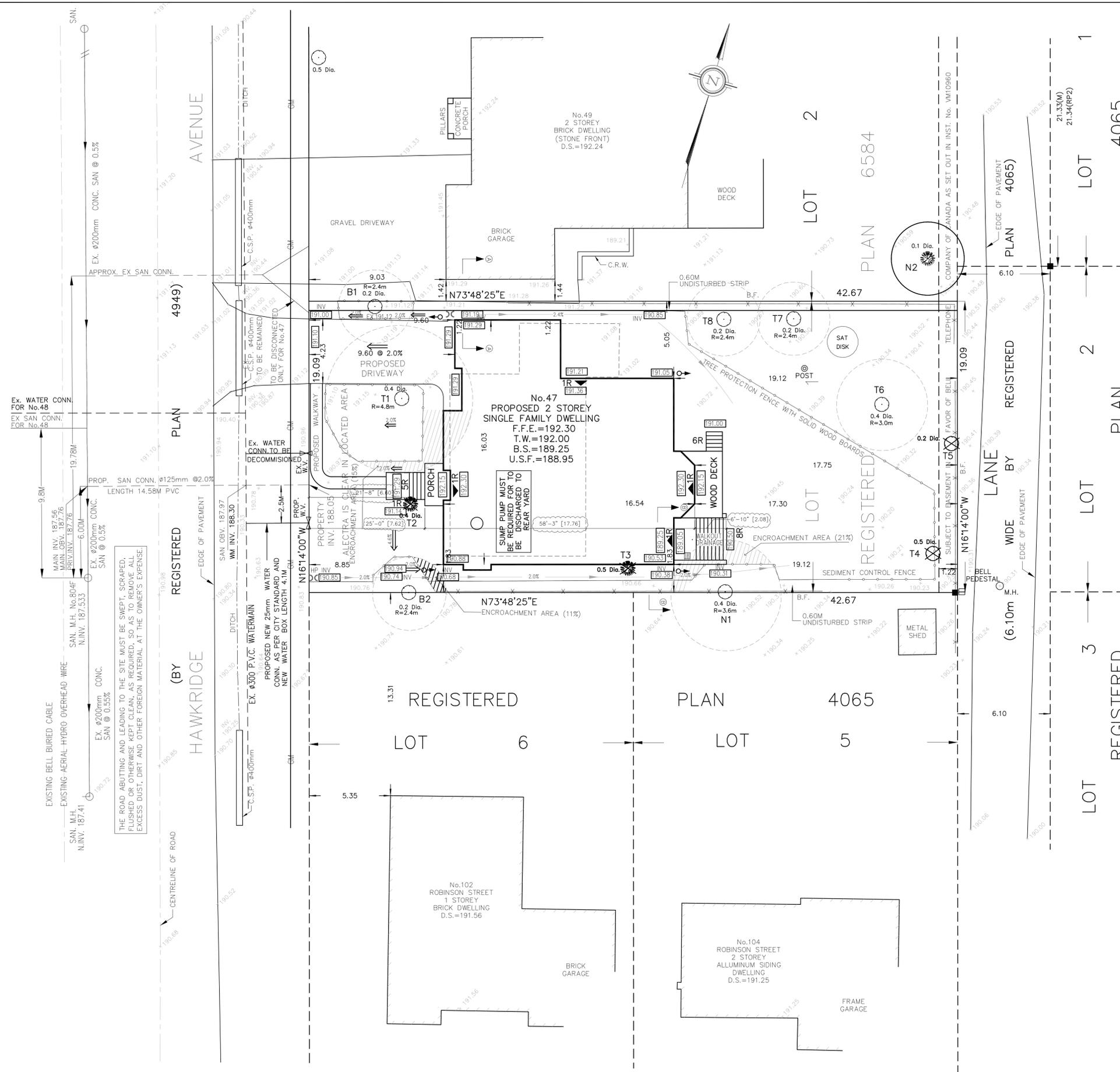
CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/034/20

1. The variances apply only to the proposed development as long as it remains;
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) received by the City of Markham, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction;
3. Submission of a Tree Assessment and Preservation Plan, prepared by a qualified arborist in accordance with the City’s Streetscape Manual (2009), as amended, to be reviewed and approved by the City, and that the Secretary-Treasurer receive written confirmation from Tree Preservation Technician or Director of Operations that this condition has been fulfilled to his/her satisfaction, and that any detailed Siting, Lot Grading and Servicing Plan required as a condition of approval reflects the Tree Assessment and Preservation Plan;
4. That prior to the commencement of construction or demolition, tree protection be erected and maintained around all trees on site in accordance with the City’s Streetscape Manual, including street trees, in accordance with the City’s Streetscape Manual (2009) as amended, and inspected by City Staff to the satisfaction of the Tree Preservation Technician or Director of Operations; and
5. That tree replacements be provided and/or tree replacement fees be paid to the City if required in accordance with the Tree Assessment and Preservation Plan, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the Tree Preservation Technician or Director of Operations.

CONDITIONS PREPARED BY:



Aqsa Malik, Planner, East District



- LEGEND**
- 99.99 DENOTES HIGH POINT
 - 99.99 DENOTES EXISTING ELEVATION
 - 99.99 DENOTES PROPOSED ELEVATION
 - U.P. DENOTES UTILITY POLE
 - W.V. DENOTES WATER VALVE
 - C.B. DENOTES CATCH BASIN
 - M.H. DENOTES MAN HOLE
 - S.N. DENOTES STREET LAMP
 - ↑ DENOTES STREET SIGN
 - ↓ DENOTES RAIN WATER LEADER
 - ↑ DENOTES TREE PROTECTION BARRIERS MP12
 - ↑ DENOTES SEDIMENT CONTROL FENCE MP11
 - ↑ DENOTES CONSTRUCTION FENCE
 - DENOTES INVENTORY TREE
 - DENOTES TREE PROTECTION ZONE
 - DENOTES SEDIMENT CONTROL FENCE
 - FFE DENOTES FINISHED FIRST FLOOR ELEVATION
 - TW DENOTES TOP OF WALL ELEVATION
 - BS DENOTES BASEMENT SLAB ELEVATION
 - USF DENOTES UNDERSIDE OF FOOTING ELEVATION
 - DS DENOTES FINISHED DOOR SILL ELEVATION
 - B.F. DENOTES BOARD FENCE
 - W.F. DENOTES WIRE FENCE
 - T.R.W. DENOTES TOP RETAINING WALL ELEVATION
 - DENOTES DECIDUOUS TREE
 - DENOTES CONIFEROUS TREE
 - DENOTES EXISTING TREE TO BE REMOVED
 - GM DENOTES GAS MAIN
 - GS DENOTES GAS SERVICE
 - C DENOTES CABLE

FOR PROPOSED GRADING INFORMATION, PLEASE REFER TO GRADING PLAN PREPARED BY: MANDARIN SURVEYORS LIMITED, O.L.S. DATED AUGUST 16, 2019	
SITE STATISTICS:	
ZONING:	R1
BYLAW:	1229 AS AMENDED
LOT AREA:	814.44 S.M. (8766.85 SQ.FT.)
BUILDING AREA:	213.61 S.M.
BUILDING COVERAGE:	26.2%
SETBACKS:	
FRONT YARD	8.38 M
SIDE YARD (N)	1.22 M
SIDE YARD (S)	1.83 M
REAR YARD	17.75 M
BUILDING AREA:	
BASEMENT:	173.01 S.M.
MAIN FLOOR:	173.01 S.M.
GARAGE:	39.88 S.M.
2ND FLOOR:	180.17 S.M.
TOTAL G.F.A.	353.18 S.M.
BUILDING HEIGHT:	9.80 M
BUILDING LENGTH:	16.54 M

The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify the designer/engineer of any variations from the supplied information.

This drawing is not to be scaled.

Construction must conform to all applicable codes and requirements of authorities having jurisdiction.

The designer is not responsible for the accuracy of survey, mechanical, electrical, etc., information shown on these plans. Refer to the appropriate consultant's drawings before proceeding with the work.

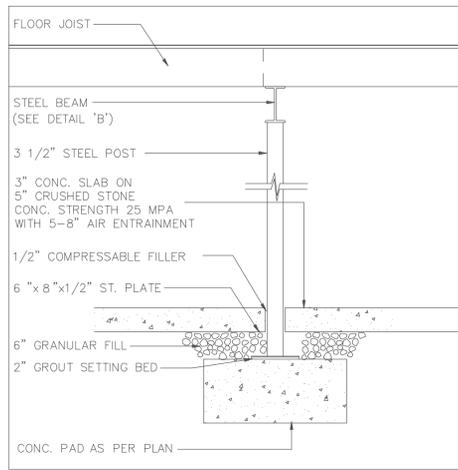
This drawings, as an instrument of service, is provided by and is the property of the Designer. The designer retains ownership of copyright in all these drawings.

REVISIONS:		
NO.	DATE	DESCRIPTION
1	10/07/2019	ISSUED FOR BUILDING PERMIT
2	12/23/2019	ISSUED FOR ZONING RESUBMISSION

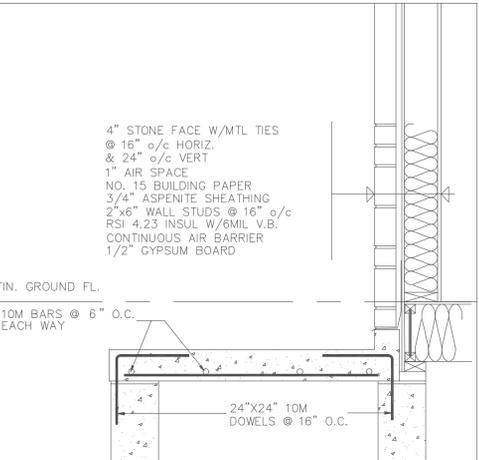


Project:	Proposed Two Storey Single Family Dwelling
Location:	47 Hawkridge Avenue Markham, ON
Drawing:	Site Plan and Site Statistics
Project No.	1819
Date:	September 28, 2018
Scale:	1/4" = 1'-0"
Drn:	WCY
Ckd:	WCY

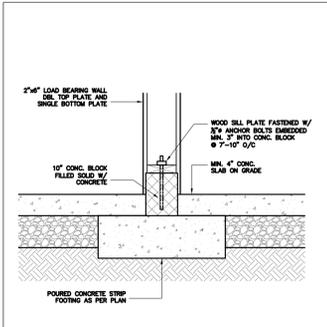
1 SITE PLAN
A1 3/32" = 1'-0"



1 STEEL COL. DETAIL
A2 N.T.S.



2 FRONT PORCH SLAB DETAIL
A2 N.T.S.



3 INT. LOADBEARING WALL
A2 N.T.S.

NOTE:
GROUND WATER LEVEL MUST BE INSPECTED DURING THE CONSTRUCTION.

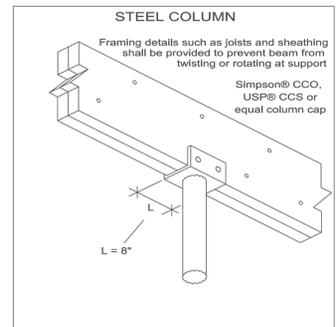
FOR FOOTINGS CLOSER THAN 22" TO THE TOP OF THE GROUND WATER LEVEL, THE WIDTH AND THICKNESS MUST BE DOUBLED UNLESS OTHERWISE INSTRUCTED BY GEOTECHNICAL ENGINEER. EXCAVATIONS EXCEEDING 48" DEPTH SHALL BE SHORED OR TRENCHED PER GEOTECHNICAL ENGINEER'S INSTRUCTION

FOOTINGS:

- MINIMUM 2200 PSI POURED CONCRETE
- MINIMUM 48" BELOW FINISHED GRADE
- FOOTINGS SHALL BE FOUNDED ON NATURAL UNDISTURBED SOIL, ROCK, OR COMPACTED GRANULAR FILL WITH MINIMUM BEARING CAPACITY OF 100 KPa

EXCAVATIONS:

IT IS THE CONTRACTOR'S AND THE OWNERS RESPONSIBILITY TO SHORE EXCAVATION AND TO ENGAGE THE SERVICES OF A SOILS ENGINEER TO VERIFY THE STABILITY OF THE EXCAVATION. THIS IS REQUIRED WHEN THE DEPTH OF AN EXCAVATION EXCEEDS 4'-0" AND THE HORIZONTAL DISTANCE BETWEEN HIS EXCAVATION AND ADJACENT STRUCTURE AND/OR FOOTINGS AND/OR PROPERTY LINE IS LESS THAN 4'-0". IF SHORING IS REQUIRED PROVIDE SHOP DRAWINGS SEALED BY A P.ENG. OF ONTARIO FOR REVIEW AND COMMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION



4 STEEL COLUMN
A2 N.T.S.

NOTE:
ALL INTERIOR DIMENSIONS MEASURED TO FACE OF WALL STUDS (TYPICAL)

NOTE:
FLOOR JOISTS SPACING @ 12" O/C FOR ALL TILED AREA (TYPICAL)

CONTRACTOR MUST VERIFY STAIR OPENINGS STAIR DIMENSIONS & HEADROOM CLEARANCE PRIOR TO FABRICATION & INSTALLATION

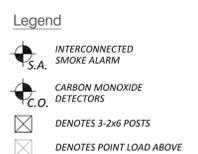
ALL STEEL BEAMS TO BE WELDED TOGETHER AND TO THE STEEL POSTS AT SITE. HSS POSTS SHALL HAVE TOP AND BOTTOM PLATES WELDED AT SHOP

PROVIDE WEB STIFFENERS UNDER ALL POINT LOADS AND OVER BEARING POINTS.

FLOOR LIVES LOADS = 40 PSF
FLOOR DEAD LOADS = 15 PSF

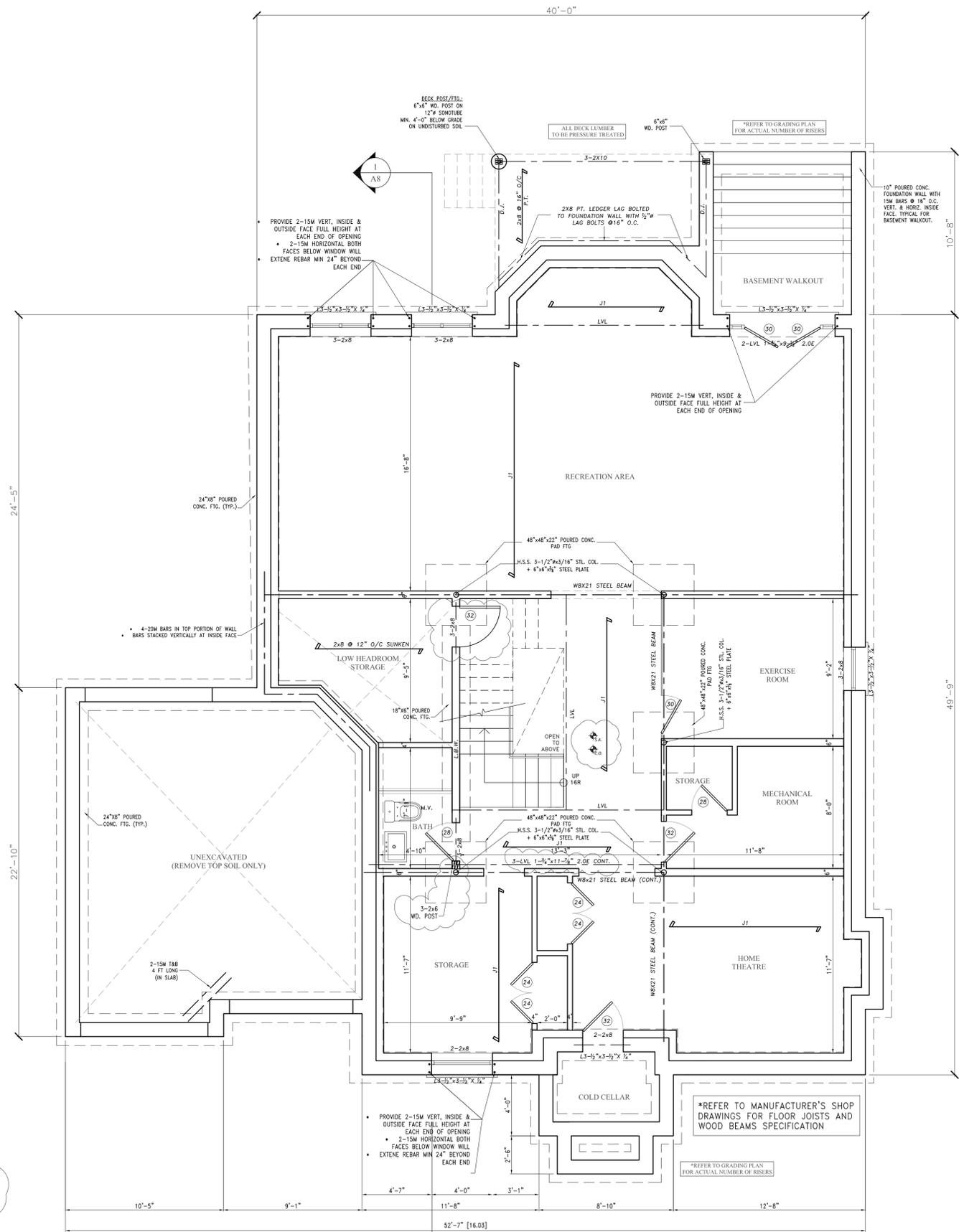
ALL STRUCTURAL MEMBERS SHALL BEAR ON SOLID BUILT UP POSTS EQUAL TO THE WIDTH OF THE STRUCTURAL MEMBER ALL POSTS SHALL BE MIN. 2 PLY OF 2x6 LUMBER UNLESS NOTED OTHERWISE ON PLANS OR THE STRUCTURAL MEMBERS SHALL BEAR ON SOLID MASONRY

ALL LVL TO BE 2.0E GRADE



LINTEL NOTE:
ALL STEEL LINTELS SIZES ARE BASED ON OBC TABLE 9.20.5.2.B FOR MASONRY VENEER

1 BASEMENT PLAN
A2 1/4" = 1'-0"



The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify the designer/engineer of any variations from the supplied information.

This drawing is not to be scaled.

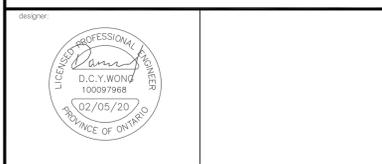
Construction must conform to all applicable codes and requirements of authorities having jurisdiction.

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REVISIONS:

NO.	DATE	DESCRIPTION
1	10/07/2019	ISSUED FOR BUILDING PERMIT
2	02/05/2020	ISSUED FOR EXAMINER'S NOTICE



Project: Proposed Two Storey Single Family Dwelling

Location: 47 Hawkrigde Avenue Markham, ON

Drawing: Basement Floor Plan

Project No.	1819	DRAWING NO.	
Date:	September 28, 2018		
Scale:	1/4" = 1'-0"		
Drn:	WCY	Ckd:	WCY



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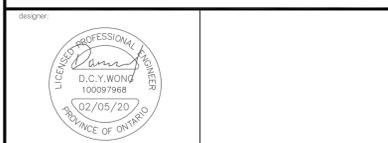
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REVISIONS:

NO.	DATE	DESCRIPTION
1	10/07/2019	ISSUED FOR BUILDING PERMIT
2	02/05/2020	ISSUED FOR EXAMINER'S NOTICE



Project: Proposed Two Storey Single Family Dwelling

Location: 47 Hawkrigde Avenue Markham, ON

Drawing: Main Floor Plan

Project No. 1819 DRAWING NO. A3
 Date: September 28, 2018
 Scale: 1/4" = 1'-0"
 Drn: WCY Ckd: WCY

A1s RIM BOARD w/ SQUASH BLOCKS

Use double squash blocks as specified; squash blocks must be cut 1/16" taller than I-Joist. 2x4 minimum.

Stagger 8d or 10d box nails to avoid splitting.

Fasten rim board to each floor I-joist using one 8d nail or 10d box nail per flange.

8d nails at 6" o.c. toe-nailed from outside of building.

A5 JOIST SUPPORT NAILING

Secure I-Joist to plates with two 8d or 10d box nails. Drive one nail from each side of I-Joist, angled inward.

Place nail 1-1/2" min. from end of I-joist. If nails are close to edge of plate, drive at an angle to reduce splitting.

B3c JOIST END OVER INTERIOR SUPPORT

LP LSL, LP LVL or LP Rim may be substituted for I-Joist Blocking.

Blocking is required when I-joists end at support.

butting

C3 CANTILEVER DETAIL

23/32" OSB (or equal) Reinforcement Both Sides

APA Rated 23/32" OSB (or equal) closure, or as required by code.

APA rated 23/32" OSB (or equal) reinforcement both sides, 4'-0" long minimum.

LPI Blocking *

* LPI SolidStart Rim Board. Attach reinforcement to top LVL or LSL may be substituted with 8d nails at 6" o.c. both sides for the LP Blocking with nails staggered to avoid splitting.

E2 HANGER DETAIL

Applied loads at end of I-joist must be supported directly by the girder or by a ledger or blocking fastened to the girder.

Be sure to check web filler requirements for hangers.

Verify capacity and fastening requirements of hangers and connectors.

E3 I-JOIST HEADER

Verify web filler/stiffener requirements for hangers.

See Double I-Joist Connection detail.

Verify all hanger connections.

Filler blocks

Web Filler (as backer block)

Filler blocks

See I-Joist Header Cross-section for information on attaching web fillers and filler blocks.

Refer to I-Joist Filler Thickness table for web filler (backer block) and filler block sizes.

E5 DOUBLE I-JOIST CONNECTION

Floor sheathing to be glued and nailed to flanges of both joists.

Filler Block Thickness Table:
 LPI 18, 20Plus, 32Plus = 2-1/8"
 LPI 30 = 1-7/8"
 LPI 42Plus, 52Plus, 56 = 3"

Filler Blocks: Install in minimum 4' long sections at each support, centered centered behind each supported hanger and at no more than 8" o.c. Lumber fillers may be stacked to achieve the required depth (see notes 2 & 3). For example, two 4' long 2 x 8's may be stacked vertically to achieve the filler depth for an 18" deep joist (min. required depth is 18" - 3" = 15"). Attach filler blocks with 8d nails (10d for flanges wider than 2-1/2") nails spaced 6" o.c. per row. Use one row of nails in each row of stacked fillers, with a minimum of two rows of nails. Drive every other nail from opposite sides.

P2 TOP LOADED BEAM-BOLTED CONNECTION

(See Connection Assemblies for more details)

Framing is applied to top of the beam so that each ply carries an equal load.

Nails are permissible but NOT required. See notes for Connection Assemblies.

1/2" diameter ASTM grade A-307 (or better) bolts. Use washers on both faces.

P3 Beam Connection

Structurally adequate hanger.

Hanger shall apply load equally to each ply or special design required.

P6 FLOOR BEAM (Flush Ceiling)

Top mount hangers recommended.

Check stiffener/filler requirements depending on load and hanger type.

Prevent the beam from rotating by using rim or blocking.

P5 WOOD COLUMN

Framing details such as joists and sheathing shall be provided to prevent beam from twisting or rotating at support.

Simpson® PC or CC, USP® PCM or CC or equal post or column cap.

P7 CONCRETE WALL

NOTE: Protect wood from contact with concrete as required by code.

Simpson® GLB, USPN® LBS or equal seat.

NOTE:
 ALL INTERIOR DIMENSIONS MEASURED TO FACE OF WALL STUDS (TYPICAL)

NOTE:
 FLOOR JOISTS SPACING @ 12" O/C FOR ALL TILED AREA (TYPICAL)

CONTRACTOR MUST VERIFY STAIR OPENINGS STAIR DIMENSIONS & HEADROOM CLEARANCE PRIOR TO FABRICATION & INSTALLATION

ALL STEEL BEAMS TO BE WELDED TOGETHER AND TO THE STEEL POSTS AT SITE. HSS POSTS SHALL HAVE TOP AND BOTTOM PLATES WELDED AT SHOP

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 FLOOR LIVES LOADS = 40 PSF
 FLOOR DEAD LOADS = 15 PSF

ALL STRUCTURAL MEMBERS SHALL BEAR ON SOLID BUILT UP POSTS EQUAL TO THE WIDTH OF THE STRUCTURAL MEMBER ALL POSTS SHALL BE MIN. 2 PLY OF 2x6 LUMBER UNLESS NOTED OTHERWISE ON PLANS OR THE STRUCTURAL MEMBERS SHALL BEAR ON SOLID MASONRY

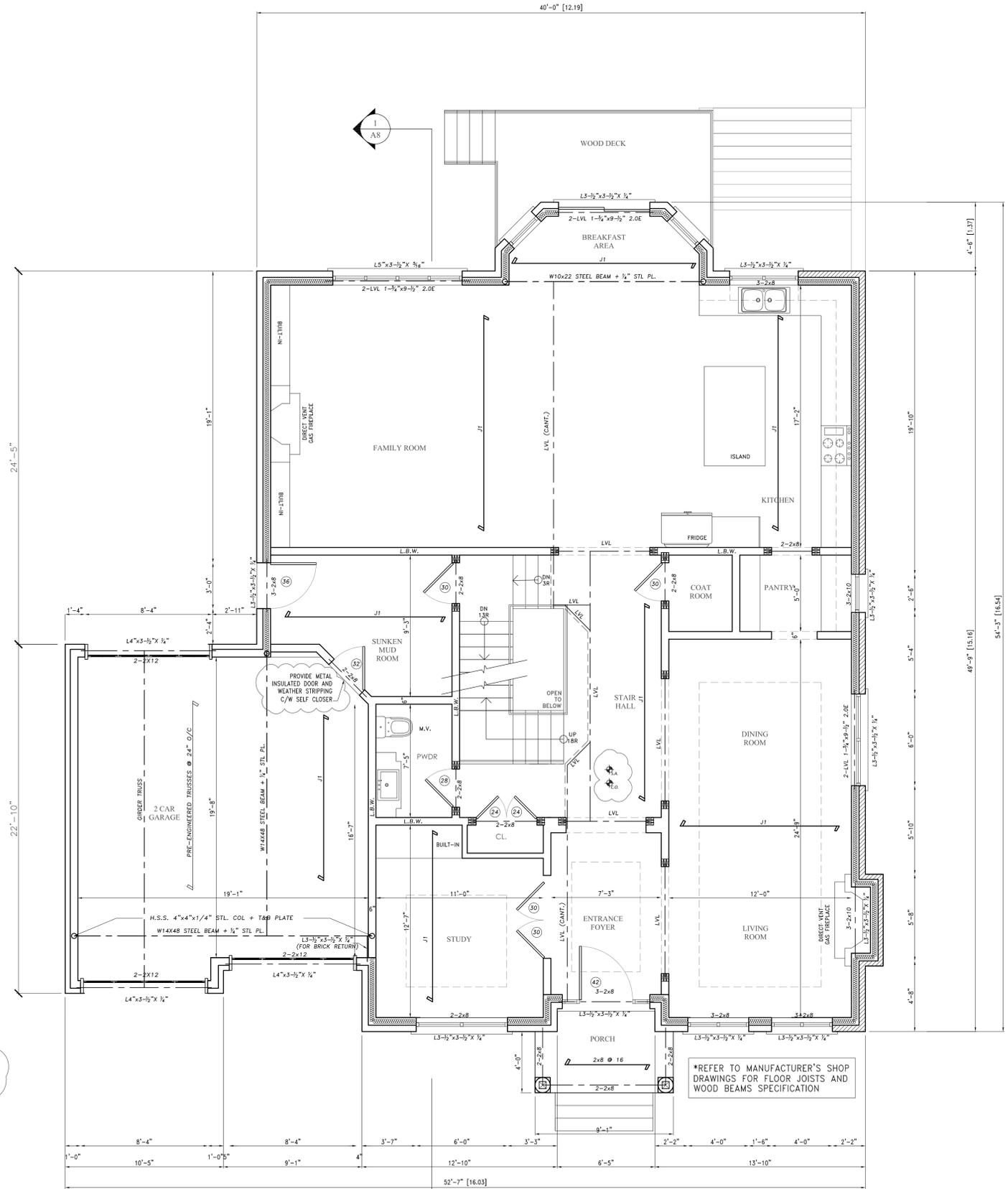
ALL LVL TO BE 2.0E GRADE

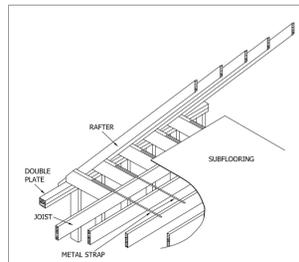
LINTEL NOTE:
 ALL STEEL LINTELS SIZES ARE BASED ON OBC TABLE 9.20.5.2.B FOR MASRONY VENEER

Legend

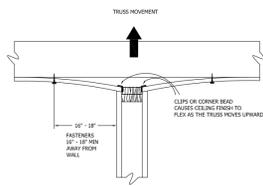
- INTERCONNECTED SMOKE ALARM
- CARBON MONOXIDE DETECTORS
- DENOTES 3-2x6 POSTS
- DENOTES POINT LOAD ABOVE

1 MAIN FLOOR PLAN
 A3 1/4" = 1'-0"

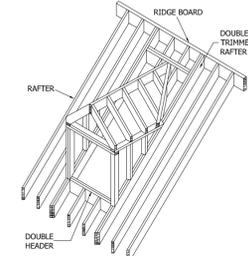




T3: Roof Framing, Ceiling Joists Perpendicular to Rafters



T2: Ceiling - Floor Partition Separation



T1: Gable Dormer Framing

Legend

- INTERCONNECTED SMOKE-ALARM
- CARBON MONOXIDE DETECTORS
- DENOTES 3-2x6 POSTS
- DENOTES POINT LOAD ABOVE

ROOF DESIGN LOADS:

TOP CHORDS:
LL = 23.0 PSF
DL = 10.0 PSF

BOTTOM CHORDS:
LL = 11 PSF
DL = 7.0 PSF

ROOF TRUSS NOTES:

TRUSSES TO COMPLY WITH TRUSS DESIGNERS PLAN STAMPED BY P. ENG OF ONTARIO AND PROVIDE STAMPED PLANS FOR BUILDING INSPECTOR'S REVIEW.

TRUSS LAYOUT IS FOR ILLUSTRATION ONLY, TRUSS COMPANY SHALL PROVIDE THE LAYOUT BASED ON THEIR DESIGN AND RESTRICTION ON TRUSS SIZES.

WHEN SOLID BEARING OF GIRDER TRUSS IS SITTING ON WINDOW'S LINTEL, LINTEL SHALL BE DESIGNED BY TRUSS MANUFACTURER.

TRUSS IS TO BEAR ON MIN. 3-2x6 POSTS, UNLESS SPECIFIED OTHERWISE.

NOTE:

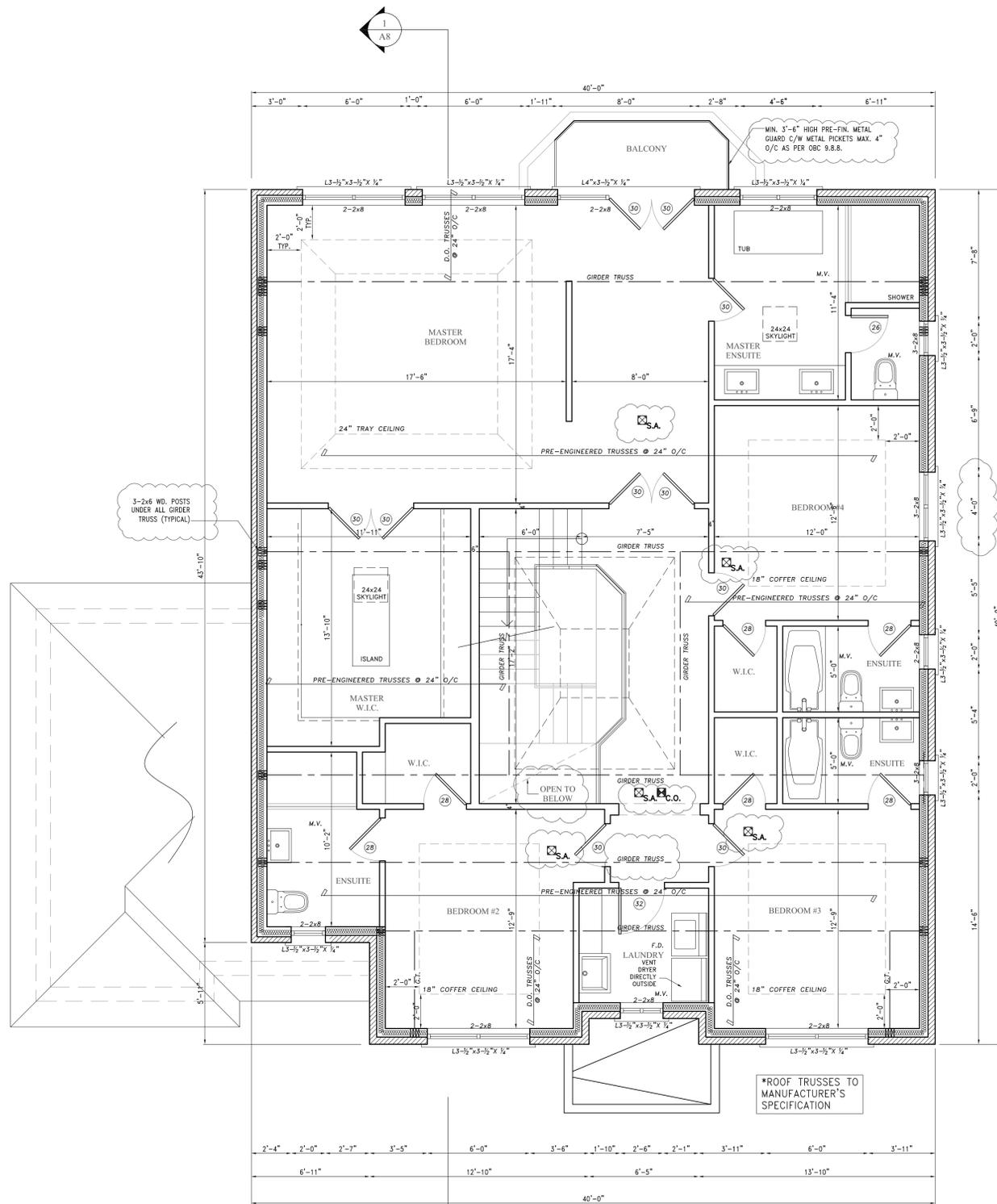
CONTRACTOR MUST ENSURE ALL GABLES TO LINE UP WITH NEW WINDOWS/DOORS BELOW AS PER ELEVATIONS VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION

NOTE:

ALL INTERIOR DIMENSIONS MEASURED TO FACE OF WALL STUDS (TYPICAL)

LINTEL NOTE:

ALL STEEL LINTELS SIZES ARE BASED ON OBC TABLE 9.20.5.2.B FOR MASRONY VENEER



1 2ND FLOOR PLAN
A4 1/4" = 1'-0"

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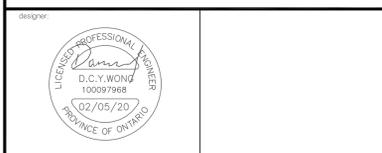
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REVISIONS:

NO.	DATE	DESCRIPTION
1	10/07/2019	ISSUED FOR BUILDING PERMIT
2	02/05/2020	ISSUED FOR EXAMINER'S NOTICE



Project: Proposed Two Storey Single Family Dwelling

Location: 47 Hawkrigde Avenue Markham, ON

Drawing: 2nd Floor Plan

Project No.	1819	DRAWING NO.	
Date:	September 28, 2018		
Scale:	1/4" = 1'-0"		
Drn:	WCY	Ckd:	WCY





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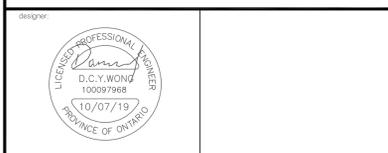
This drawing is not to be scaled.

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REVISIONS:		
NO.	DATE	DESCRIPTION
1	10/07/2019	ISSUED FOR BUILDING PERMIT

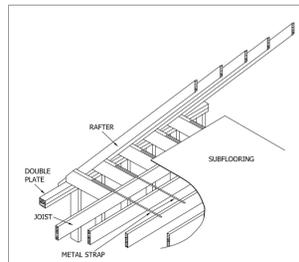


Project: Proposed Two Storey Single Family Dwelling

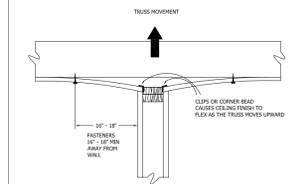
Location: 47 Hawkrigde Avenue Markham, ON

Drawing: Roof Plan

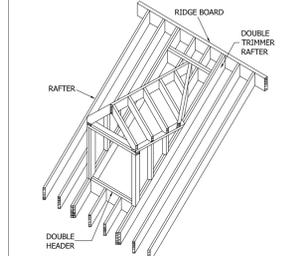
Project No.	1819	DRAWING NO.	A5
Date:	September 28, 2018		
Scale:	1/4" = 1'-0"		
Drn: WCY	Ckd: WCY		



T3: Roof Framing, Ceiling Joists Perpendicular to Rafters



T2: Ceiling - Floor Partition Separation



T1: Gable Dormer Framing

Legend

- INTERCONNECTED SMOKE ALARM S.A.
- CARBON MONOXIDE DETECTORS C.O.
- DENOTES 3-2x6 POSTS
- DENOTES POINT LOAD ABOVE P.L.

ROOF DESIGN LOADS:

TOP CHORDS:
LL = 23.0 PSF
DL = 10.0 PSF

BOTTOM CHORDS:
LL = 11 PSF
DL = 7.0 PSF

ROOF TRUSS NOTES:

TRUSSES TO COMPLY WITH TRUSS DESIGNERS PLAN STAMPED BY P.ENG OF ONTARIO AND PROVIDE STAMPED PLANS FOR BUILDING INSPECTOR'S REVIEW.

TRUSS LAYOUT IS FOR ILLUSTRATION ONLY, TRUSS COMPANY SHALL PROVIDE THE LAYOUT BASED ON THEIR DESIGN AND RESTRICTION ON TRUSS SIZES.

WHEN SOLID BEARING OF GIRDER TRUSS IS SITTING ON WINDOW'S LINTEL, LINTEL SHALL BE DESIGNED BY TRUSS MANUFACTURER.

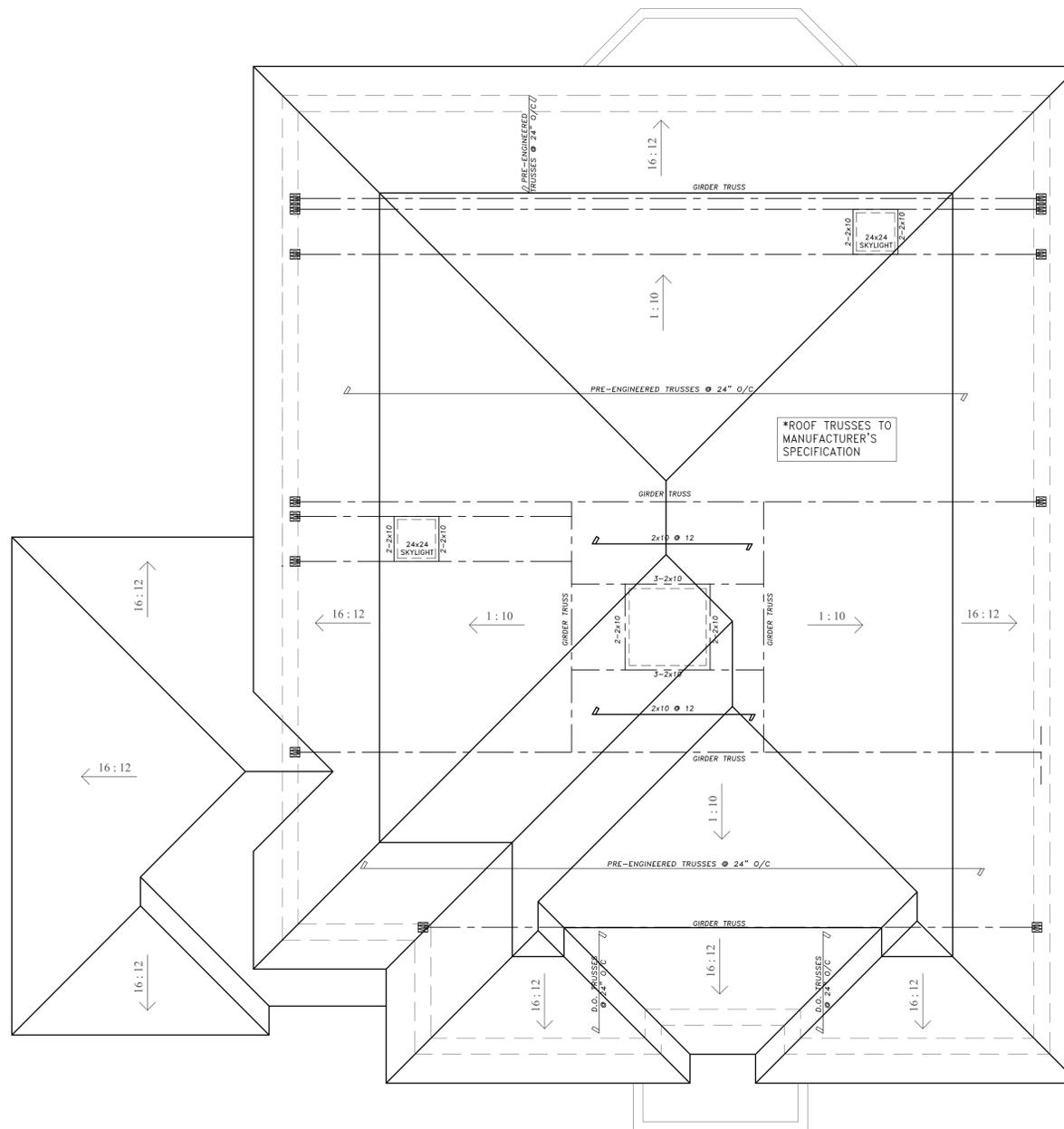
TRUSS IS TO BEAR ON MIN. 3-2x6 POSTS, UNLESS SPECIFIED OTHERWISE.

NOTE:

CONTRACTOR MUST ENSURE ALL GABLES TO LINE UP WITH NEW WINDOWS/DOORS BELOW AS PER ELEVATIONS VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION

NOTE:

ALL INTERIOR DIMENSIONS MEASURED TO FACE OF WALL STUDS (TYPICAL)



1 ROOF PLAN
A5 1/4" = 1'-0"



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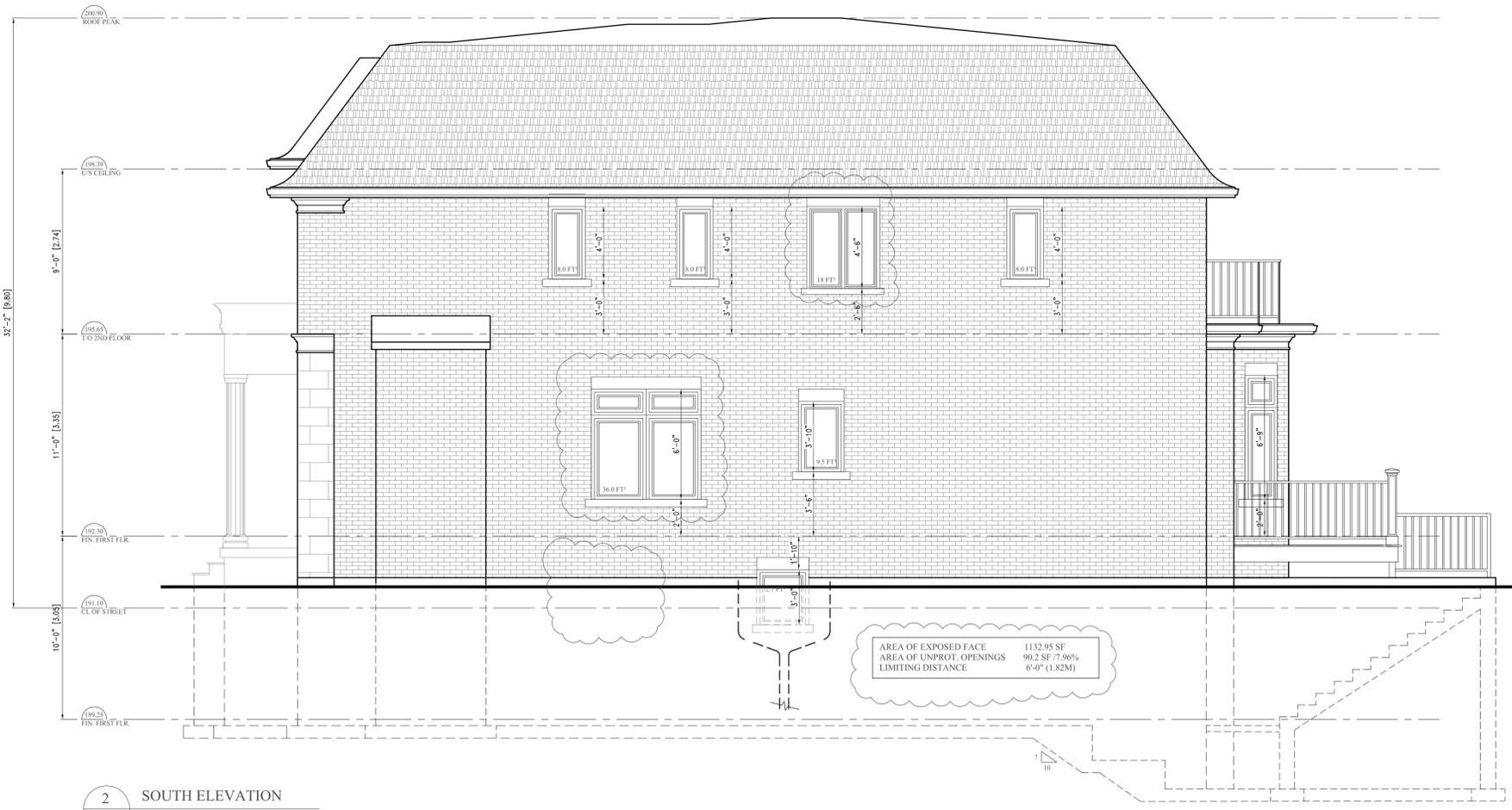
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REVISIONS:		
NO.	DATE	DESCRIPTION
1	10/07/2019	ISSUED FOR BUILDING PERMIT
2	02/05/2020	ISSUED FOR EXAMINER'S NOTICE



1 WEST ELEVATION
A6 1/4" = 1'-0"



2 SOUTH ELEVATION
A6 1/4" = 1'-0"



Project:		Proposed Two Storey Single Family Dwelling
Location:		47 Hawkrigde Avenue Markham, ON
Drawing:		South & West Elevations
Project No.	1819	DRAWING NO.
Date:	September 28, 2018	A6
Scale:	1/4" = 1'-0"	
Drn:	WCY	

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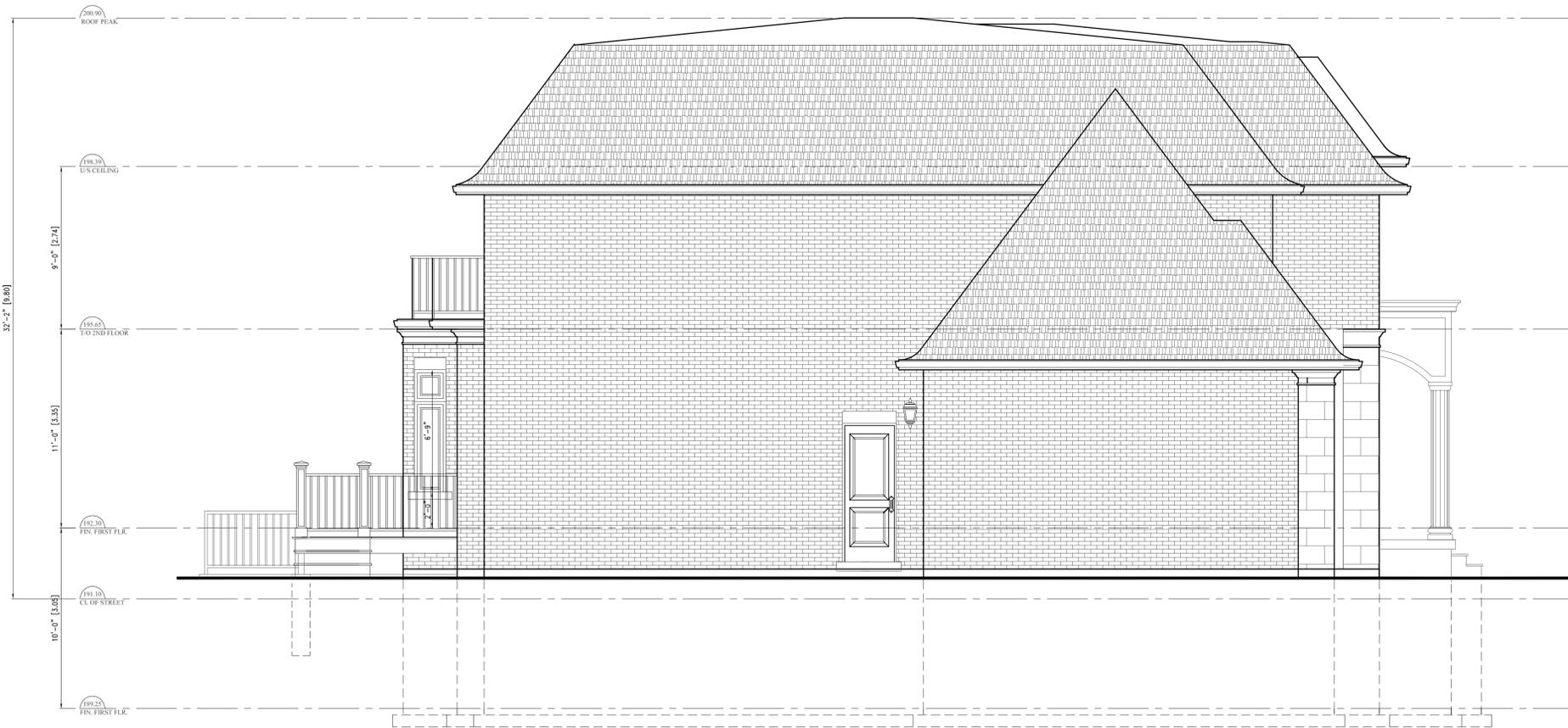
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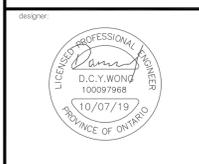
NO.	DATE	DESCRIPTION
1	10/07/2019	ISSUED FOR BUILDING PERMIT



1 EAST ELEVATION
 A7 1/4" = 1'-0"



2 NORTH ELEVATION
 A7 1/4" = 1'-0"



Project: Proposed Two Storey Single Family Dwelling

Location: 47 Hawkrigde Avenue Markham, ON

Drawing: North and East Elevations

Project No.	1819	DRAWING NO.	A7
Date:	September 28, 2018		
Scale:	1/4" = 1'-0"		
Drn:	WCY	Ckd: WCY	