

Memorandum to the City of Markham Committee of Adjustment

June 17, 2022

File: A/036/22
Address: 30 Stockport Road - Markham
Applicant: Saira Khan and Sakheb Khan
Agent: Building Experts Canada
Hearing Date: Wednesday June 22, 2022

The following comments are provided on behalf of the East Team. The applicant is requesting relief from the following "Residential Two Exception *190 (R2*190) Zone" requirements under By-law 177-96, as amended:

a) **Section 7.190.1**

To permit a basement accessory dwelling unit, whereas the by-law requires an accessory dwelling unit to be above a private garage.

b) **Section 6.6.3(I)**

To permit an encroachment of 2.73 meters to the rear yard setback, whereas the by-law allows for 2 meter encroachment.

c) **By-Law 28-97, Section 3.0, Table A:**

To permit two parking spaces with an exterior parking width of 2.7 meters whereas the bylaw requires three spaces, and requires 2.75 meters for the exterior parking.

The above variances relate to a proposed secondary dwelling (basement apartment) within an existing semi-detached dwelling on the subject property.

BACKGROUND

Property Description

The 225 m² (2,422 ft²) subject property is located on the west side of Stockport Road, which is east of Bur Oak Avenue, south of Murray Wilson Drive and north of Almira Avenue, in the Cornell Community. The property is developed with a two-storey semi-detached dwelling and one-storey, one-car garage accessed by a rear lane. The garage is detached from the dwelling, but attached to a one-car garage for the abutting property to the north, 32 Stockport Road. A parking pad on the subject property is located on the south side of the garage. A total of two parking spaces are provided for the semi-detached dwelling (one in the garage and one on the parking pad). The southwest portion of the property is irregular in shape to accommodate a hydro transformer notch which is within the public lane right of way.

The property is located in an established residential neighbourhood comprised of a mix of two-storey detached, semi-detached and townhouse dwellings. A defining characteristic of the area are rear lanes to access parking and garages for low rise residential development. Also within proximity of the subject lands is the 4-storey Yee Hong Retirement Residence and 3-storey Bill Hogarth Public High School to the west and southwest on Bur Oak Avenue.

Proposal

The applicant is proposing to construct a basement apartment within the existing semi-detached dwelling. Proposed access to the basement apartment is from exterior stairs located in the rear yard. The proposed development is shown in Appendix B.

The R2*190 zone permits an accessory dwelling, as a coach house unit above a detached private garage only. Stairs accessing a dwelling unit are permitted to encroach a maximum of 2.0 m (6.6 ft) into a required rear yard, which for the subject property is a required rear yard setback of 13.0 m (42.6 ft). Parking Standards By-law 28-97, as amended, requires two parking spaces for semi-detached dwellings, plus an additional parking space for an accessory dwelling unit (three total). The Parking By-law also requires parking spaces be 5.8 m (19.0 ft) long and 2.75 (9.0 ft) wide. Parking spaces within a garage are permitted to be 2.6 m (8.53 ft) wide.

The applicant is requesting variances to permit an accessory unit in basement of the existing semi-detached dwelling instead of a coach house above a detached garage; to permit stairs to encroach an additional 0.73 m (2.4 ft) into the required rear yard; to not require an third parking space for the accessory unit whilst recognizing that the existing parking pad is 2.70 m (8.86 ft) wide.

COMMENTS

Secondary Unit

Staff are satisfied that the proposed development meets the criteria under [Section 8.13.8](#) of the Official Plan for the establishment of a secondary suite, and support its approval in accordance with the requirements under Section 16(3) of the *Planning Act, R.S.O. 1990, c. P.13, as amended*.

Stair Encroachment

Staff are of the opinion that the proposed stair encroachment into the required 13.0 m (42.6 ft) rear yard setback will not impact the function and usability of rear yard amenity space or impact abutting properties. Staff are of the opinion that this requested variance is appropriate, maintains the intent of the Zoning By-law and Official Plan.

Parking Variances

As noted, staff are in support of the proposed secondary suite unit within the basement. In assessing the secondary suite, staff have evaluated the proposed reduction of one parking space for the unit and consider that to be appropriate. The proposed parking pad width reduction is a minimal reduction of 0.05 m (0.16 ft) from the requirement of 2.75 m (9.0) ft. This will not impact the usability of the parking pad, and staff therefore have no concerns with this requested variance.

Zoning Preliminary Review (ZPR) Undertaken

The owner has completed a Zoning Preliminary Review (ZPR) on February 18, 2022 to confirm the variances required for the proposed development.

PUBLIC INPUT SUMMARY

No written submissions were received as of June 1, 2022. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

CONCLUSION

Planning staff have reviewed the application with respect to Section 45(1) of the *Planning Act*, and are of the opinion that the requested variances meet the four tests. Staff recommend that the Committee consider public input and the subsequent conditions of approval in reaching a decision. The onus is ultimately on the applicant to demonstrate how they satisfy the tests of the *Planning Act* required for the granting of minor variances.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the *Planning Act* required for the granting of minor variances.

APPENDICES

Appendix "A" – Conditions of Approval

Appendix "B" – Plans

PREPARED BY:

A handwritten signature in blue ink, appearing to read "Stephen Corr". The signature is fluid and cursive, with a large loop at the beginning.

Stephen Corr, Senior Planner II, East District

REVIEWED BY:

A handwritten signature in blue ink, appearing to read "Stacia Muradali". The signature is more stylized and less legible than the one above, with a long horizontal stroke at the end.

Stacia Muradali, Development Manager, East District

File Path: Amanda\File\ 22 113404 \Documents\District Team Comments Memo

APPENDIX "A"

CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/024/22

1. The variance apply only to the proposed development for as long as it remains.
2. That the variances apply only to the proposed development, in substantial conformity with the plans attached as Appendix "B" to this Staff Report, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction.
3. That the owner submit, if required by the Chief Building Official, a third-party report prepared by an architect or professional engineer licensed in the Province of Ontario, to assess compliance of existing construction with the provisions of the Ontario Building Code, and in particular relating to the change of use from a dwelling containing a single suite to a dwelling containing more than one suite.

CONDITIONS PREPARED BY:

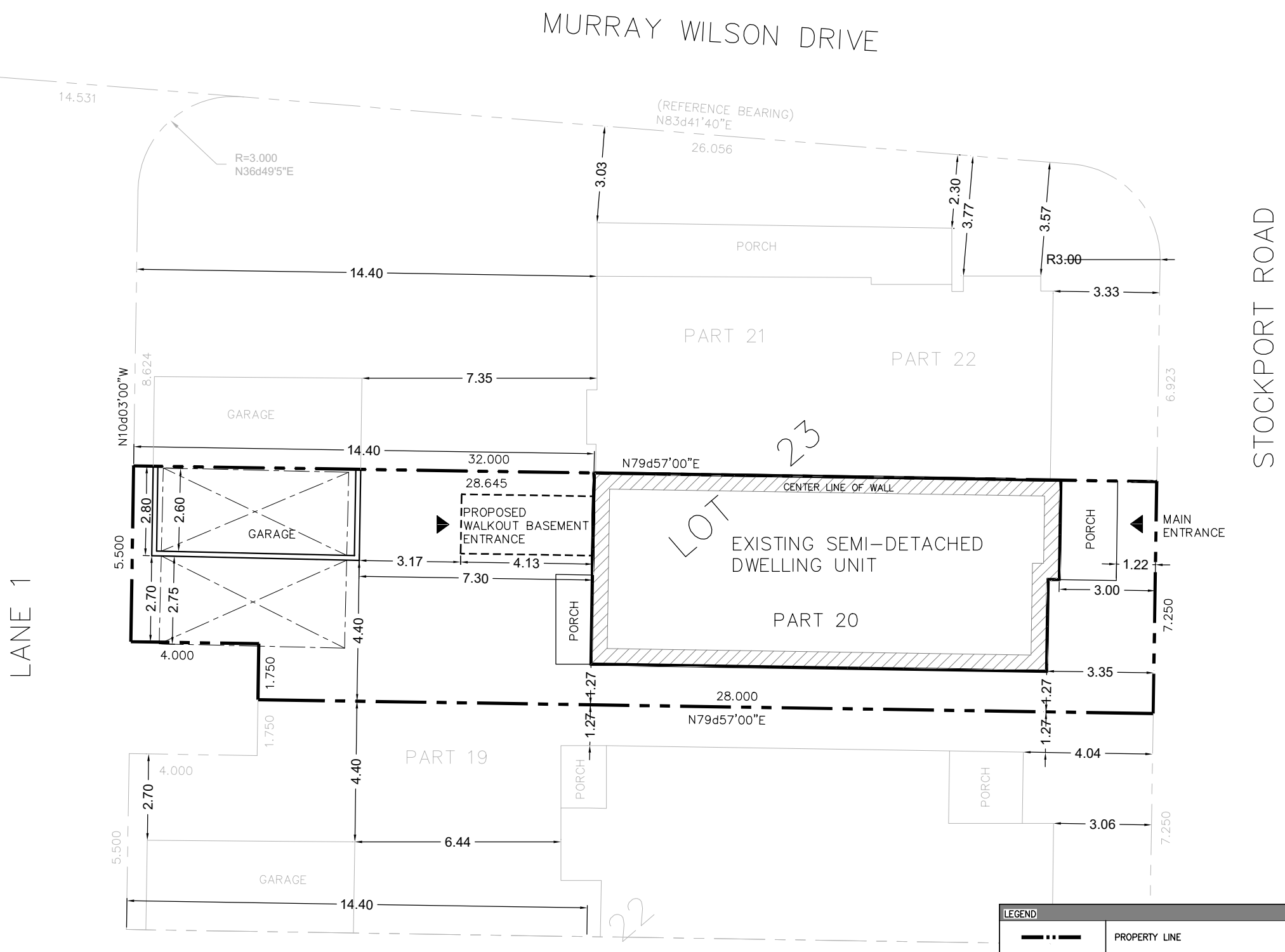
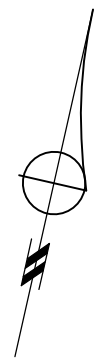
A handwritten signature in blue ink, appearing to read "Stephen Corr". The signature is stylized and cursive.

Stephen Corr, Senior Planner II, East District

Appendix B

File: 22.113404.000.00.MNV

Date: 06/17/22
MM/DD/YY



LANE 1

STOCKPORT ROAD

MURRAY WILSON DRIVE

(REFERENCE BEARING)
N83d41'40"E

N79d57'00"E

N79d57'00"E

14.531

R=3.000
N36d49'5"E

PORCH

PART 21

PART 22

N79d57'00"E

CENTER LINE OF WALL

LOT

EXISTING SEMI-DETACHED DWELLING UNIT

PART 20

MAIN ENTRANCE

PORCH

PORCH

PORCH

PORCH

PART 19

GARAGE

GARAGE

GARAGE

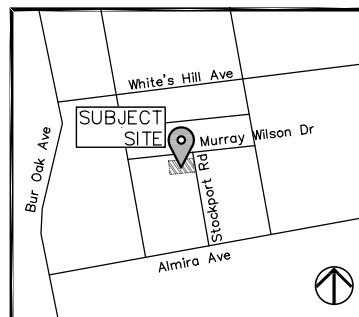
LOT

LEGEND	
	PROPERTY LINE
	FENCE
	ASPHALT DRIVEWAY
	LANDSCAPED SOFT AREA
	BUILDING ENTRANCE/EXIT

METRIC
DISTANCES SHOWN ON THIS PLAN ARE IN METERS AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

1 SITE PLAN
A-1 SCALE = 1:150

PREPARED BY:
LAND & BUILDING EXPERTS
570 Alden Rd., Unit 6, Markham, ON. L3R 8N5
(647) 340-8649 landbuildexp@gmail.com



KEY PLAN

STAMP:

PROJECT INFO:
**30 STOCKPORT RD,
CITY OF MARKHAM,
ON, L6B0R2**

DO NOT SCALE DRAWINGS.
The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify the Designer/Engineer of any variations from the supplied drawings and informations before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction.
All drawings are the property of Land & Building Experts, and must not be reproduced without written consent.

PROJECT NAME:
ALTERATION TO AN EXISTING SEMI-DETACHED DWELLING TO HAVE A SECOND SUITE IN THE BASEMENT

DRAWING TITLE:
SITE PLAN

2	BUILDING PERMIT	DEC/24/21	DRAWN BY: K.T	DWG. NO. A-1
1	CLIENT REVIEW	DEC/20/21	CHECKED BY:	
NO.	ISSUED FOR	DATE	PROJECT NO.:	

LEGEND	
EXISTING	
EX	EXHAUST FAN
S.A	SMOKE ALARM
C.M.	CARBON MONOXIDE DETECTOR
REF	REFRIGERATOR
FUR	FURNACE
H	HOT WATER TANK
S.G	SUPPLY AIR GRILLES TO BE LOCATED ON THE CEILING
R.G	RETURN AIR GRILLES TO BE LOCATED ON THE CEILING

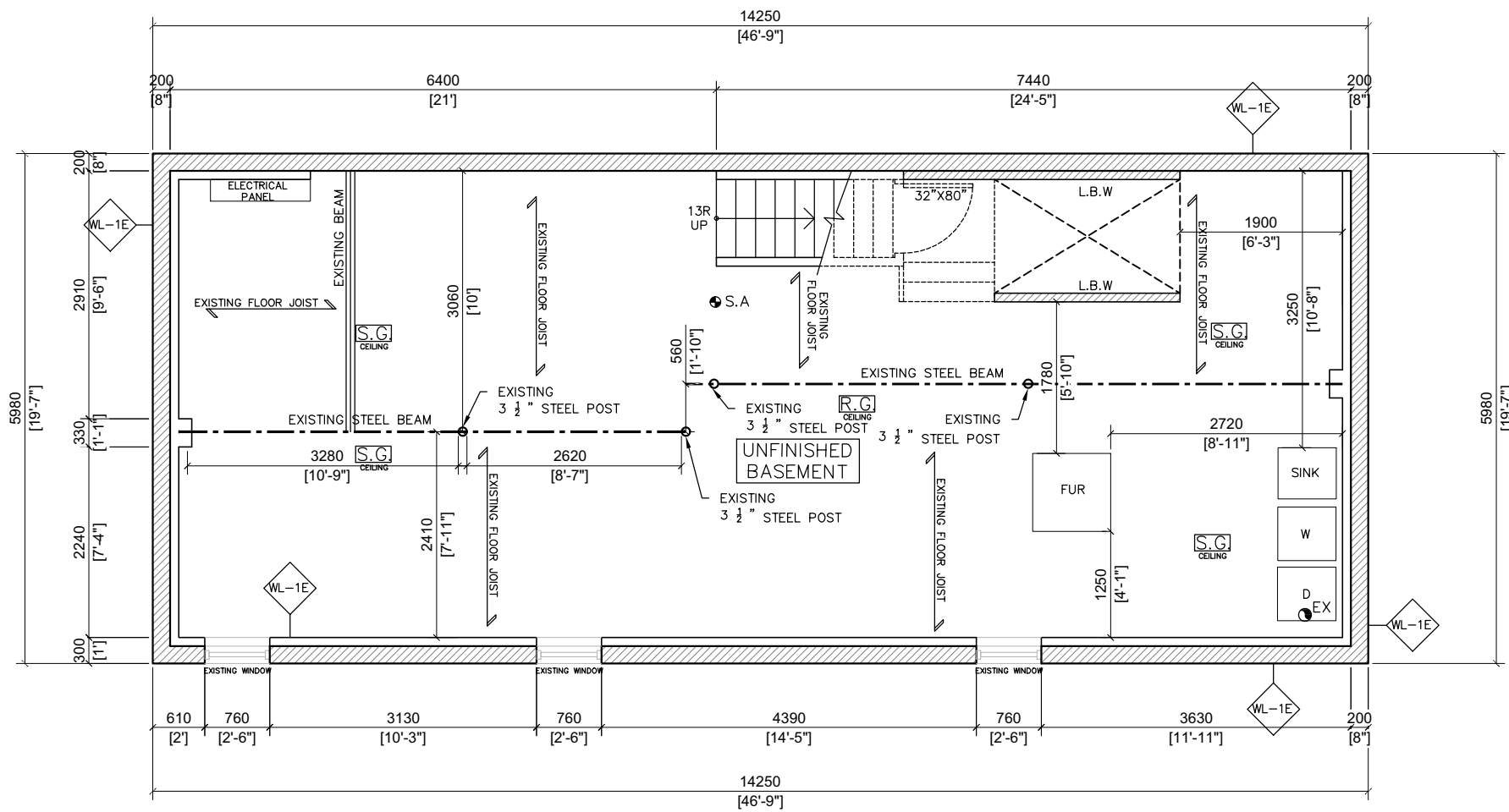
WALL SCHEDULE	
	EXISTING 8"(203mm) POURED CONCRETE (WITH 12ci INSULATION), 2"x4"(50.8mmX101.6mm) WOOD STUDS @ 16"(406mm) O.C WITH INSULATION

BASEMENT HEIGHT = 2.33m (7'-8")
 HEIGHT UNDER
 DUCTS & BEAMS = 2.10m (6'-11")

Appendix B

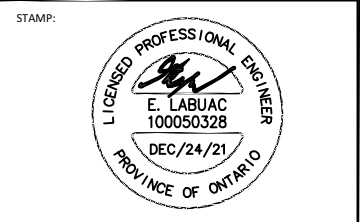
File: 22.113404.000.00.MNV

Date: 06/17/22
MM/DD/YY



1 EXISTING BASEMENT PLAN
 A-2 SCALE = 1:75

PREPARED BY:
LAND & BUILDING EXPERTS
 570 Alden Rd., Unit 6, Markham, ON. L3R 8N5
 (647) 340-8649 landbuildexp@gmail.com



PROJECT INFO:
**30 STOCKPORT RD,
 CITY OF MARKHAM,
 ON, L6B0R2**

DO NOT SCALE DRAWINGS.
 The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify the Designer/Engineer of any variations from the supplied drawings and informations before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction.
 All drawings are the property of Land & Building Experts, and must not be reproduced without written consent.

PROJECT NAME:
ALTERATION TO AN EXISTING SEMI-DETACHED DWELLING TO HAVE A SECOND SUITE IN THE BASEMENT

DRAWING TITLE:
EXISTING BASEMENT PLAN

SCALE AS INDICATED		DWG. NO.	
2	BUILDING PERMIT	DEC/24/21	DRAWN BY: K.T
1	CLIENT REVIEW	DEC/20/21	CHECKED BY:
NO.	ISSUED FOR	DATE	PROJECT NO.:

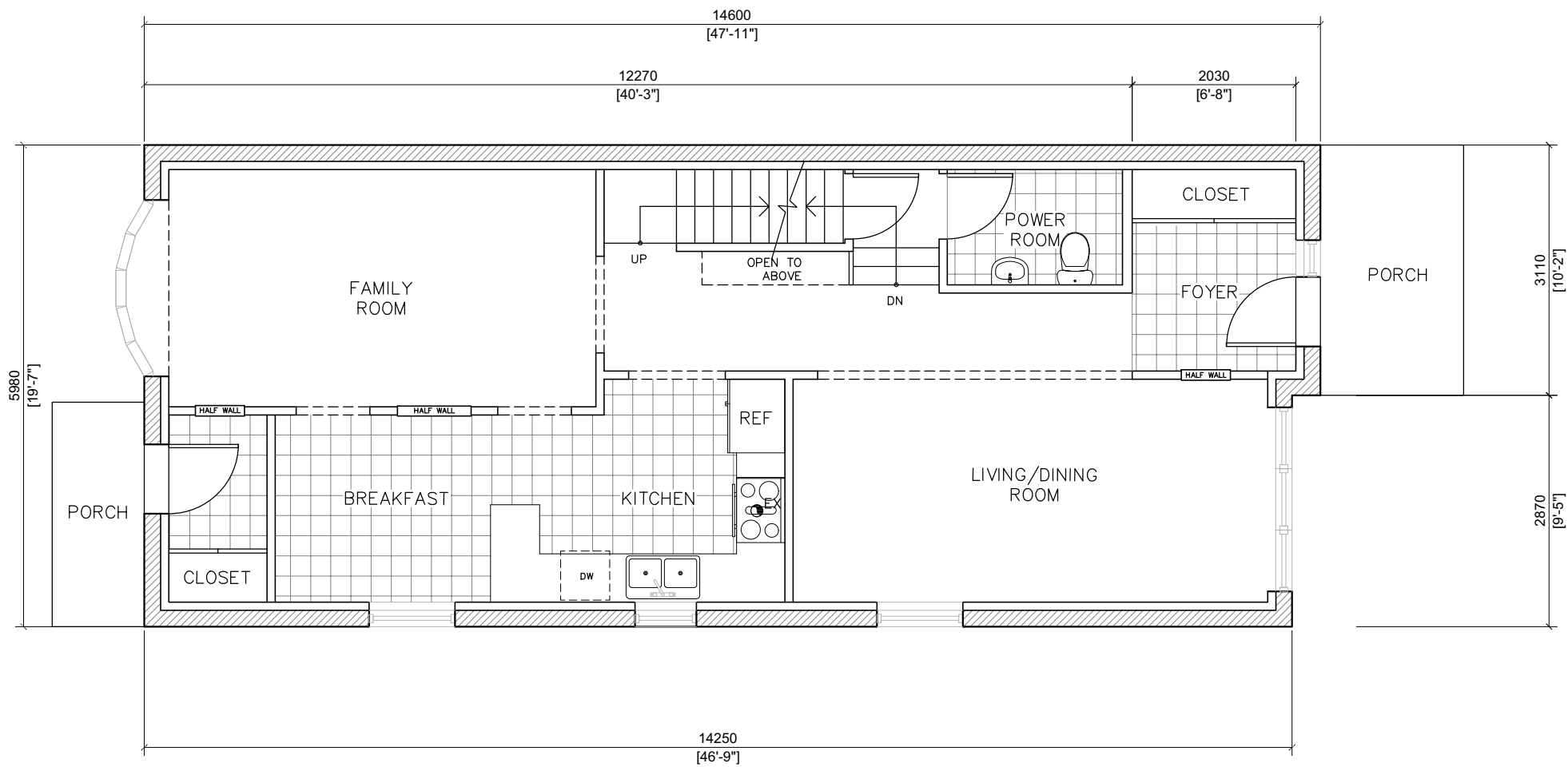
A-2

LEGEND	
EXISTING	
● EX	EXHAUST FAN
● S.A	SMOKE ALARM
● C.M.	CARBON MONOXIDE DETECTOR
REF	REFRIGERATOR
FUR	FURNACE
H	HOT WATER TANK
□ S.G	SUPPLY AIR GRILLES
□ R.G	RETURN AIR GRILLES

Appendix B

File: 22.113404.000.00.MNV

Date: 06/17/22
MM/DD/YY



1
A-3 EXISTING FIRST FLOOR PLAN
SCALE = 1:75

PREPARED BY:
LAND & BUILDING EXPERTS
570 Alden Rd., Unit 6, Markham, ON. L3R 8N5
(647) 340-8649 landbuildexp@gmail.com



PROJECT INFO:
**30 STOCKPORT RD,
CITY OF MARKHAM,
ON, L6B0R2**

DO NOT SCALE DRAWINGS.
The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify the Designer/Engineer of any variations from the supplied drawings and informations before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction.
All drawings are the property of Land & Building Experts, and must not be reproduced without written consent.

PROJECT NAME:
ALTERATION TO AN EXISTING SEMI-DETACHED DWELLING TO HAVE A SECOND SUITE IN THE BASEMENT

DRAWING TITLE:
EXISTING FIRST FLOOR PLAN

NO.	ISSUED FOR	DATE	PROJECT NO.:
2	BUILDING PERMIT	DEC/24/21	DRAWN BY: K.T
1	CLIENT REVIEW	DEC/20/21	CHECKED BY:

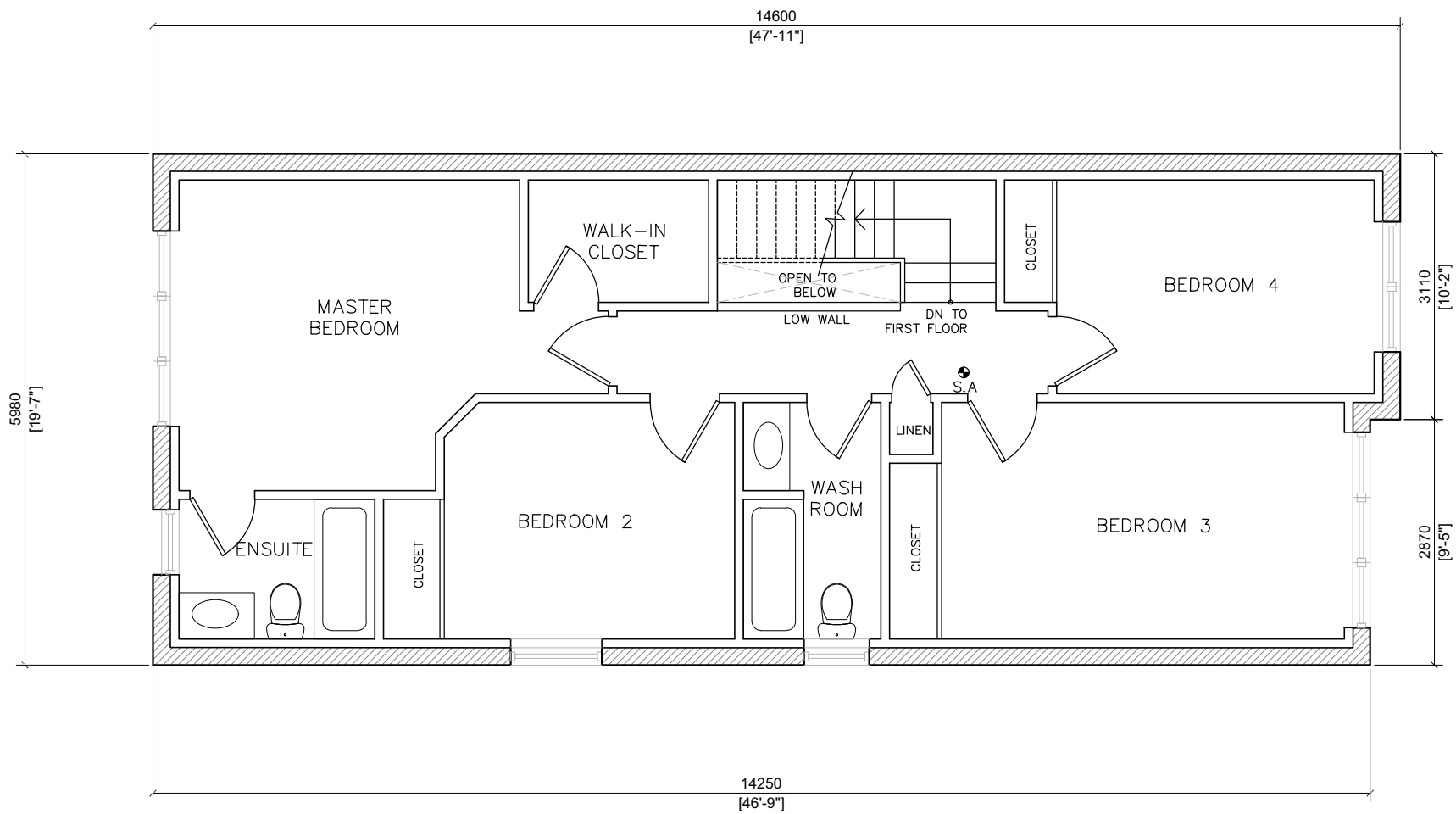
DWG. NO.
A-3

LEGEND	
EXISTING	
EX	EXHAUST FAN
S.A	SMOKE ALARM
C.M.	CARBON MONOXIDE DETECTOR
REF	REFRIGERATOR
FUR	FURNACE
H	HOT WATER TANK
SG	SUPPLY AIR GRILLES
RG	RETURN AIR GRILLES

Appendix B

File: 22.113404.000.00.MNV

Date: 06/17/22
MM/DD/YY



1
A-4 EXISTING SECOND FLOOR PLAN
SCALE = 1:75

PREPARED BY:

LAND & BUILDING EXPERTS

570 Alden Rd., Unit 6, Markham, ON, L3R 8N5
(647) 340-8649 landbuildexp@gmail.com

STAMP:

LICENSED PROFESSIONAL ENGINEER

E. Labuac

E. LABUAC
100050328
DEC/24/21
PROVINCE OF ONTARIO

PROJECT INFO:

**30 STOCKPORT RD ,
CITY OF MARKHAM,
ON, L6B0R2**

DO NOT SCALE DRAWINGS.

The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify the Designer/Engineer of any variations from the supplied drawings and informations before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction.

All drawings are the property of Land & Building Experts, and must not be reproduced without written consent.

PROJECT NAME:

ALTERATION TO AN EXISTING SEMI-DETACHED DWELLING TO HAVE A SECOND SUITE IN THE BASEMENT

DRAWING TITLE:

EXISTING SECOND FLOOR PLAN

NO.	ISSUED FOR	DATE
2	BUILDING PERMIT	DEC/24/21
1	CLIENT REVIEW	DEC/20/21

SCALE AS INDICATED	DWG. NO.
DRAWN BY: K.T	A-4
CHECKED BY:	
PROJECT NO.:	

Appendix B

File: 22.113404.000.00.MNV

Date: 06/17/22
MM/DD/YY

LEGEND	
EXISTING	
EX	EXHAUST FAN
S.A	SMOKE ALARM
C.M.	CARBON MONOXIDE DETECTOR
REF	REFRIGERATOR
FUR	FURNACE
H	HOT WATER TANK
S.G	SUPPLY AIR GRILLES TO BE LOCATED ON THE CEILING
R.G	RETURN AIR GRILLES TO BE LOCATED ON THE CEILING
PROPOSED	
P.S.A	PROPOSED SMOKE ALARM
P.C.M.	PROPOSED CARBON MONOXIDE DETECTOR
P.EX	PROPOSED EXHAUST FAN
P.S.G	PROPOSED SUPPLY AIR GRILLES TO BE LOCATED ON LOW WALL WITH 6" ABOVE FINISHED FLOOR LEVEL
P.R.G	PROPOSED RETURN AIR GRILLES TO BE LOCATED ON LOW WALL WITH 6" ABOVE FINISHED FLOOR LEVEL

WALL SCHEDULE	
WL-1E	EXISTING 8"(203mm) POURED CONCRETE (WITH 12ci INSULATION), 2"x4"(50.8mmX101.6mm) WOOD STUDS @ 16"(406mm) O.C WITH PROPOSED 1/2"(12.7mm) GYPSUM WALL BOARD, TAPED AND SANDED
WL-2	PROPOSED 2"x4"(50.8mmX101.6mm) WOOD STUD WALL WITH 1/2"(12.7mm) GYPSUM WALL BOARD BOTH SIDES, TAPED AND SANDED
WL-3	PROPOSED 2"x4"(50.8mmX101.6mm) WOOD STUD WALL WITH 5/8"(15.9mm) TYPE "X" (30 MINS. FRR) TO ENTIRE FURNACE ROOM WALL TAPED AND PAINTED

BASEMENT HEIGHT = 2.33m (7'-8")
HEIGHT UNDER DUCTS & BEAMS = 2.10m (6'-11")

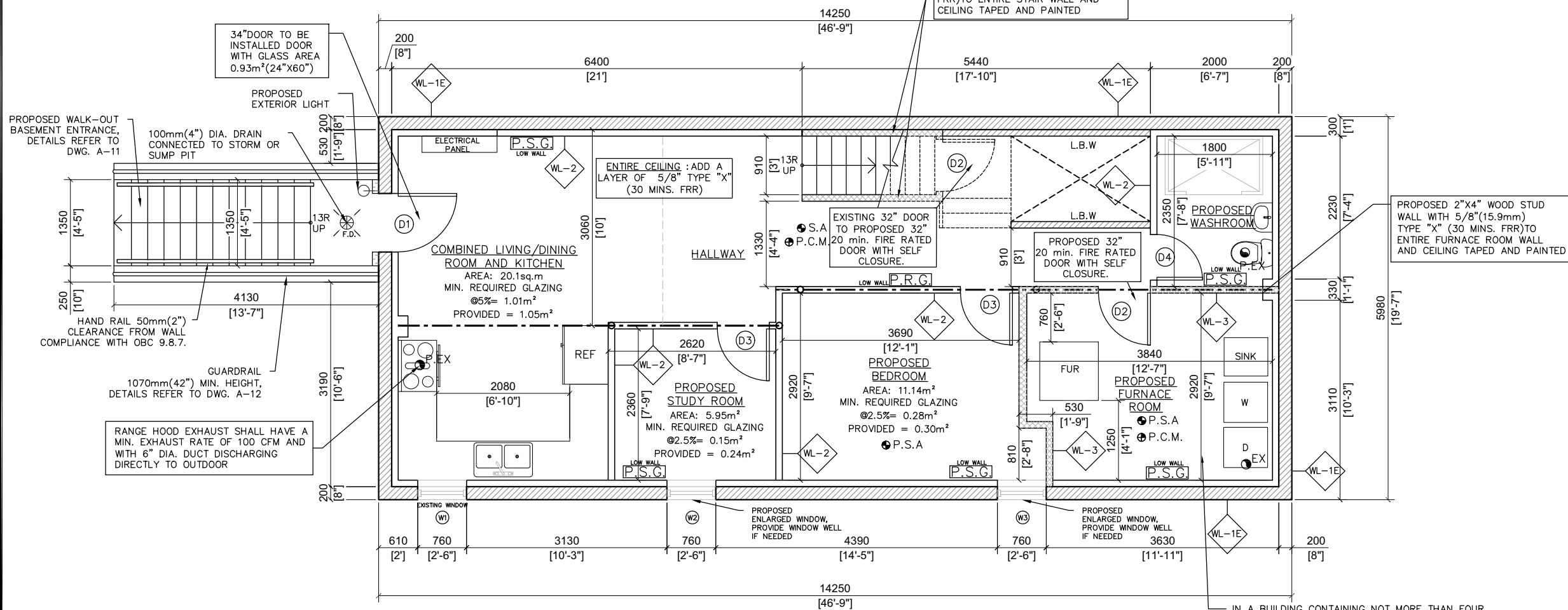
NOTE: ALL THE EXISTING AND PROPOSED SMOKE ALARMS AND CARBON MONOXIDE DETECTORS WILL BE INTERCONNECTED THROUGHOUT THE ENTIRE FLOORS

NOTES FOR COMPLIANCE ALTERNATIVE:
SINCE THE DWELLING HAS BEEN IN EXISTENCE FOR MORE THAN 5 YEARS THE FOLLOWING OBC PART 11 COMPLIANCE ALTERNATIVES ARE PROPOSED.

PART 11 COMPLIANCE ALTERNATIVES FOR RESIDENTIAL OCCUPANCIES (FORMING PART OF ARTICLE 11.5.1.1), TABLE 11.5.1.1C - C152(b), C153(b)

GENERAL NOTES:

- A SMOKE DETECTOR SHALL BE INSTALLED IN THE AIR DUCT SYSTEM WHICH WOULD TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION OF SUCH ALARM.
- CARBON MONOXIDE DETECTORS, SMOKE ALARMS MUST BE INSTALLED AS PER MANUFACTURER'S INSTRUCTIONS.
- EXHAUST FAN IN WASHROOM SHALL HAVE A MINIMUM EXHAUST RATE OF 50 CFM AND WITH A 100mm DIA. DUCT TO OUTDOOR.
- DOORS SHALL BE PROVIDED WITH A GAP BENEATH, USING LOUVERED DOORS, OR INSTALLING A RETURN DUCT INLET FOR THE RETURN OF AIR FROM ALL ROOMS.



IN A BUILDING CONTAINING NOT MORE THAN FOUR DWELLING UNITS, THE EXISTING HEATING OR AIR CONDITIONING SYSTEM MAY BE ALTERED TO SERVE MORE THAN ONE DWELLING UNIT PROVIDED SMOKE ALARMS ARE INSTALLED IN EACH DWELLING UNIT AND PROVIDED A SMOKE DETECTOR IS INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING WHICH WOULD TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION OF SUCH DETECTOR

1 PROPOSED BASEMENT PLAN
A-5 SCALE = 1:75

DOOR SCHEDULE					
NO.	SIZE (INCH)	SIZE (MM)	NOs.	TYPE	REMARKS
D1	34"x80"	864X2032	1	EXTERIOR	PROPOSED
D2	32"x80"	813X2032	2	INTERIOR	PROPOSED
D3	32"x78"	813X1981	2	INTERIOR	PROPOSED
D4	28"x78"	711X1981	1	INTERIOR	PROPOSED

WINDOW SCHEDULE					
NO.	SIZE (INCH)	SIZE (MM)	NOs.	GLAZING AREA	REMARKS
W1	30"x12"	762X305	1	0.12m ²	EXISTING
W2	30"x20"	762X508	1	0.24m ²	PROPOSED
W3	30"x24"	762X610	1	0.30m ²	PROPOSED

PREPARED BY:
LAND & BUILDING EXPERTS
570 Alden Rd., Unit 6, Markham, ON, L3R 8N5
(647) 340-8649 landbuldex@gmail.com

STAMP:
LICENSED PROFESSIONAL ENGINEER
E. LABUAC
100050328
DEC/24/21
PROVINCE OF ONTARIO

PROJECT INFO:
**30 STOCKPORT RD,
CITY OF MARKHAM,
ON, L6B0R2**

PROJECT NAME:
**ALTERATION TO AN EXISTING
SEMI-DETACHED DWELLING TO
HAVE A SECOND SUITE IN THE
BASEMENT**

DRAWING TITLE:
**PROPOSED
BASEMENT PLAN**

DO NOT SCALE DRAWINGS.
The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify the Designer/Engineer of any variations from the supplied drawings and informations before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction.

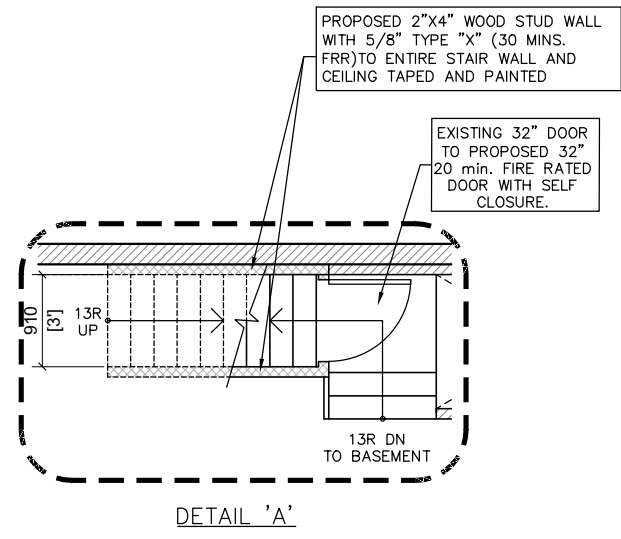
All drawings are the property of Land & Building Experts. and must not be reproduced without written consent.

NO.	ISSUED FOR	DATE	PROJECT NO.:
2	BUILDING PERMIT	DEC/24/21	DRAWN BY: K.T
1	CLIENT REVIEW	DEC/20/21	CHECKED BY:

A-5

LEGEND		
EXISTING		
EX	EXHAUST FAN	
S.A	SMOKE ALARM	
C.M.	CARBON MONOXIDE DETECTOR	
REF	REFRIGERATOR	
FUR	FURNACE	
H	HOT WATER TANK	
SA	SUPPLY AIR GRILLES	
RA	RETURN AIR GRILLES	
PROPOSED		
P.S.A	PROPOSED SMOKE ALARMS	INTERCONNECTED WITH ALL FLOORS
P.C.M.	PROPOSED CARBON MONOXIDE DETECTOR	
P.EX	PROPOSED EXHAUST FAN	

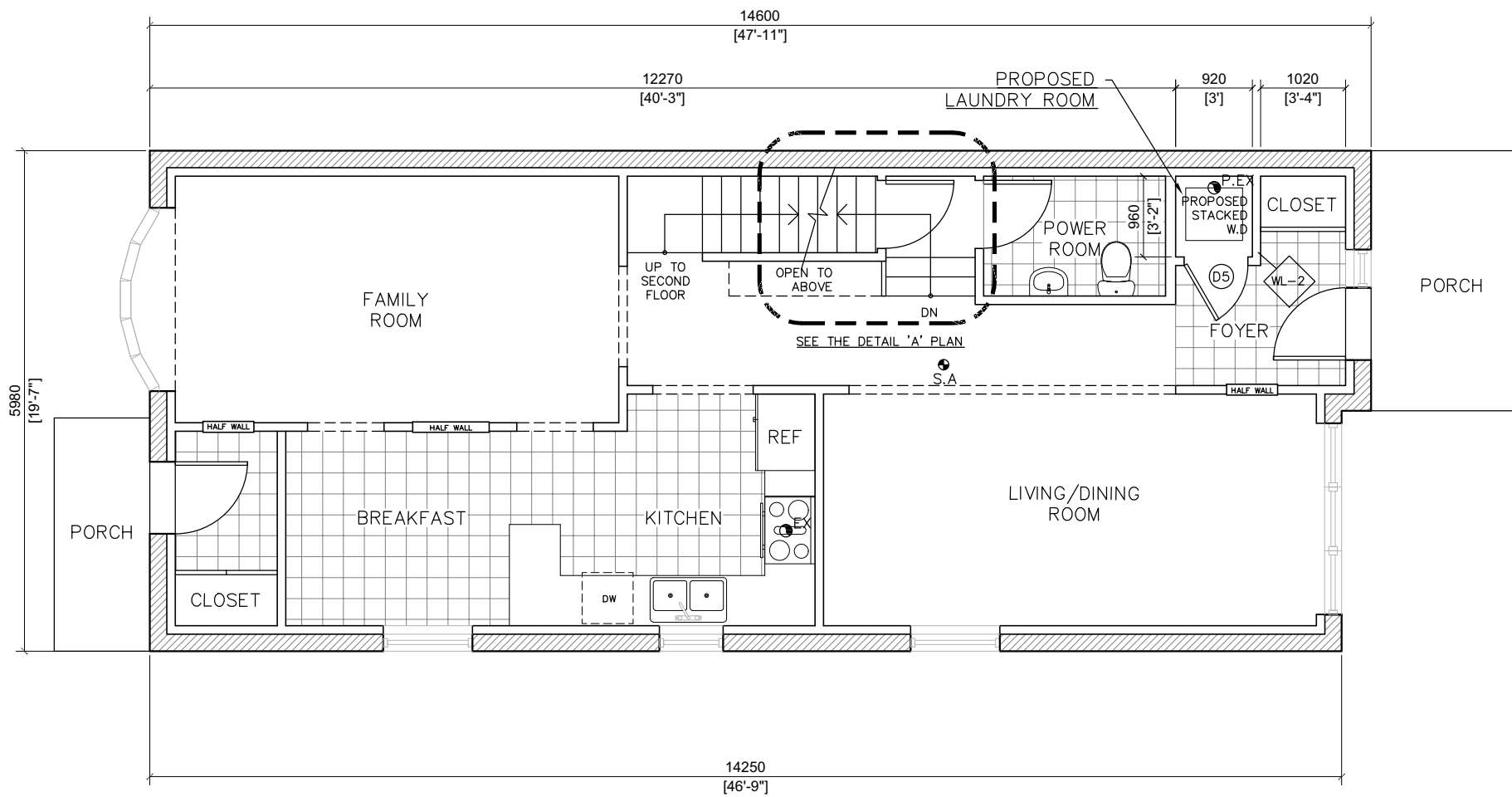
WALL SCHEDULE					
W-1	EXISTING 8"(203mm) POURED CONCRETE (WITH 12CI INSULATION), 2"x4"(50.8mmX101.6mm) WOOD STUDS @ 16"(406mm) O.C WITH PROPOSED ½"(12.7mm) GYPSUM WALL BOARD , TAPED AND SANDED				
W-2	PROPOSED 2"x4"(50.8mmX101.6mm) WOOD STUD WALL WITH ½"(12.7mm) GYPSUM WALL BOARD BOTH SIDES, TAPED AND SANDED				
W-3	PROPOSED 2"x4"(50.8mmX101.6mm) WOOD STUD WALL WITH 5/8"(15.9mm) TYPE "X" (30 MINS. FRR) TO ENTIRE FURNACE ROOM WALL TAPED AND PAINTED				
DOOR SCHEDULE					
NO.	SIZE (INCH)	SIZE (MM)	NOs.	TYPE	REMARKS
D5	30"x78"	762X1981	1	INTERIOR	PROPOSED
NOTE: ALL THE EXISTING AND PROPOSED SMOKE ALARMS AND CARBON MONOXIDE DETECTORS WILL BE INTERCONNECTED THROUGHOUT THE ENTIRE FLOORS					



Appendix B

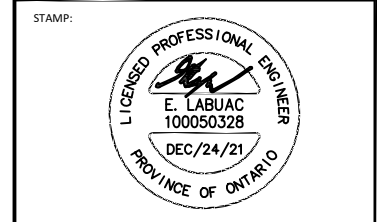
File: 22.113404.000.00.MNV

Date: 06/17/22
MM/DD/YY



1
A-6 PROPOSED FIRST FLOOR PLAN
SCALE = 1:75

PREPARED BY:
LAND & BUILDING EXPERTS
570 Alden Rd., Unit 6, Markham, ON, L3R 8N5
(647) 340-8649 landbuildexp@gmail.com



PROJECT INFO:
**30 STOCKPORT RD ,
CITY OF MARKHAM,
ON, L6B0R2**

DO NOT SCALE DRAWINGS.
The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify the Designer/Engineer of any variations from the supplied drawings and informations before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction.
All drawings are the property of Land & Building Experts. and must not be reproduced with out written consent.

PROJECT NAME:
ALTERATION TO AN EXISTING SEMI-DETACHED DWELLING TO HAVE A SECOND SUITE IN THE BASEMENT

DRAWING TITLE:
PROPOSED FIRST FLOOR PLAN

2	BUILDING PERMIT	DEC/24/21	DRAWN BY: K.T	A-6
1	CLIENT REVIEW	DEC/20/21	CHECKED BY:	
NO.	ISSUED FOR	DATE	PROJECT NO.:	

SCALE AS INDICATED
DWG. NO.

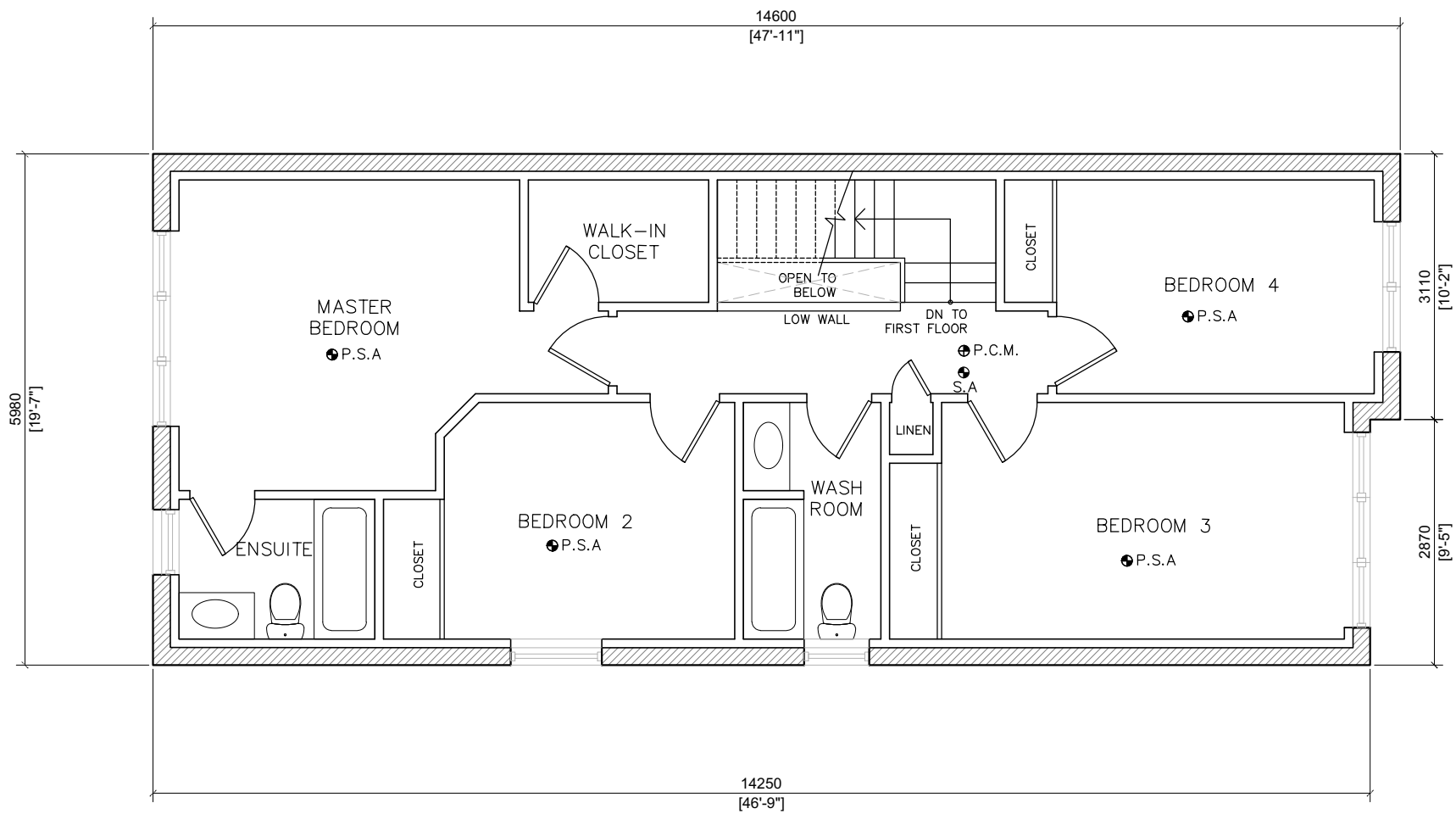
LEGEND		
EXISTING		
EX	EXHAUST FAN	
S.A	SMOKE ALARM	
C.M.	CARBON MONOXIDE DETECTOR	
REF	REFRIGERATOR	
FUR	FURNACE	
H	HOT WATER TANK	
SG	SUPPLY AIR GRILLES	
RG	RETURN AIR GRILLES	
PROPOSED		
P.S.A	PROPOSED SMOKE ALARMS	INTERCONNECTED WITH ALL FLOORS
P.C.M.	PROPOSED CARBON MONOXIDE DETECTOR	
P.EX	PROPOSED EXHAUST FAN	

NOTE: ALL THE EXISTING AND PROPOSED SMOKE ALARMS AND CARBON MONOXIDE DETECTORS WILL BE INTERCONNECTED THROUGHOUT THE ENTIRE FLOORS

Appendix B

File: 22.113404.000.00.MNV

Date: 06/17/22
MM/DD/YY



1 PROPOSED SECOND FLOOR PLAN
A-7 SCALE = 1:75

PREPARED BY:
LAND & BUILDING EXPERTS
570 Alden Rd., Unit 6, Markham, ON. L3R 8N5
(647) 340-8649 landbuildexp@gmail.com



PROJECT INFO:
**30 STOCKPORT RD,
CITY OF MARKHAM,
ON, L6B0R2**

DO NOT SCALE DRAWINGS.
The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify the Designer/Engineer of any variations from the supplied drawings and informations before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction.
All drawings are the property of Land & Building Experts, and must not be reproduced without written consent.

PROJECT NAME:
ALTERATION TO AN EXISTING SEMI-DETACHED DWELLING TO HAVE A SECOND SUITE IN THE BASEMENT

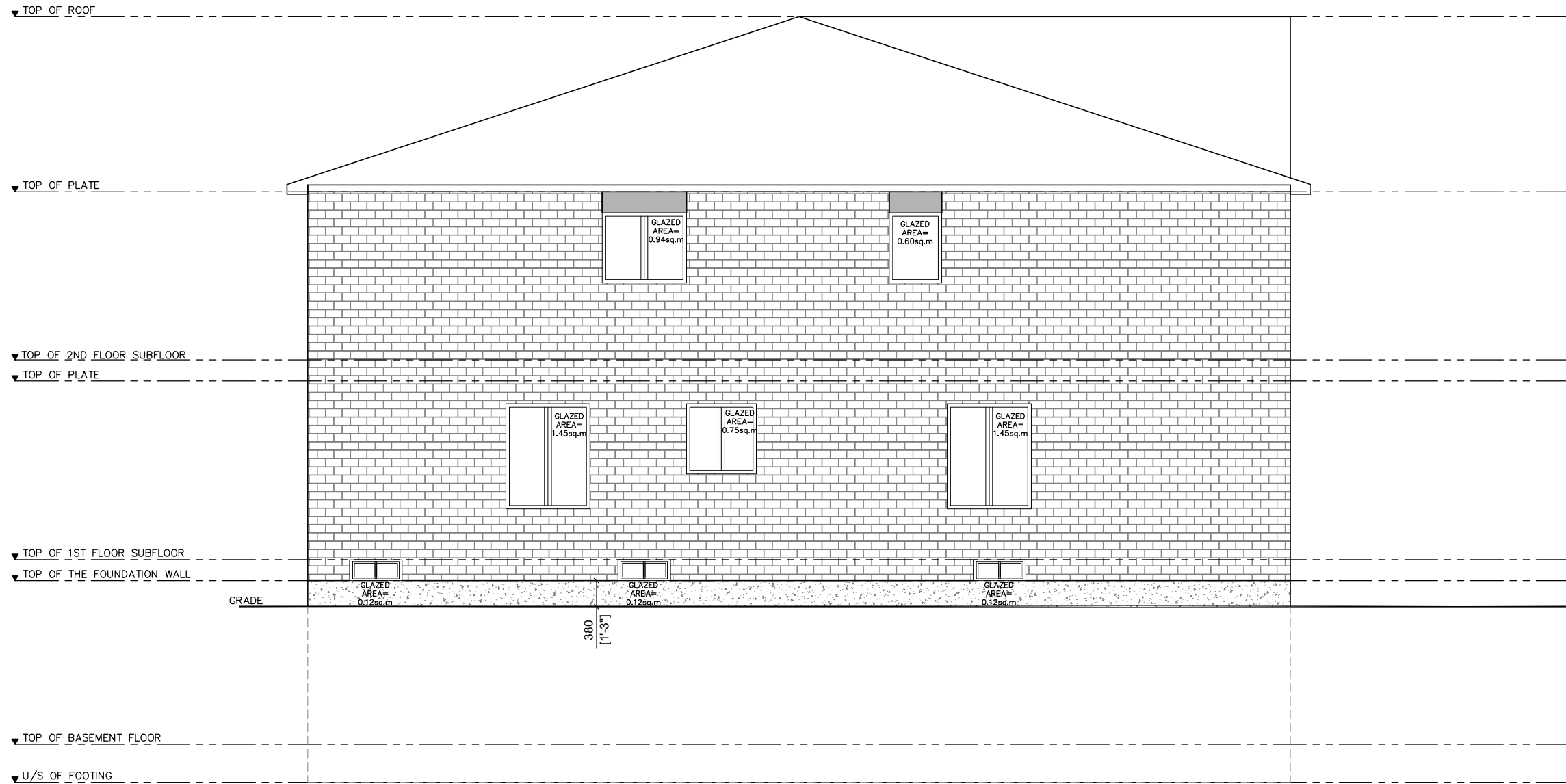
DRAWING TITLE:
PROPOSED SECOND FLOOR PLAN

2	BUILDING PERMIT	DEC/24/21	DRAWN BY: K.T	A-7
1	CLIENT REVIEW	DEC/20/21	CHECKED BY:	
NO.	ISSUED FOR	DATE	PROJECT NO.:	

Appendix B

File: 22.113404.000.00.MNV

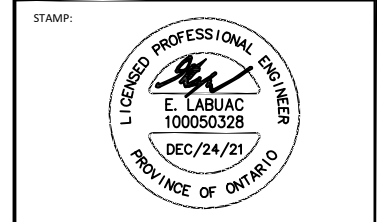
Date: 06/17/22
MM/DD/YY



UNPROTECTED OPENINGS GLAZED OPENINGS IN EXPOSING BUILDING FACE Table 9.10.15.4.	
TOTAL WALL AREA	85.77m ²
LIMITING DISTANCE	1200mm @7.0%
MAX. ALLOWABLE OPENINGS	6.00m ²
TOTAL OPENING PROVIDED	5.55m ²

1
A-8 EXISTING SOUTH ELEVATION(LEFT)
SCALE = 1:75

PREPARED BY:
LAND & BUILDING EXPERTS
570 Alden Rd., Unit 6, Markham, ON. L3R 8N5
(647) 340-8649 landbuldex@gmail.com



PROJECT INFO:
**30 STOCKPORT RD ,
CITY OF MARKHAM,
ON, L6B0R2**

DO NOT SCALE DRAWINGS.
The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify the Designer/Engineer of any variations from the supplied drawings and informations before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction.
All drawings are the property of Land & Building Experts, and must not be reproduced without written consent.

PROJECT NAME:
ALTERATION TO AN EXISTING SEMI-DETACHED DWELLING TO HAVE A SECOND SUITE IN THE BASEMENT

DRAWING TITLE:
EXISTING SOUTH ELEVATION(LEFT)

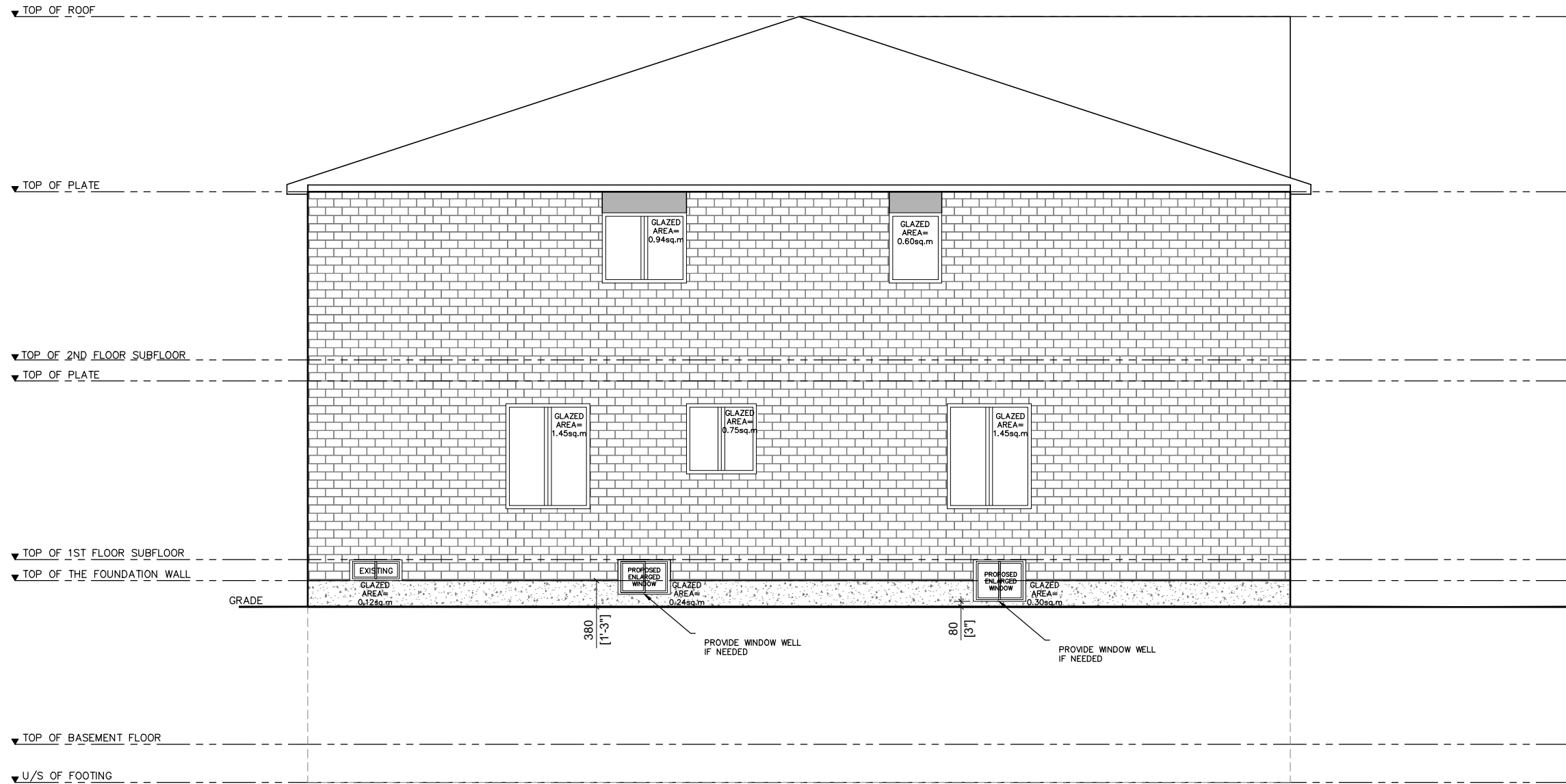
NO.	ISSUED FOR	DATE
2	BUILDING PERMIT	DEC/24/21
1	CLIENT REVIEW	DEC/20/21

SCALE AS INDICATED	DWG. NO.
DRAWN BY: K.T	A-8
CHECKED BY:	
PROJECT NO.:	

Appendix B

File: 22.113404.000.00.MNV

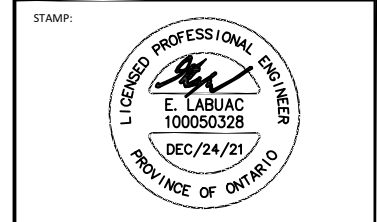
Date: 06/17/22
MM/DD/YY



UNPROTECTED OPENINGS GLAZED OPENINGS IN EXPOSING BUILDING FACE Table 9.10.15.4.	
TOTAL WALL AREA	85.77m ²
LIMITING DISTANCE	1200mm @7.0%
MAX. ALLOWABLE OPENINGS	6.00m ²
TOTAL OPENING PROVIDED	5.85m ²

1
A-9 PROPOSED SOUTH ELEVATION(LEFT)
SCALE = 1:75

PREPARED BY:
LAND & BUILDING EXPERTS
570 Alden Rd., Unit 6, Markham, ON. L3R 8N5
(647) 340-8649 landbuldev@gmail.com



PROJECT INFO:
**30 STOCKPORT RD ,
CITY OF MARKHAM,
ON, L6B0R2**

DO NOT SCALE DRAWINGS.
The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify the Designer/Engineer of any variations from the supplied drawings and informations before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction.
All drawings are the property of Land & Building Experts, and must not be reproduced without written consent.

PROJECT NAME:
ALTERATION TO AN EXISTING SEMI-DETACHED DWELLING TO HAVE A SECOND SUITE IN THE BASEMENT

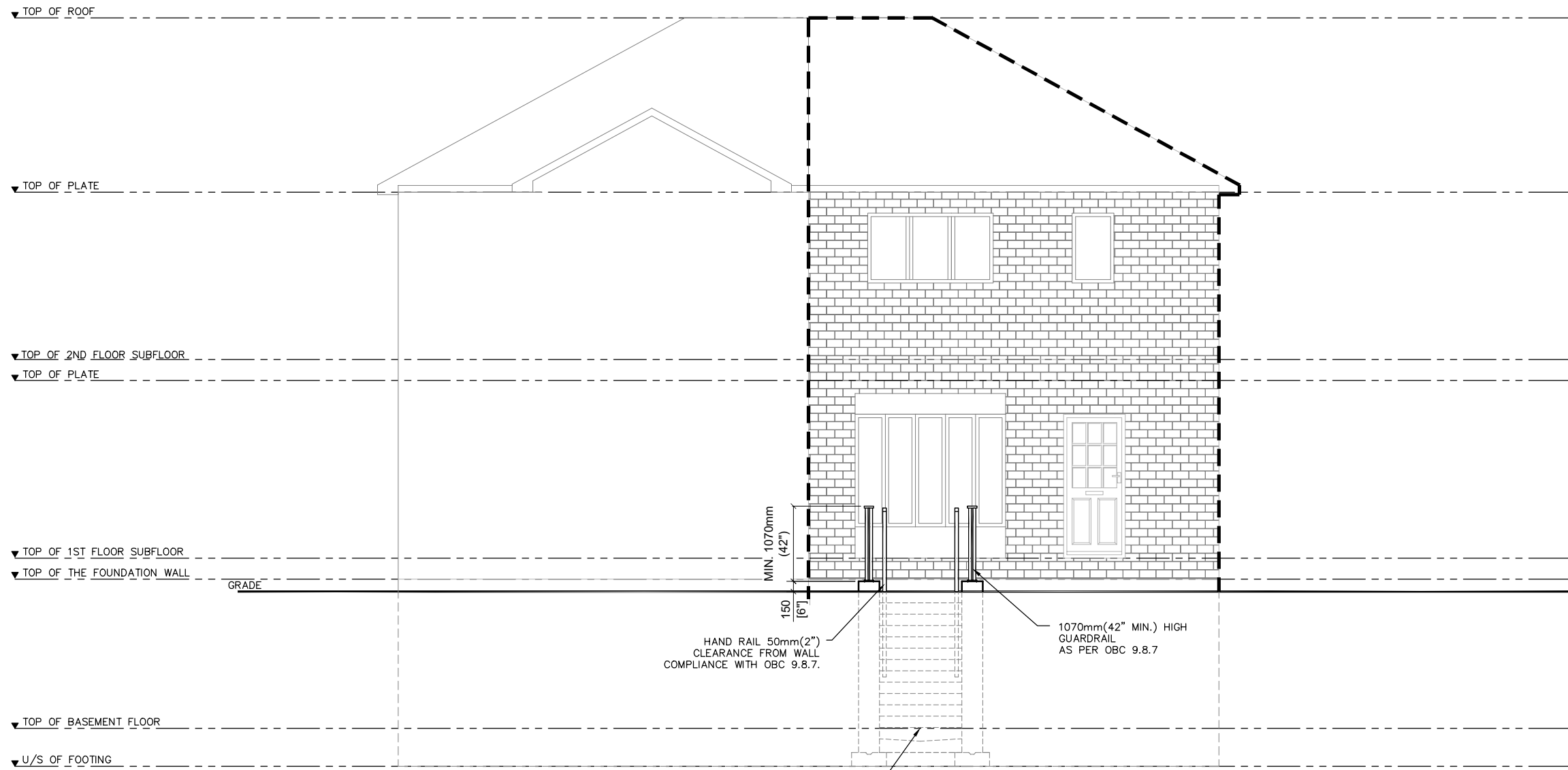
DRAWING TITLE:
PROPOSED SOUTH ELEVATION(LEFT)

NO.	ISSUED FOR	DATE	SCALE AS INDICATED	DWG. NO.
2	BUILDING PERMIT	DEC/24/21	DRAWN BY: K.T	A-9
1	CLIENT REVIEW	DEC/20/21	CHECKED BY:	
	ISSUED FOR	DATE	PROJECT NO.:	

Appendix B

File: 22.113404.000.00.MNV

Date: 06/17/22
MM/DD/YY



PROPOSED WALK-OUT BASEMENT ENTRANCE

1 PROPOSED WEST ELEVATION(REAR)
A-10 SCALE = 1:75

PREPARED BY:

LAND & BUILDING EXPERTS

570 Alden Rd., Unit 6, Markham, ON. L3R 8N5
(647) 340-8649 landbuildexp@gmail.com

STAMP:

PROJECT INFO:

**30 STOCKPORT RD ,
CITY OF MARKHAM,
ON, L6B0R2**

DO NOT SCALE DRAWINGS.

The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify the Designer/Engineer of any variations from the supplied drawings and informations before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction.

All drawings are the property of Land & Building Experts, and must not be reproduced with out written consent.

PROJECT NAME:

ALTERATION TO AN EXISTING SEMI-DETACHED DWELLING TO HAVE A SECOND SUITE IN THE BASEMENT

DRAWING TITLE:

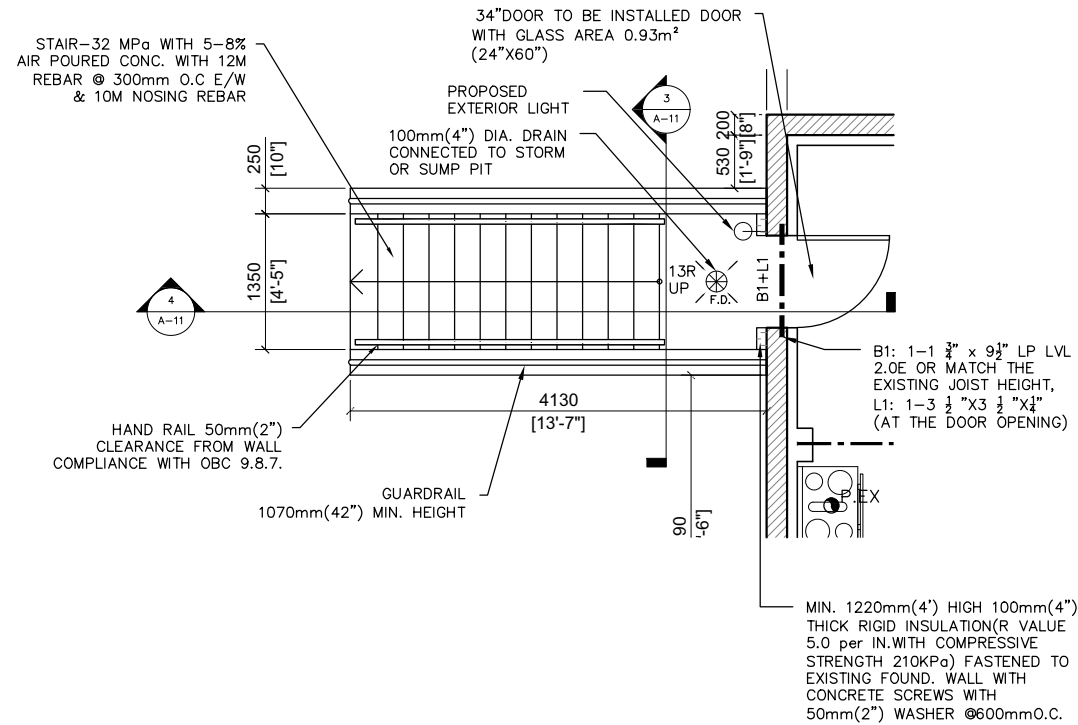
PROPOSED WEST ELEVATION(REAR)

2	BUILDING PERMIT	DEC/24/21	DRAWN BY: K.T	DWG. NO. A-10
1	CLIENT REVIEW	DEC/20/21	CHECKED BY:	
NO.	ISSUED FOR	DATE	PROJECT NO.:	

Appendix B

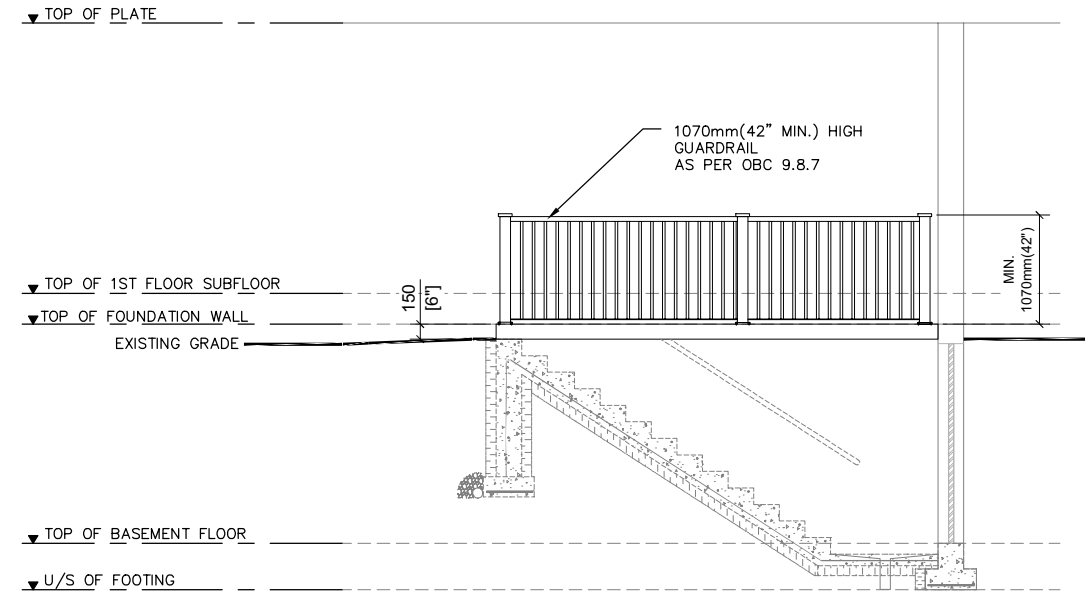
File: 22.113404.000.00.MNV

Date: 06/17/22
MM/DD/YY



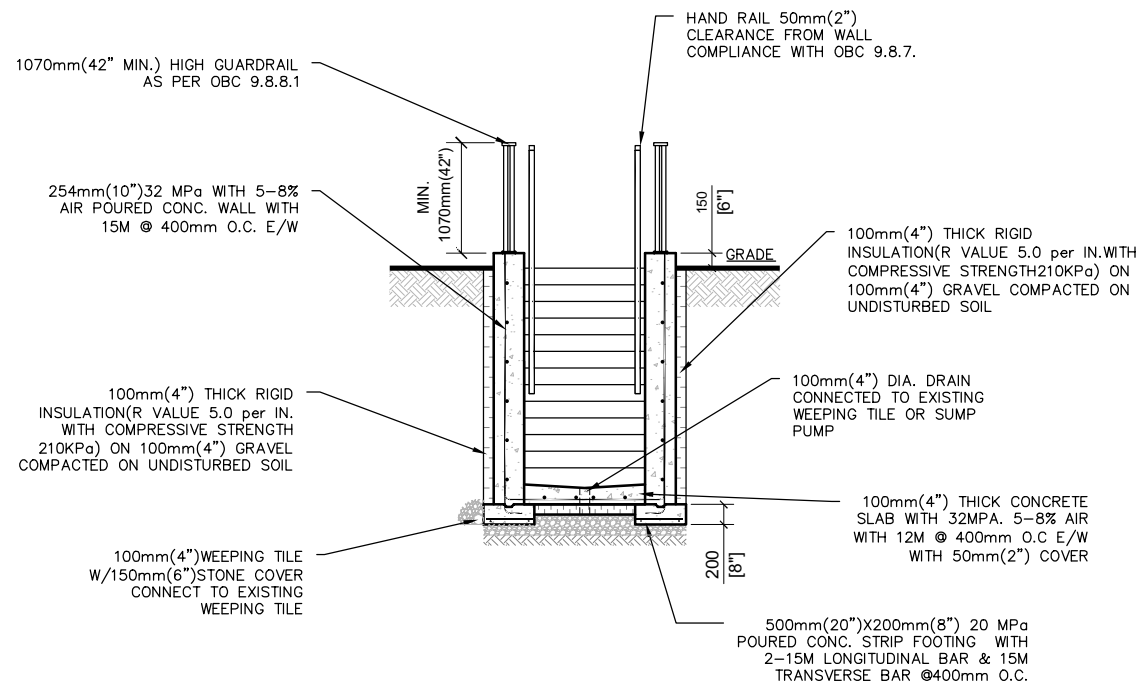
1 PLAN OF WALK-OUT BASEMENT

A-11 SCALE = 1:75



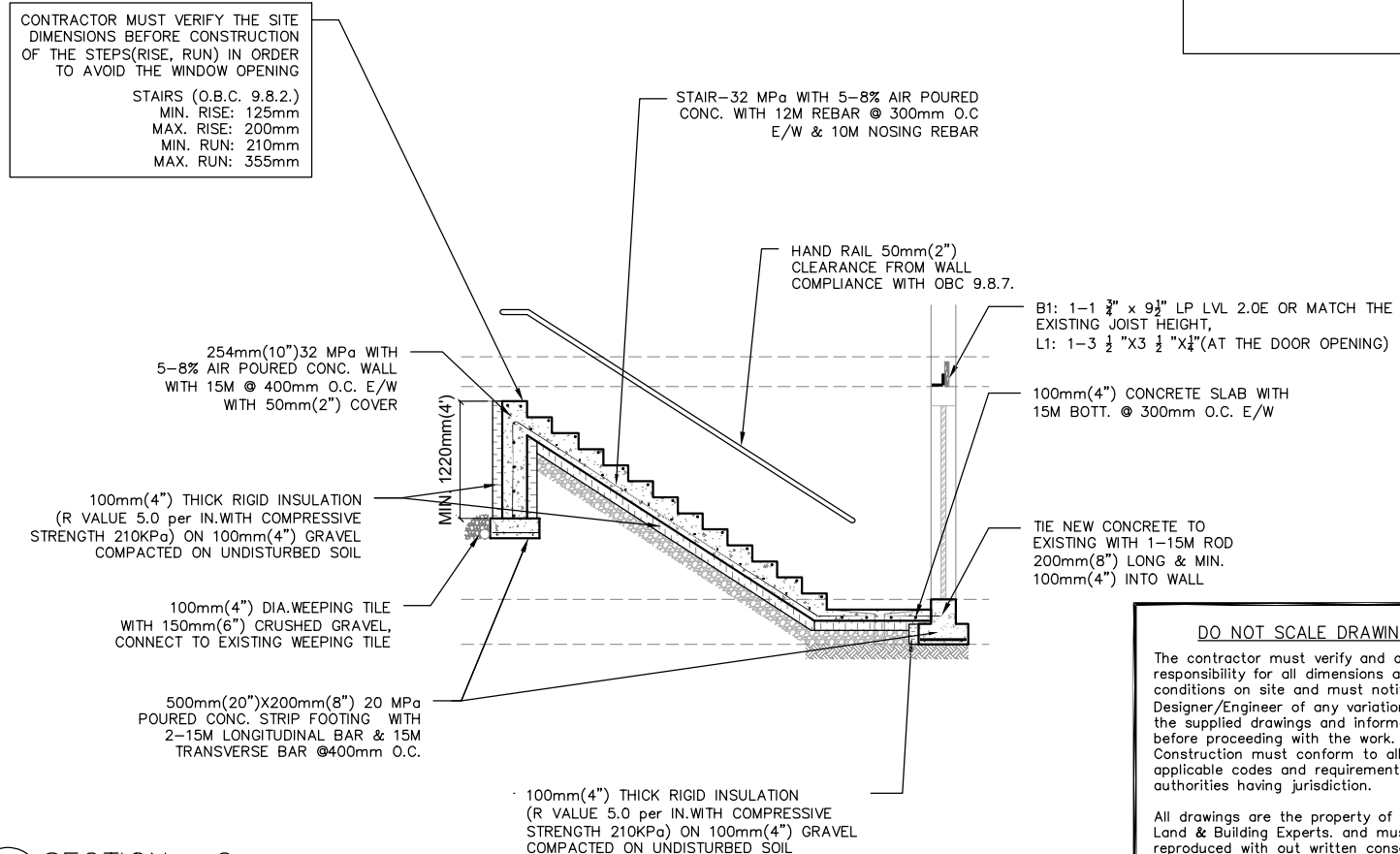
2 ELEVATION OF WALK-OUT BASEMENT

A-11 SCALE = 1:75



3 SECTION -1

A-11 SCALE = 1:75



4 SECTION -2

A-11 SCALE = 1:75

PREPARED BY:
LAND & BUILDING EXPERTS
570 Alden Rd., Unit 6, Markham, ON, L3R 8N5
(647) 340-8649 landbuildexp@gmail.com

STAMP:
PROFESSIONAL ENGINEER
E. LABUAC
100050328
DEC/24/21
PROVINCE OF ONTARIO

PROJECT INFO:
**30 STOCKPORT RD,
CITY OF MARKHAM,
ON, L6B0R2**

PROJECT NAME:
**ALTERATION TO AN EXISTING
SEMI-DETACHED DWELLING TO
HAVE A SECOND SUITE IN THE
BASEMENT**

DRAWING TITLE:
SECTION DRAWING

DO NOT SCALE DRAWINGS.
The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify the Designer/Engineer of any variations from the supplied drawings and informations before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction.
All drawings are the property of Land & Building Experts. and must not be reproduced without written consent.

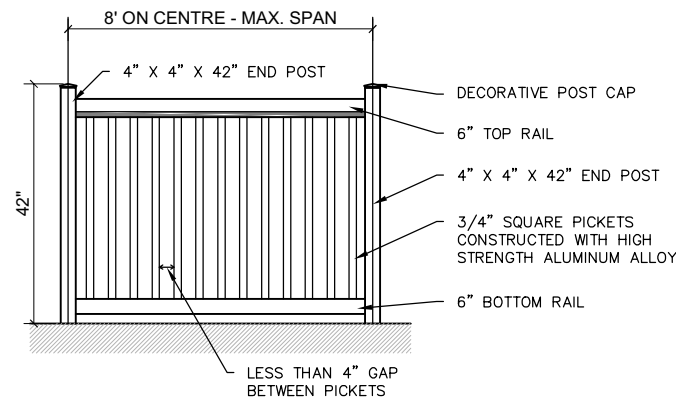
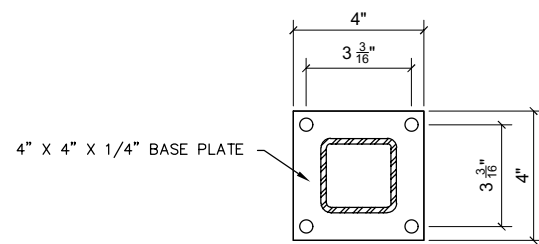
NO.	ISSUED FOR	DATE	PROJECT NO.:
2	BUILDING PERMIT	DEC/24/21	DRAWN BY: K.T
1	CLIENT REVIEW	DEC/20/21	CHECKED BY:

A-11

Appendix B

File: 22.113404.000.00.MNV

Date: 06/17/22
MM/DD/YY



1 BASE PLATE DETAIL TOP VIEW
A-12 SCALE = N.T.S.

3 HORIZONTAL BALCONY RAILING (PICKET ST)
A-12 SCALE = N.T.S.

NOTE:
ALUMINIUM POST, DECORATIVE POST CAP, TOP RAIL, BOTTOM RAIL,
RAILING PICKETS PROPRIETARY & DESIGNED BY OTHERS

DRAWINGS:

SHOP DRAWINGS TO CONFORM TO CSA CAN3-S16.1-M INDICATE WELDS USING WELDING SYMBOLS TO CSA W59.2-M. ALL DIMENSIONS WILL BE VERIFIED BY MANUFACTURER ON SITE PRIOR TO FABRICATION.

APPLICABLE CODES:

MANUFACTURE AND INSTALLATION OF GUARDS AND THEIR COMPONENTS SHALL BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND THE FOLLOWING APPLICABLE STANDARDS:

- CAN/CSA-S157-05/S157.1-05 STRENGTH DESIGN IN ALUMINUM
- CSA W59.2-M1991(R2008) WELDED ALUMINUM CONSTRUCTION
- CAN/CGSB-93.1-M85- SHEET, ALUMINUM ALLOY, PREFINISHED
- CSA S16-01 DESIGN OF STEEL STRUCTURES
- CAN/CSA-A23.3-04 DESIGN OF CONCRETE STRUCTURES
- CAN/CSA-A371-04(R2010) MASONRY CONSTRUCTION OF BUILDINGS
- CSA S304.1-04(R2010) DESIGN OF MASONRY STRUCTURES
- CSA A23-1-09 CONCRETE MATERIAL AND METHOD OF CONCRETE CONSTRUCTION
- CSA W59-03(R2008) WELDED STEEL CONSTRUCTION (METAL ARC WELDING)
- CSA W59.2-M1991(R2008) WELDED ALUMINUM CONSTRUCTION
- CSA W47.2-11 CERTIFICATION OF COMPANIES FOR FUSION WELDING OF ALUMINUM

DESIGN LOADS

THE INSTALLED GUARDRAIL SYSTEM SHALL WITHSTAND ALL LOADS CONFORMING TO TESTING TO CAN3-S157-M, ASTM E935 STANDARD TEST METHODS FOR PERFORMANCE OF PERMANENT METAL RAILING SYSTEMS AND RAILS FOR BUILDINGS, AND ASTM E894 STANDARD TEST METHOD FOR ANCHORAGE OF PERMANENT METAL RAILING SYSTEMS AND RAILS FOR BUILDINGS.

ALL DESIGN LOADS TO CONFORM TO ONTARIO BUILDING CODE, SECTION 4.1 STRUCTURAL LOADS AND PROCEDURES.

- 4.1.5.14 (1): THE MINIMUM SPECIFIED HORIZONTAL LOAD APPLIED INWARD AND OUTWARD ON THE TOP OF EVERY REQUIRED GUARD SHALL BE:
- 4.1.5.14(1C): 0.75 KN/M(50LB/FT) OR A CONCENTRATED LOAD OF 1.0 KN(225 LB) APPLIED AT ANY POINT.
- 4.1.5.14(2): INDIVIDUAL ELEMENTS WITHIN THE GUARD, INCLUDING SOLID PANELS AND PICKETS, DESIGNED FOR A CONCENTRATED LOAD OF 0.5 KN(113LB) AT ANY POINT IN THE ELEMENT.
- 4.1.5.14 (3): THE LOADS REQUIRED IN SENTENCE (2) NEED NOT BE CONSIDERED TO ACT SIMULTANEOUSLY WITH THE LOADS PROVIDED FOR IN SENTENCES (1) AND (4).
- 4.1.5.14 (4): THE SPECIFIED LOAD APPLIED VERTICALLY AT THE TOP OF EVERY REQUIRED GUARD 1.5 KN/M (100 LB/FT) AND NEED NOT BE CONSIDERED TO ACT SIMULTANEOUSLY WITH HORIZONTAL LOAD PROVIDED FOR IN SENTENCE (1).

MATERIAL SPECIFICATIONS:

THE CONCRETE STRENGTH IS ASSUMED TO BE NOT LESS THAN 28 MPA.
EXTRUDED POSTS SHALL BE 6005-T6 ALUMINUM ALLOY OR ACCEPTABLE EQUIVALENT.
ALL OTHER MEMBERS TO BE 6063-T6 ALUMINUM ALLOY OR ACCEPTABLE EQUIVALENT.
FORMED SHAPES (PANEL) SHALL BE ALLOY 3003-H14 OR ACCEPTABLE EQUIVALENT.
FLAT ALUMINUM PANEL SHALL BE ALLOY 5052-H32 OR ACCEPTABLE EQUIVALENT.
ANCHOR BOLTS USED ARE 304 S.S. THREADED RODS 12MM OR ACCEPTABLE EQUIVALENT.

ANCHORS:

HILTI CHEMICAL ADHESIVE SYSTEM HY-200 OR ACCEPTABLE EQUIVALENT
EPCON ACRYLIC A7 EPOXY ANCHORING SYSTEM OR ACCEPTABLE EQUIVALENT
ANCHORS FOR MASONRY WALLS SHALL BE ALL SLEEVE ANCHORS BY HILTI OR ACCEPTABLE EQUIVALENT

ALL SCREWS FOR FASTENING ALUMINUM MEMBERS SHALL BE CORROSIVE RESISTANT SELF-TAPPING TEKS SCREWS, PAINTED TO MATCH COLOR. ALL EXPOSED SCREWS AND FASTENERS SHALL BE 304 STAINLESS STEEL OR ACCEPTABLE EQUIVALENT.

FINISH:

FINISHES TO AAMA 2604 AND 2605
FINISH TYPE: POLYESTER POWDER COATING COLOR
GLASS: TO BE SELECTED BY OWNER
FRAME: TO BE SELECTED BY OWNER
ALL TOUCH-UP SHALL BE TO THE MANUFACTURER'S TOUCH-UP PROCEDURE.

FABRICATION

TO COMPLY WITH ASTM E985 STANDARD SPECIFICATION FOR PERMANENT METAL GUARDRAIL SYSTEMS AND RAILS FOR BUILDINGS FABRICATION PRACTICES SHALL FOLLOW THOSE FOR STEEL, AS IN CSA W59-03(2008), CSA S16-09 EXCEPT AS OTHERWISE MODIFIED BY CSA-CAN3-5157-M83.

WELDING OPERATORS AND PROCEDURES USED SHALL BE QUALIFIED TO CSA STANDARD W47.2.

RAILING COMPONENTS SHOULD ACCOMMODATE THERMAL MOVEMENT WITHOUT ADVERSE EFFECTS TO THE RAILING SYSTEM

THE RAILING MEMBERS SHOULD BE CONNECTED TO THE RAILING IN FRAME IN SUCH A FASHION THAT ARE NOT FREE TO RATTLE UNDER WIND OR ANY OTHER LOADING.

ALL WELDING SHALL BE DONE WITH GAS METAL ARC WELDING (MIG).

INSTALLATION

ALUMINUM, WITHOUT FINISH COAT, IN CONTACT WITH CONCRETE AND/OR STEEL SHALL BE SEPARATED WITH 1MM THICK NEOPRENE GASKET.

AMBIENT TEMPERATURE DURING THE INSTALLATION OF THE RAILING SHALL BE BETWEEN -10°C AND 33°C.

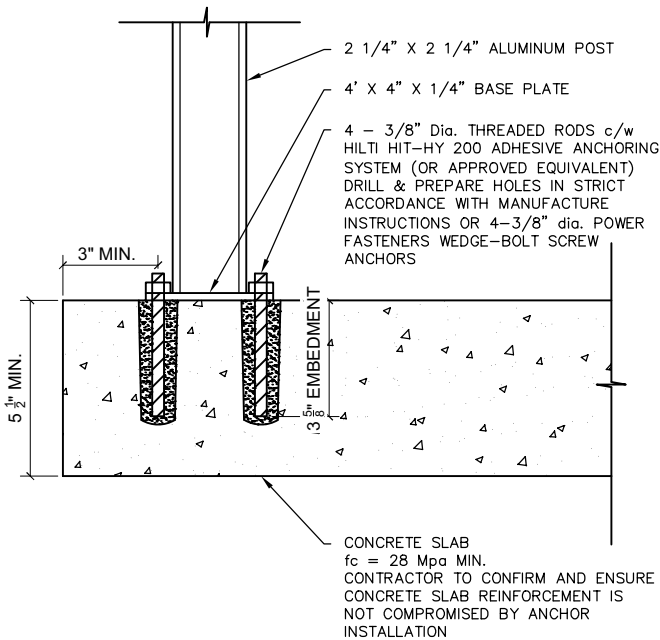
GUARDRAILS SHALL BE ANCHORED TO THE BALCONY FLOOR SLAB AT EACH POST WITH A MINIMUM OF TWO ANCHORS, 12MM IN DIAMETER.

TORQUE FOR 10MM ANCHORS 21NM

TORQUE FOR 12MM ANCHORS 42NM

CORNER POST AT 90° ANGLE, CAN BE SECURED WITH ONLY ONE ANCHOR

MINIMUM EMBEDMENT OF THE ANCHOR INTO THE SLAB SHALL BE 85 MM.



2 ALUMINUM POST ANCHORAGE DETAIL
A-12 SCALE = N.T.S.

SECTION THROUGH CONCRETE SLAB

NOTE:

- 1. ALUMINIUM POST AND BASE PLATE PROPRIETARY & DESIGNED BY OTHERS
- 2. RESPONSIBILITY FOR BASE PLATE STRUCTURE TO SUPPORT GUARDRAIL LOADING BY OTHERS

ANCHORS:
HILTI CHEMICAL ADHESIVE SYSTEM HY-200 OR ACCEPTABLE EQUIVALENT
EPCON ACRYLIC A7 EPOXY ANCHORING SYSTEM OR ACCEPTABLE EQUIVALENT
ANCHORS FOR MASONRY WALLS SHALL BE ALL SLEEVE ANCHORS BY HILTI OR ACCEPTABLE EQUIVALENT

ALL SCREWS FOR FASTENING ALUMINUM MEMBERS SHALL BE CORROSIVE RESISTANT SELF-TAPPING TEKS SCREWS, PAINTED TO MATCH COLOR. ALL EXPOSED SCREWS AND FASTENERS SHALL BE 304 STAINLESS STEEL OR ACCEPTABLE EQUIVALENT.

FINISH:
FINISHES TO AAMA 2604 AND 2605
FINISH TYPE: POLYESTER POWDER COATING COLOR
GLASS: TO BE SELECTED BY OWNER
FRAME: TO BE SELECTED BY OWNER
ALL TOUCH-UP SHALL BE TO THE MANUFACTURER'S TOUCH-UP PROCEDURE.

FABRICATION
TO COMPLY WITH ASTM E985 STANDARD SPECIFICATION FOR PERMANENT METAL GUARDRAIL SYSTEMS AND RAILS FOR BUILDINGS FABRICATION PRACTICES SHALL FOLLOW THOSE FOR STEEL, AS IN CSA W59-03(2008), CSA S16-09 EXCEPT AS OTHERWISE MODIFIED BY CSA-CAN3-5157-M83.

WELDING OPERATORS AND PROCEDURES USED SHALL BE QUALIFIED TO CSA STANDARD W47.2.

RAILING COMPONENTS SHOULD ACCOMMODATE THERMAL MOVEMENT WITHOUT ADVERSE EFFECTS TO THE RAILING SYSTEM

THE RAILING MEMBERS SHOULD BE CONNECTED TO THE RAILING IN FRAME IN SUCH A FASHION THAT ARE NOT FREE TO RATTLE UNDER WIND OR ANY OTHER LOADING.

ALL WELDING SHALL BE DONE WITH GAS METAL ARC WELDING (MIG).

INSTALLATION
ALUMINUM, WITHOUT FINISH COAT, IN CONTACT WITH CONCRETE AND/OR STEEL SHALL BE SEPARATED WITH 1MM THICK NEOPRENE GASKET.
AMBIENT TEMPERATURE DURING THE INSTALLATION OF THE RAILING SHALL BE BETWEEN -10°C AND 33°C.
GUARDRAILS SHALL BE ANCHORED TO THE BALCONY FLOOR SLAB AT EACH POST WITH A MINIMUM OF TWO ANCHORS, 12MM IN DIAMETER.
TORQUE FOR 10MM ANCHORS 21NM
TORQUE FOR 12MM ANCHORS 42NM
CORNER POST AT 90° ANGLE, CAN BE SECURED WITH ONLY ONE ANCHOR
MINIMUM EMBEDMENT OF THE ANCHOR INTO THE SLAB SHALL BE 85 MM.

PREPARED BY:
LAND & BUILDING EXPERTS
570 Alden Rd., Unit 6, Markham, ON. L3R 8N5
(647) 340-8649 landbuildexp@gmail.com

STAMP:
E. LABUAC
100050328
DEC/24/21
PROVINCE OF ONTARIO

PROJECT INFO:
**30 STOCKPORT RD ,
CITY OF MARKHAM,
ON, L6B0R2**

DO NOT SCALE DRAWINGS.
The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify the Designer/Engineer of any variations from the supplied drawings and informations before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction.
All drawings are the property of Land & Building Experts. and must not be reproduced with out written consent.

PROJECT NAME:
ALTERATION TO AN EXISTING SEMI-DETACHED DWELLING TO HAVE A SECOND SUITE IN THE BASEMENT

DRAWING TITLE:
GUARD SPECIFICATION

2	BUILDING PERMIT	DEC/24/21	DRAWN BY: K.T	DWG. NO. A-12
1	CLIENT REVIEW	DEC/20/21	CHECKED BY:	
NO.	ISSUED FOR	DATE	PROJECT NO.:	