

Memorandum to the City of Markham Committee of Adjustment

August 10, 2023

Files: B/020/23, A/073/23, A/074/23, A/075/23, A/76/23
Address: 187 Helen Avenue, Markham
Applicant: Henry Chiu Architect Ltd (Henry Chiu)
Agent: Henry Chiu Architect Ltd (Henry Chiu)
Hearing Date: Wednesday, August 16, 2023

The following comments are provided on behalf of the Central Team.

Consent Application B/020/23

Pursuant to the provisions of Section 53 of the *Planning Act*, R.S.O. 1990, c.P.13, as amended, and Ontario Regulation No. 197/96, the Applicant is requesting provisional consent to:

- a) retain a parcel of land with approximate lot frontage of 11.435 m (37.516 ft) and approximate lot area of 384.7 m² (4140.9 ft²) (Part 1);
- b) sever and convey a parcel of land with an approximate lot frontage of 11.435 m (37.516 ft) and approximate lot area of 384.7 m² (4140.9 ft²) (Part 2);
- c) sever and convey a parcel of land with an approximate lot frontage of 11.435 m (37.516 ft) and an approximate lot area of 362.5 m² (3901.9 ft²) (Part 3); and
- d) sever and convey a parcel of land with an approximate lot frontage of 11.435 m (37.516 ft) and an approximate lot area of 362.5 m² (3901.9 ft²) (Part 4).

The purpose of this application (the "Application") is to create a total of four residential lots (1 Retained Lot and 3 New Lots) to facilitate the construction of four new single detached dwellings. This application is related to Minor Variance Applications A/073/23, A/074/23, A/075/23, and A/76/23 which are being reviewed concurrently, as detailed below.

Minor Variance Application A/073/23 (Retained Lot – Part 1 [Parcel with frontage along Helen Avenue])

The Applicant is requesting relief from the requirements of the "Rural Residential One, (RR1) Zone" under By-law 304-87, as amended, as it relates to a proposed detached dwelling on the Retained Lot of Consent Application B/020/23 (Part 1), to permit:

- a) **Amending By-law 304-87, Section 7.5(a)(i):**
a minimum lot frontage of 11.435 metres (37.516 feet), whereas the By-law requires a minimum lot frontage of 45 metres (147.638 feet);
- b) **Amending By-law 304-87, Section 7.5(a)(i):**
a minimum lot area of 0.038 hectares (0.094 acres), whereas the By-law requires a minimum lot area of 0.4 hectares (0.988422 acres);
- c) **Amending By-law 304-87, Section 7.5(b)(i):**
a minimum interior side yard setback of 1.2 metres (3.9 feet), whereas the By-law requires a minimum setback of 3 metres (9.8 feet); and
- d) **Amending By-law 304-87, Section 7.5(b)(i):**
a minimum front yard setback of 6.368 metres (20.892 feet), whereas the By-law requires a minimum front yard setback of 7.5 metres (24.606 feet).

Minor Variance Application A/074/23 (Severed Lot – Part 2 [Parcel with Frontage along Helen Avenue])

The Applicant is requesting relief from the requirements of the “Rural Residential One, (RR1) Zone” under By-law 304-87, as amended as it relates to a proposed detached dwelling on a Severed Lot of Consent Application B/020/23 (Part 2), to permit:

- a) **Amending By-law 304-87, Section 7.5(a)(i):**
a minimum lot frontage of 11.435 metres (37.516 feet), whereas the By-law requires a minimum lot frontage of 45 metres (147.638 feet);
- b) **Amending By-law 304-87, Section 7.5(a)(i):**
a minimum lot area of 0.038 hectares (0.094 acres), whereas the By-law requires a minimum lot area of 0.4 hectares (0.988422 acres);
- c) **Amending By-law 304-87, Section 7.5(b)(i):**
a minimum interior side yard setback of 1.2 metres (3.9 feet), whereas the By-law requires a minimum setback of 3 metres (9.8 feet); and
- d) **Amending By-law 304-87, Section 7.5(b)(i):**
a minimum front yard setback of 6.368 metres (20.892 feet), whereas the By-law requires a minimum front yard setback of 7.5 metres (24.606 feet).

Withdrawn Minor Variance Applications – Files: A/075/23 and A/76/23

The Applicant had originally applied for the two Minor Variance Applications noted below, however during the processing of the Application it was determined that these variances are no longer required and therefore they have since been withdrawn.

Minor Variance Application A/075/23 (Severed Lot – Part 3 [Parcel with Frontage along Peshawar Avenue])

The Applicant is requesting relief from the requirements of the “Residential Two, Exception Thirty-one (R2*31) Zone” under By-law 177-96, as amended as it relates to a proposed detached dwelling on a Severed Lot of Consent Application B/020/23 (Part 3), to permit:

- a) **Amending By-law 177-96, Section 5, Table B2, Part 1, C:**
a maximum garage width of 5.1 metres (16.7 feet), whereas the By-law permits a maximum garage width of 3.5 metres (11.5 feet).

Minor Variance Application A/076/23 (Severed Lot – Part 4 [Parcel with Frontage Peshawar Avenue])

The Applicant is requesting relief from the requirements of the “Residential Two, Exception Thirty-one (R2*31) Zone” under By-law 177-96, as amended as it relates to a proposed detached dwelling on a Severed Lot of Consent Application B/020/23 (Part 4), to permit:

- a) **Amending By-law 177-96, Section 5, Table B2, Part 1, C:**
a maximum garage width of 5.1 metres (16.7 feet), whereas the By-law permits a maximum garage width of 3.5 metres (11.5 feet).

BACKGROUND

Property Description

The 1493.26 m² (16073.32 ft²) subject lands (the “Subject Lands”) is located on the south side of Helen Avenue and generally east of Kennedy Road and north of Highway 407 (refer to Appendix “A” – Aerial Photo). Adjacent surrounding land uses include an established neighbourhood comprised primarily of two-storey detached dwellings.

There is an existing one-storey detached dwelling on the property, which according to assessment records was constructed in 1955. Additionally, there is mature vegetation that exists across the property including multiple large mature trees along the front, side, and rear yard.

Proposal

The Applicant is proposing to sever the existing residential lot to create a total of four residential lots (1 Retained Lot and 3 New Lots) (refer to Appendix “B” – Draft Reference Plan). The Retained (Part 1) and Severed Lot (Part 2) with a frontage along Helen Avenue will have a lot area of 384.7 m² (4140.9 ft²) and frontages of 11.435 m (37.516 ft) per lot. The Severed Lots (Part 3 and 4) with a frontage along Peshawar Avenue will have a lot area of 362.5 m² (3901.9 ft²) and frontages of 11.435 m (37.516 ft) per lot.

The Applicant is also proposing to demolish the existing one-storey detached dwelling and to construct four new two-storey detached dwellings; one on the Retained Lot (Part 1) and three on the Severed Lots (Parts 2, 3, and 4) [refer to Appendices C, D, E, and F for the Architectural Plans for Parts 1,2, 3, and 4, respectively].

Official Plan and Zoning

Official Plan 2014 (partially approved on November 24, 2017, and updated on April 9, 2018)

The Official Plan designates the Subject Lands “Residential Low Rise”, which provides for low-rise housing forms including single detached dwellings. Section 8.2.3.5 of the 2014 Official Plan outlines development criteria for the “Residential Low Rise” designation with respect to height, massing, and setbacks. This criterion is established to ensure that the development is appropriate for the site and generally consistent with the zoning requirements for adjacent properties and properties along the same street. In considering applications for development approval in a “Residential Low Rise” area, which includes minor variances, infill development is required to meet the general intent of these development criteria. Regard shall also be had for retention of existing trees and vegetation, the width of proposed garages and driveway, and the overall orientation and sizing of new lots within a residential neighbourhood. Planning staff have had regard for the requirements of the development criteria in the preparation of the comments provided below.

Zoning

The Subject Lands are dual zoned; “Rural Residential One (RR1)” within Zoning By-law 304-87 as amended, and “Residential Two, Exception Thirty-one (R2*31)” within Zoning By-law 177-96, as amended. Proposed Lots 1 and 2 are zoned RR1. Proposed Lots 3 and 4 are primarily located within the R2*31, with a very small portion zoned RR1 to the rear of the lot.

Zoning By-law 304-87, as amended - "Rural Residential One (RR1)"

Properties zoned "Rural Residential One (RR1)" under By-law 304-87, as amended, which permits one single family detached dwelling per lot with a minimum lot frontage of 45 metres (147.64 feet) and a minimum lot area of 0.4 hectares (0.988422 acres). The proposed development on the Retained and Severed Lot (Parts 1 and 2) with a frontage along Helen Avenue does not comply with the By-law requirements with respect to minimum lot frontage, minimum lot area, minimum interior side yard setback, and minimum front yard setback.

Zoning By-law 177-96, as amended - "Residential Two, Exception Thirty-one (R2*31)"

Properties zoned "Residential Two, Exception Thirty-one (R2*31)" under By-law 177-96, as amended, which permits a number of residential uses on the lot. Exception Thirty-one (31) relates to development standards regarding townhouses as well as maximum garage and driveway width requirements. As it relates to lot division, the By-law provides development standards for a minimum lot frontage of 9 metres (29.53 feet). The proposed development on the Severed Lots (Part 3 and 4) along Peshawar Avenue complies with all development standard under By-law 177-96, as amended.

Zoning Preliminary Review (ZPR) Undertaken

The Applicant completed a Zoning Preliminary Review (ZPR) on June 24, 2022 to confirm the variances required for the proposed development.

COMMENTS

Consent Application B/020/23

The Applicant is proposing three new residential lots to be created through provisional consent. As previously noted, it is proposed that both the Retained and Severed Lots (Parts 1 & 2) with a frontage along Helen Avenue will each have a lot frontage of 11.435 m (37.516 ft) and lot area of 384.7 m² (4140.9 ft²). The Severed Lots (Parts 3 and 4) with a frontage along Peshawar Avenue will each have a lot frontage of 11.435 m (37.516 ft.) and a lot area of 362.5 m² (3901.9 ft²).

Due to the fact that the existing lot is subject to two different sets of Zoning By-laws, the proposed Retained and Severed Lots (Parts 1 and 2) along Helen Avenue will not comply with either the minimum lot frontage or minimum lot area requirements. However, the proposed Severed Lots (Parts 3 and 4) along Peshawar Avenue are subject to a different set of Zoning By-laws and will comply with both minimum lot frontage and minimum lot area requirements.

Additionally, Staff note there is a 0.3 m. (0.98 ft.) reserve located between the Subject Lands and Peshawar Avenue. Prior to the issuance of the Certificate, the Applicant will have to make arrangements with the City to acquire the reserve. Planning Staff are of the opinion that the proposed severance is appropriate and consistent with the existing lot pattern of the neighbourhood.

Minor Variance Applications A/073/23 and A/074/23

The *Planning Act* states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- 1) The variance must be minor in nature;
- 2) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- 3) The general intent and purpose of the Zoning By-law must be maintained; and,
- 4) The general intent and purpose of the Official Plan must be maintained.

Parts 1 and 2: Reduction in Minimum Lot Frontage

The Applicant is requesting relief to permit a reduced lot frontage of 11.435 metres (37.516 feet), whereas the By-law requires a minimum lot frontage of 45 metres (147.638 feet).

Although the requested variances appear to be a large decrease to the minimum lot frontage requirements, Planning Staff recognize that Proposed Lots Parts 1 and 2 of the Retained and Severed Lots are subject to a set of Zoning By-laws that no longer reflects the zoning permissions of the surrounding adjacent properties nor the existing neighbourhood. Due to how the neighbourhood was redeveloped, remnants of By-law 304-87 have been scattered throughout the area on plots of land that were not redeveloped at the time. Following the development standards set out by By-law 304-87 would create lots with frontages that are significantly larger than the ones adjacent to the Subject Lands.

Staff note that lot frontages along the south side of Helen Avenue generally range between 10.08 metres (33.07 feet) to 11.69 metres (38.35 feet). The requested variances seek to reduce the minimum lot frontage to 11.435 metres (37.516 feet), which would be consistent with the surrounding properties. Planning Staff are of the opinion that the reduced lot frontage is appropriate for the development and will maintain the general intent of the Official Plan.

Parts 1 and 2: Reduction in Minimum Lot Area

The Applicant is requesting relief to permit reduced lot area of 0.038 hectares (0.094 acres), whereas the By-law requires a minimum lot area of 0.4 hectares (0.988 acres).

Similar to the previous requested variance, the large reduction in lot area is due to the remnant By-law 304-87 on this property. As noted above, this By-law no longer reflects the nature and characteristics of the neighbourhood. Within the surrounding area, along the south side of Helen Avenue, existing lot areas vary from 358.28 m² (3856.49 ft²) to 409.83 m² (4411.37 ft²). The Applicant is proposing a lot area of 384.7 m² (4140.9 ft²) for both the Retained and Severed Lots (Parts 1 and 2), which is within the range of lot areas of the adjacent properties. Planning Staff are of the opinion that the reduced lot area is appropriate for the development and will be consistent with the existing neighbourhood.

Parts 1 and 2: Reduction in Minimum Side Yard Setback

The Applicant is requesting relief to permit reduced side yard setbacks of 1.2 metres (3.9 feet), whereas the By-law requires a minimum setback of 3 metres (9.8 feet).

As noted above, this large reduction in side yard setback is also due to a remnant By-law that is in affect for the Retained and Severed lots along Helen Avenue (Parts 1 and 2). The lots within the immediate proximity to the Subject Lands that are under Zoning By-law 177-96 which better reflects the characteristics of the neighbourhood and which are permitted to have a minimum side yard setback of 1.2 metres (3.9 feet). The requested side yard setback would allow the two proposed single detached dwellings along Helen Avenue to maintain a consistency with the neighbourhood.

Additionally, Development Engineering Staff have reviewed the application and have no concern with the variance respecting drainage between buildings.

Planning Staff are of the opinion that the proposed side yard setback will not adversely impact the character of the neighbourhood.

Parts 1 and 2: Reduction in Minimum Front Yard Setback

The Applicant is requesting relief to permit a reduced front yard setback of 6.368 metres (20.892 feet), whereas the By-law requires a minimum front yard setback of 7.5 metres (24.606 feet). This represents a reduction of 1.132 metres (3.714 feet).

As previously stated, the development standards set out by By-law 304-87 no longer reflects the characteristics and direction of the neighbourhood zoning. Existing houses along Helen Avenue under By-law 177-96 have a minimum front yard setback requirement of 4.5 metres (14.8 feet). The requested front yard setback of 6.368 metres (20.892 feet) for the Retained and Severed Lots (Parts 1 and 2) would be larger than the minimum setback requirements of adjacent homes.

Planning Staff are of the opinion that the reduced front yard setback is minor in nature and is consistent with the surrounding neighbourhood.

Withdrawn: Parts 3 and 4: Increase Maximum Garage Width

As noted previously, the Applicant had originally requested relief to permit an increased garage width of 5.1 metres (16.7 feet), whereas the By-law permits a maximum garage width of 3.5 metres (11.5 feet). However, in the process of reviewing this application it was determined that under the requirements of the "Residential Two, Exception Thirty-one (R2*31) Zone" under By-law 177-96, as amended, the requested variances would not be required, as the maximum permitted garage width is 6.1 metres (20.01 feet) for lots with frontages that are greater than 10 metres (32.8 feet).

0.3m Reserve

As noted previously, there is a 0.3 m. (0.98 ft.) reserve that is owned by the City of Markham which is located between the Subject Lands and Peshawar Avenue. Staff have included a condition for approval, as outlined in Appendix "G", to ensure the Applicant make arrangements with the City to acquire the reserve prior to the issuance of the Certificate.

Engineering and Urban Design Comments

Engineering and Urban Design Staff have advised that the construction of the new dwellings would be subject to a future Residential Infill Grading and Servicing (“RGS”) application process prior to the submission of a building permit application. The RGS process, includes, but is not limited to:

1. The review of site servicing and grading plans;
2. Municipal inspections for the installation of the proposed sanitary, storm and water main service connections to service the newly created lot and disconnect any unused service connection;
3. The review of Tree Assessment and Preservation Plans;
4. Erection of required tree protection fencing; and,
5. Appropriate tree removal compensation via replacement trees and/or cash-in-lieu payment.

The Applicant is further advised that they are required to apply for, and obtain, a Tree Permit from the City for any proposed injury to, or removal of, any trees on-site, including City street trees in accordance with the City’s Tree Preservation By-law 2008-96 and conditions of a Tree Permit.

PUBLIC INPUT SUMMARY

No written submissions were received as of August 10, 2023. It is noted that additional information may be received after the writing of the report, and the Secretary Treasurer will provide information on this at the meeting.

CONCLUSION

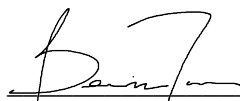
Planning Staff have reviewed the severance application with regard for Section 51(24) and 53 of the *Planning Act*, R.S.O. 1990, c.P.13, as amended, and have no objection to the proposed consent.

Planning Staff have also reviewed the minor variance applications with respect to Section 45(1) of the *Planning Act* and have no objection. Planning Staff are of the opinion that the variances requested for each lot, both separately, and collectively, meet the four tests under Section 45(1) of the *Planning Act*. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the Applicant to demonstrate why they should be granted relief from the requirements of the *Planning Act* and the applicable zoning by-laws, and how they satisfy the requirements for the granting of severances and minor variances.

Please refer to Appendix “G” to “I” for conditions to be attached to any approval of these applications.

PREPARED BY:



Bernie Tom, Development Technician, Zoning and Special Projects

REVIEWED BY:



Deanna Schlosser, MCIP RPP, Senior Planner, Central District

APPENICIES

Appendix "A" – Aerial Photo

Appendix "B" – Draft Reference Plan

Appendix "C" – Architectural Plans (Retained Lot – Part 1)

Appendix "D" – Architectural Plans (Severed Lot – Part 2)

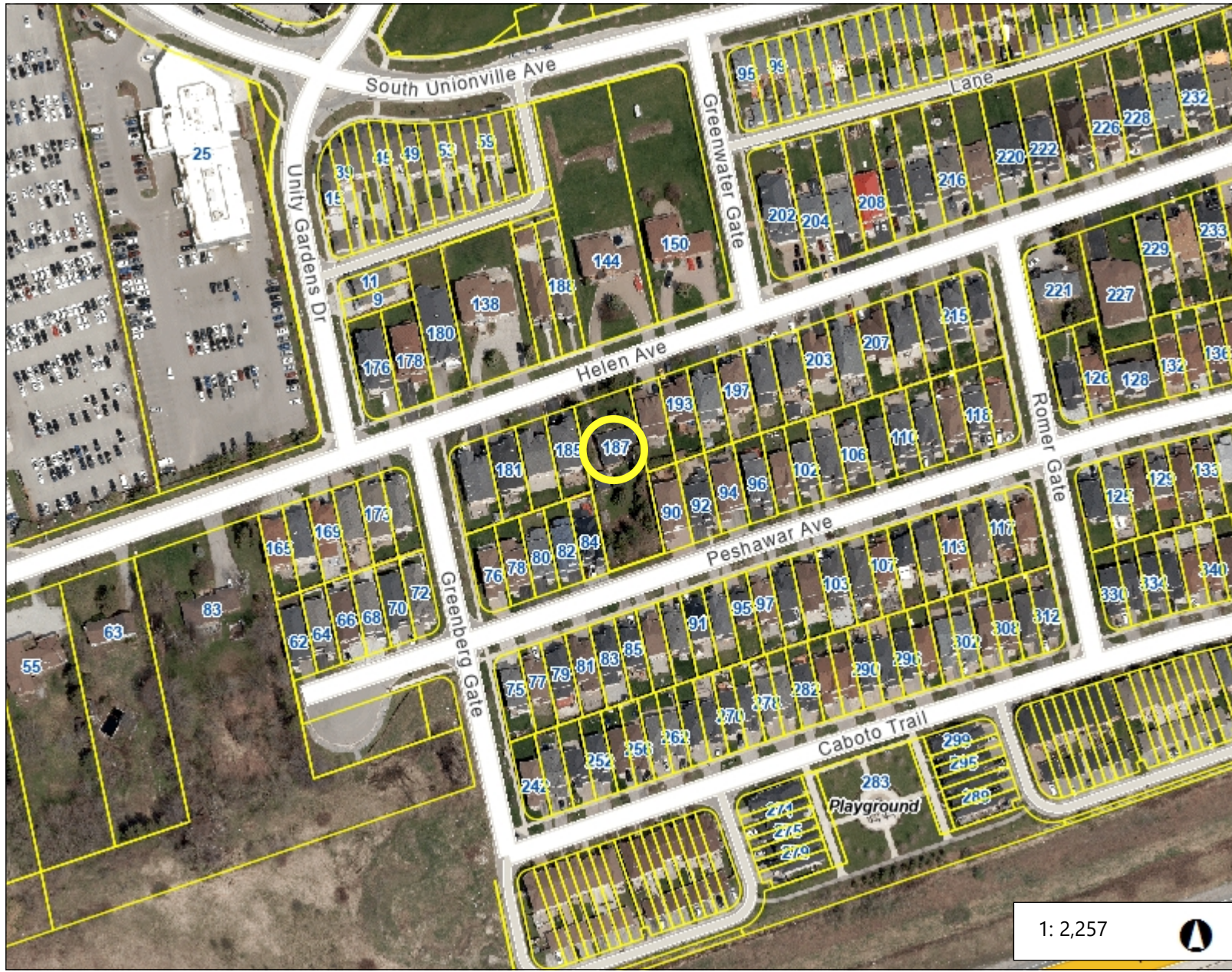
Appendix "E" – Architectural Plans (Severed Lot – Part 3)

Appendix "F" – Architectural Plans (Severed Lot – Part 4)

Appendix "G" – B/020/23 Conditions of Approval

Appendix "H" – A/073/23 Conditions of Approval

Appendix "I" – A/074/23 Conditions of Approval



Subject Lands

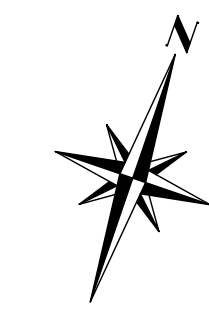
Notes

1: 2,257

114.7 0 57.33 114.7 Meters

DISCLAIMER: The information is presented on a best-efforts basis, and should not be relied upon for making financial, survey, legal or other commitments. If you have questions or comments regarding the data displayed on this map, please email cgis@markham.ca and you will be directed to the appropriate department.

HELEN AVENUE
 (FORMERLY ROAD AS SHOWN ON REGISTERED PLAN 2196)
 (NAMED BY BY-LAW No.119-88, INST. No.R467280)
 PIN 02963-0275(LT)

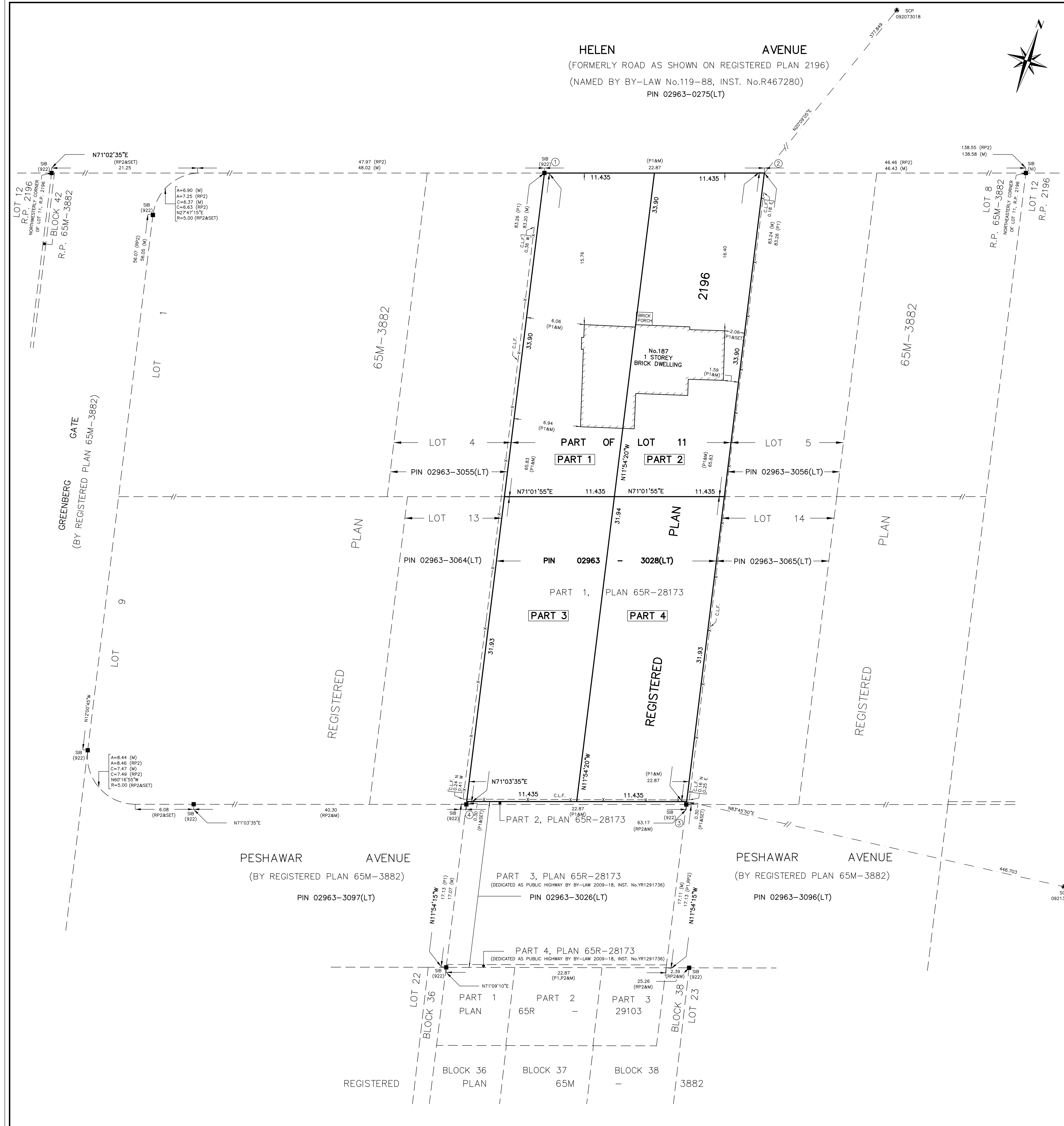


PLAN 65R-
 RECEIVED AND DEPOSITED
 DATE _____, 2023 DATE _____, 2023
 Z. ZENG
 ONTARIO LAND SURVEYOR
 REPRESENTATIVE FOR THE
 LAND REGISTRAR FOR THE LAND TITLES
 DIVISION OF YORK REGION (No. 65)

| PART | PART OF LOT | REGISTERED PLAN | ALL OF PIN | AREA(m ²) |
|------|-------------|-----------------|----------------|-----------------------|
| 1 | | | | 384.7 |
| 2 | 11 | 2196 | 02963-3028(LT) | 384.7 |
| 3 | | | | 362.5 |
| 4 | | | | 362.5 |

PLAN OF SURVEY OF
PART OF LOT 11, REGISTERED PLAN 2196
CITY OF MARKHAM
MUNICIPALITY OF YORK
 SCALE 1:200
 10m 5 0 10 METRES
 MANDARIN SURVEYORS LIMITED, O.L.S.
METRIC
 DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN
 BE CONVERTED TO FEET BY DIVIDING BY 0.3048

- LEGEND**
- DENOTES MONUMENT SET
 - DENOTES MONUMENT FOUND
 - SIB DENOTES STANDARD IRON BAR
 - IB DENOTES IRON BAR
 - RP1 DENOTES REGISTERED PLAN 2196
 - RP2 DENOTES REGISTERED PLAN 65M-3882
 - P1 DENOTES PLAN 65R-28173
 - P2 DENOTES PLAN 65R-29103
 - PIN DENOTES PROPERTY IDENTIFIER NUMBER
 - M DENOTES MEASURED
 - N,S,E,W DENOTES NORTH, SOUTH, EAST, WEST
 - C.L.F. DENOTES CHAIN LINK FENCE
 - B.F. DENOTES BOARD FENCE
 - S.Z. DENOTES SCHAEFFER & DZALDOV LTD., O.L.S.
 - C.U. DENOTES ORIGIN UNKNOWN
 - NI DENOTES NOT IDENTIFIABLE
 - CONC. DENOTES CONCRETE
 - SCP DENOTES SPECIFIED CONTROL POINTS



SPECIFIED CONTROL POINTS (SCP's)
 U.T.M. ZONE 17, NAD83 (CSRS)
 COORDINATES TO URBAN ACCURACY PER SEC. 14(2) OF O.REG.216/10

| POINT ID | NORTHING | EASTING |
|---------------|-------------|------------|
| SCP 092073018 | 4857447.544 | 636588.152 |
| SCP 092133010 | 4857077.001 | 636915.558 |
| 1 | 4857085.47 | 636436.38 |
| 2 | 4857092.90 | 636458.00 |
| 3 | 4857028.49 | 636471.59 |
| 4 | 4857021.06 | 636449.95 |

COORDINATES CANNOT, IN THEMSELVES, BE USED TO
 RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN

NOTES
 BEARINGS ARE U.T.M. GRID DERIVED FROM SPECIFIED CONTROL
 POINTS 092073018 AND 092133010, U.T.M. ZONE 17, NAD83 (CSRS)
 DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY
 MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.99980268.

SURVEYOR'S CERTIFICATE
 I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE
 WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE
 LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON THE 1st DAY OF JUNE, 2022.

JUNE 14, 2023
 DATE
 Z. ZENG
 ONTARIO LAND SURVEYOR

MANDARIN SURVEYORS LIMITED
 ONTARIO LAND SURVEYOR CANADA LANDS SURVEYOR
 WWW.MANDARINSURVEYOR.COM
 2400 MIDLAND AVENUE #121 PHONE: (647)430-1366 FAX: (647)799-4068
 TORONTO, ONTARIO, M1S 1X7 E-MAIL: MANDARINSURVEYOR@GMAIL.COM



#193 & 191 HELEN AVE HOUSES



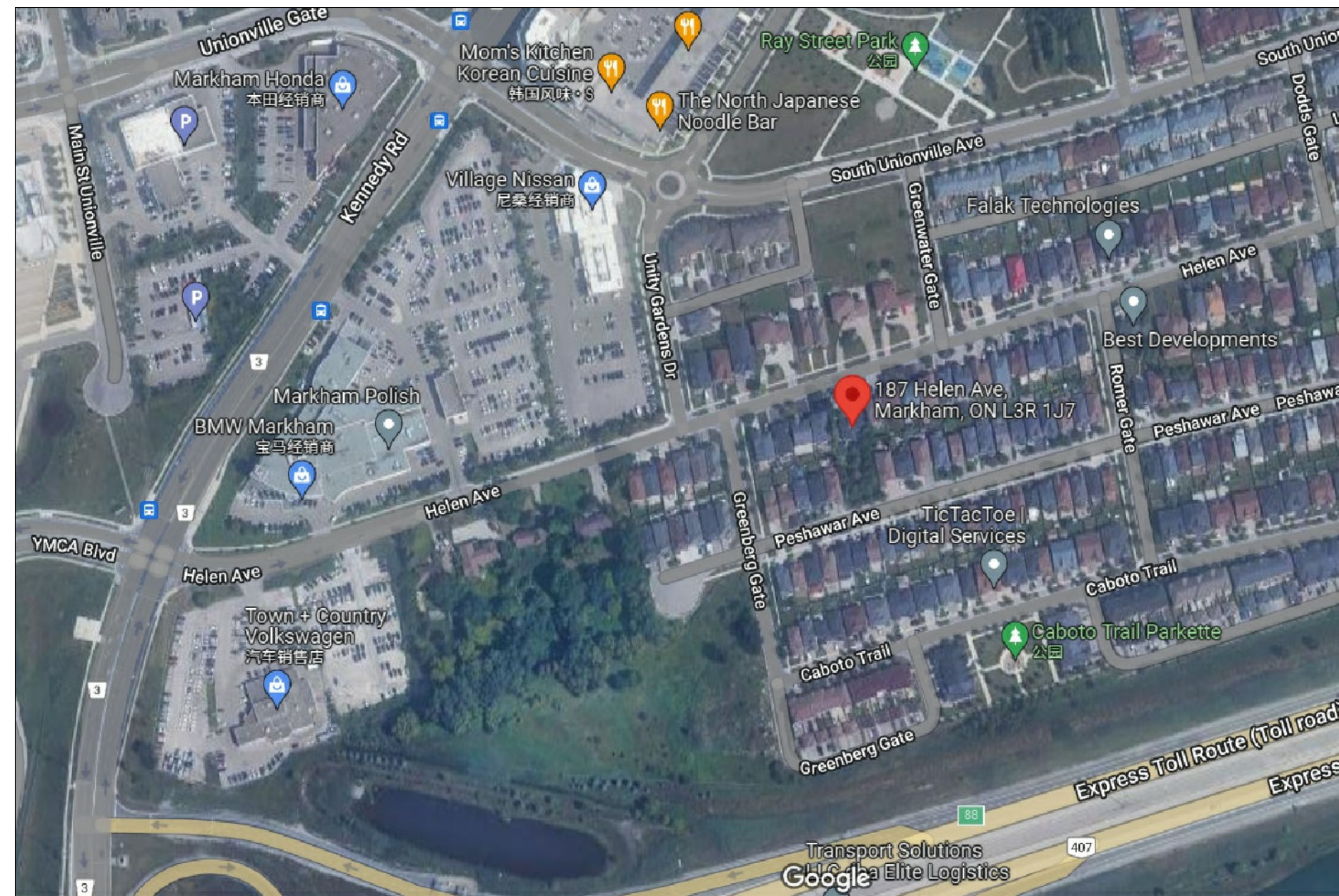
#185 & 183 HELEN AVE HOUSES



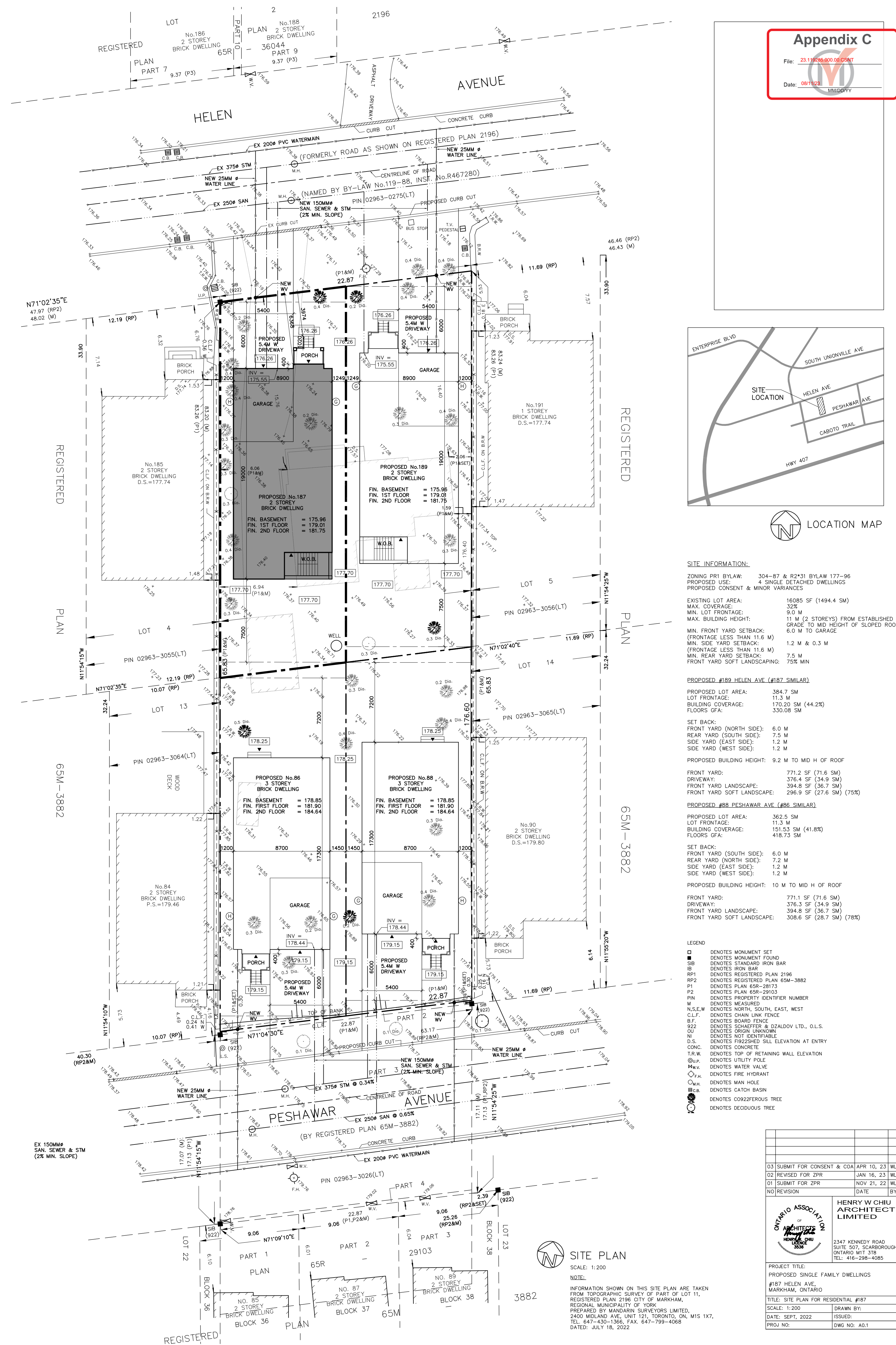
#82 & 84 PESHAWAR AVE HOUSES



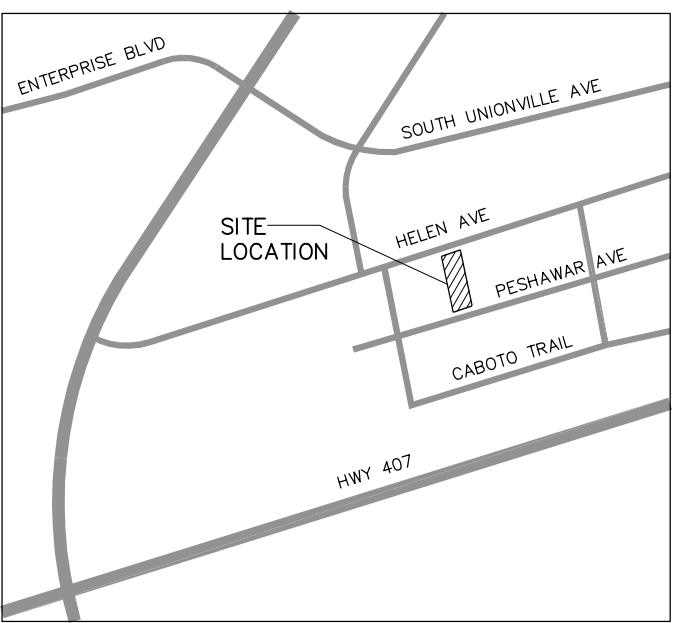
#90 & 92 PESHAWAR AVE HOUSES



CONTEXT PLAN



Appendix C
File: 231106600100201
Date: 09/12/22



LOCATION MAP

SITE INFORMATION:
ZONING PRI BY-LAW: 304-87 & R2*31 BY-LAW 177-96
PROPOSED USE: 4 SINGLE DETACHED DWELLINGS
PROPOSED CONSENT & MINOR VARIANCES

PROPOSED #189 HELEN AVE. (#187 SIMILAR)
PROPOSED LOT AREA: 384.7 SM
LOT FRONTAGE: 113.3 M
BUILDING COVERAGE: 170.23 SM (44.2%)
FLOORS GFA: 330.08 SM

LEGEND
DENOTES MONUMENT SET
DENOTES MONUMENT FOUND
DENOTES STANDARD IRON BAR
DENOTES IRON BAR

PROJECT TITLE: PROPOSED SINGLE FAMILY DWELLINGS
#187 HELEN AVE., MARKHAM, ONTARIO
SCALE: 1:200
DATE: SEPT, 2022
PROJ. NO: 231106600100201

- CONSTRUCTION NOTES**
- REFER TO PURCHASE OR CONTRACT AGREEMENT FOR FINISHING SPECIFICATIONS. ALL DRAWINGS TO BE USED FOR CONSTRUCTION ONLY WHEN SIGNED BY ARCHITECT.
 - CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB SITE AND REPORT ANY DISCREPANCY TO ARCHITECT BEFORE PROCEEDING WITH THE WORK.
 - ALL CONSTRUCTIONS TO CONFORM TO THE REQUIREMENTS OF THE LATEST VERSION OF THE ONTARIO BUILDING CODE (ONTARIO REG. 2012 - 332/12, PART 9, AND ALL OTHER AUTHORITIES HAVING JURISDICTION. DRAWINGS NOT BE SCALED. HANDWRITTEN NOTES WHICH APPEAR ON THE DRAWINGS HAVE PRECEDENCE. MANUFACTURED ITEMS, MATERIALS AND CONSTRUCTION MUST COMPLY WITH ALL REQUIREMENTS OF CANADA BORDERS AND HOUSING CORPORATION (CMHC) AND CANADIAN STANDARD ASSOCIATION (C.S.A.) AND (C.C.M.C.)
- DAMP-PROOFING AT EXTERIOR FOUNDATION WALL BELOW GRADE, WHERE EXTERIOR FINISHED GROUND LEVEL IS 9" A HIGHER ELEVATION THAN THE GROUND LEVEL INSIDE 250MM (10") POURED CONCRETE FOUNDATION WALL ON CONCRETE FOOTINGS. CONCRETE FOR WALLS TO BE 20 MPa (2900 PSI) AT 28 DAYS, PROVIDE EXTERIOR DRAINAGE CHANNELING AS DETAIL.
 - 600MM (24") WIDE x 250MM (10") DEEP CONTINUOUS KEYED CONCRETE FOOTING OR SIZED AS PER SOL REPORT. FOOTING SHALL REST ON NATURAL UNDISTURBED SOIL AND MUST BE 120MM (4-7/8") MIN. BELOW GRADE. CONCRETE FOR FOOTINGS SHALL BE 20 MPa (2900 PSI) AT 28 DAYS.
 - WEEPING TILES 100MM (4") DIAMETER WITH 150MM (6") MIN. CRUSHED STONE COVER TOP AND SIDES.
 - BASEMENT FLOOR SLAB 100MM (4") POURED CONCRETE 25 MPa (3600 PSI) @ 28 DAYS ON MIN. 25MM (1") XPS WITH TAPED JOINTS. RSI-0.88 (R5) PER INCH. 125MM (5") CRUSHED STONE.
 - GARAGE SLAB 100MM (4") POURED CONCRETE 32 MPa (4600 PSI) AT 28 DAYS ON MIN. 125 MM (5") CRUSHED STONE. CONCRETE TO HAVE 5 TO 75AIR ENTRAINMENT AT MID DEPTH OF SLAB REINFORCE WITH 150 x 150MM (6"x6") W2.9 W/M. SLABS MIN. 1% TOWARD FRONT.
 - PRECAST CONCRETE SLAB OR STEPS WHERE SHOWN. CONCRETE DOOR SILL TO ALL EXTERIOR DOORS.
 - ADJUSTABLE STEEL PIPE COLUMN 90MM (3-1/2") DIA., 4.7MM (3/16") THICK 150 x 150MM (6"x6") x 9.5MM (3/8") THICK STEEL PLATE WELDED TOP & BOTTOM AND SUPPORTED ON 120 x 120 x 40MM (4"x4"x1-1/2") DEEP REINFORCED CONCRETE FOOTING. W/ 4-15M @ B.E.W. MAX. EXTENSION OF ADJUSTABLE STEM TO BE 17MM (1-1/2").
 - LATERAL SUPPORT OF FOUNDATION WALLS ANCHOR 50 x 50MM (2"x2") SILLPLATE WITH 12.7MM (1/2") DIA. ANCHOR BOLTS SET 100MM (4") INTO CONCRETE AT 2400MM (8'-0") O.C. MAX.
 - BRICK OR STONE WALL CONSTRUCTION - 90MM (4") STONE OR FACE BRICK WITH 10MM (3/8") WEEP HOLES AT 600MM (24") O.C. AT STARTER COURSE TO BE LEFT UNRESTRICTED - BASE FLASHING TO BE CARRIED MIN. 150MM (6") UP BEHIND WALL SHEATHING PAPER. GALV. METAL TIES 25MM (1") x 180MM (7") x 0.76MM (28GA) @ 400MM (16") HORIZONTAL OVERLAP. 12 (1/2") EXTERIOR PLYWOOD SHEATHING ON 38 x 140MM (2" x 6") SPRUCE STUDS AT 400MM (16") O.C. FILLED WITH RSI-3.52 (R22) NON-COMBUSTIBLE BATT INSULATION. VARIOUS ADJUSTABLE STEEL BRACKETS OR DOUBLE PLATES AT TOP, SINGLE PLATE AT BOTTOM. VARIOUS BARRIER ON WARM SIDE. 12.7MM (1/2") GYPSUM BOARD TAPED AND SANDED.
 - WOOD COLUMN 150 x 150 (6" x 6") ON 100 MM (4") HORIZONTAL CONCRETE CURB ON 610 x 610 x 150MM (2" x 2" x 6") DEEP CONCRETE FOOTING. (NOT APPLICABLE)
 - PRE-ENGINEERED ROOF TRUSSES TO BE MAXIMUM 600MM (24") O.C. TRUSS MANUFACTURER TO CHECK AND VERIFY ALL LOADING AND STRESS/STRENGTH COMPLIANT WITH AND ARE IN ACCORDANCE TO LOCAL CONDITIONS AND REQUIREMENTS. TRUSS MANUFACTURER TO NOTIFY ARCHITECT OF ANY DISCREPANCIES THAT MAY AFFECT ROOF LINES AS DRAIN.
 - 89MM (3.5") DIA. STANDARD STEEL PIPE COLUMN 47MM (3/16") THICK WITH 250 x 150 x 9.5MM (10" x 6" x 3/8") THICK WELDED TOP STEEL PIPE PLATE AND 200 x 200 x 15.5MM (8" x 8" x 5/16") WELDED BASE PLATE BOLTED TO TOP OF CONC. FOUNDATION WALL. MECHANICALLY FASTEN STEEL BEAM TO COLUMN. STRIP STEEL COLUMNS TO WOOD STUDS.
 - MAIN STAIR AND BASEMENT STAIRS (SEE PLAN) DIMENSIONS SHOWN ON SECTION GOVERNS.
 - MAXIMUM RISE: 200MM (7-7/8")
MINIMUM RUN: 210MM (8-1/4")
MINIMUM HEAD: 235MM (9-1/4")
MINIMUM HEADROOM: 1950MM (6'-5")
 - WOOD UNRESTRICTED GLASS AREA FOR NATURAL LIGHT REQUIREMENT IS MINIMUM 10% FOR LIVING & DINING ROOM AREA, MINIMUM 5% FOR BEDROOM AREA. (REFER TO WINDOW SCHEDULE)
 - UNRESTRICTED GLASS AREA FOR NATURAL VENTILATION IS MINIMUM 0.28 SM PER 100 SM OF FLOOR AREA.
 - DAMP PROOF UNDERSIDE OF STAIR STRINGER WITH #45 ROLL ROOFING OR 4 MIL POLY.
 - GLASS STAIR RAILING AND HANDRAIL
HANDRAIL MAX. HEIGHT = 965MM (38")
HANDRAIL MIN. HEIGHT = 865MM (34")
 - GUARDS ARE REQUIRED AROUND EVERY ACCESSIBLE SURFACE WHICH IS MORE THAN 600MM ABOVE THE ADJACENT LEVEL.
 - INTERIOR AND EXTERIOR GUARDS MIN. 900MM HIGH.
EXTERIOR GUARDS SHALL BE 100MM HIGH WHERE HEIGHT ABOVE ADJACENT SURFACE EXCEEDS 1800MM.
 - GUARDS SHALL HAVE OPENINGS SMALLER THAN 100MM AND NO MEMBER BETWEEN 140MM AND 900MM THAT WILL FACILITATE CLIMBING.
 - FLOOR CONSTRUCTION - FLOOR FINISH ON 3/4" TONGUE & GROOVE PLYWOOD SUBFLOOR (NAIL & GLUE) ON WOOD JOISTS (SEE PLANS FOR SPACING). ALL JOISTS TO BE BRIDGED WITH 38" x 38" (2" x 2") CROSS BRIDGING OR SOIL BLOCKING AT 2100MM (7') O.C. MAXIMUM.
 - 12.7MM (1/2") INTERIOR GYPSUM BOARD, TAPED AND SANDED CEILING.
 - GASPROOF WALLS AND CEILING (WHERE APPLICABLE) OF GARAGE, ADJACENT TO INTERIOR SPACE. 12.7MM (1/2") GYPSUM BOARD, TAPED RSI-3.87 (R22) INSULATION IN WALLS. RSI-5.46 (R31) CEILING (WHERE APPLICABLE) & 6 MIL AIR VAPOUR BARRIER ON WARM SIDE OF WALLS ONLY. ALL DUCT WORK IN CEILING TO BE INSULATED RSI 21 (R12) AND GAS PROOF.
 - INSTALL CARBON MONOXIDE DETECTORS ADJACENT TO EACH SLEEPING AREA IN THE DWELLING UNIT.
- WOOD LINEL SCHEDULE**
- L1 3-38x184 SPR. (3-2x8) SPR.
 - L2 3-38x184 D.F. (3-2x8) D.F.
 - L3 3-38x235 SPR. (3-2x10) SPR.
 - L4 3-38x235 D.F. (3-2x10) D.F.
 - L5 3-38x286 SPR. (3-2x12) SPR.
 - L6 3-38x286 D.F. (3-2x12) D.F.
- STEEL LINEL SCHEDULE**
- L7 90X90X6.0 STL. (3-1/2"x3-1/2"x1/4") MAX SPAN 1200
 - L8 90X90X8 STL. (3-1/2"x3-1/2"x5/16") MAX SPAN 1500
 - L9 100X90X8 STL. (4"x3-1/2"x5/16") MAX SPAN 1800
 - L10 125X90X8 STL. (5"x3-1/2"x5/16") MAX SPAN 2400
 - L11 125X90X10 STL. (5"x3-1/2"x3/8") MAX SPAN 2700
 - L12 150X10X10 STL. (6"x4"x3/8") MAX SPAN 3000
- GENERAL NOTES**
- ALL FOOTING FORM WORK ELEVATIONS AND SETBACKS ARE TO BE CONFIRMED BY A REGISTERED PROFESSIONAL ENGINEER OR A REGISTERED DRIVING AND SURVEYING PRIOR TO THE POURING OF ANY CONCRETE.
 - PRIOR TO THE SUPERSTRUCTURE WORKS PROCEEDING AND THE RELEASE OF THE COMPLETION STAGE PERMIT, THE OWNER'S CONSULTANT MUST VERIFY ALL DIMENSIONS AND DRAINAGE DETAILS IN CONFORMITY WITH THE GRADING PLAN REVIEWED BY THE CITY.
 - ALL RAINWATER LEADERS SHALL DISCHARGE ONTO SPLASH PADS AT GROUND LEVEL AT THE LOCATIONS INDICATED ON THIS PLAN.
 - EXISTING LEADERS ALONG THE SITE PERIMETER SHALL REMAIN UNRESTRICTED. DRAINAGE FROM ADJACENT PROPERTIES SHALL BE COLLECTED AND DRAINAGE PIPES SHALL BE INSTALLED IN CONFORMITY WITH ANY NECESSARY NOTICES.
 - NO TREES ARE TO BE REMOVED WITHOUT PRIOR RECEIPT OF WRITTEN CONSENT FROM THE TOWN ARBORIST.
 - THE APPLICANT SHALL CONTACT THE OPERATIONS SECTION OF THE ENGINEERING & PUBLIC WORKS DEPARTMENT AND MAKE ALL ARRANGEMENTS NECESSARY FOR DRIVEWAY ACCESS AND SITE SERVICE CONNECTIONS.
 - ALL YARD AREAS SHALL RECEIVE A MINIMUM OF 100MM OF TOPSOIL PLUS 500.
 - THE APPLICANT SHALL CONTACT THE CITY'S BUILDING SERVICES DIVISION A MINIMUM OF 48 HRS. IN ADVANCE OF CONSTRUCTION OF ANY RETAINING WALL BELIEVED TO BE A "DESIGNATED STRUCTURE" IN ORDER TO ARRANGE FOR ANY NECESSARY NOTICES.
 - EXISTING SEWERS AND WATERMANS SHOWN ON THIS PLAN TO BE FILED VERTICALLY AS TO LOCATION AND ANNOTATIONS. ALL EXISTING SEWERS AND WATERMANS TO BE EXTENDED TO COSE 19-07-20M "SEALING COMPOUND W/ODOR RESISTANT" FOR TUBS AND TILT.
 - HYDRO METERS AND GAS METERS SHALL REQUIRE TO LOCATE ON SITE CONDITIONS AND COORDINATED BY CONTRACTORS.
- TREE PROTECTION BARRIERS**
- TREE PROTECTION BARRIERS MUST BE 2.4 M (8 FT) HIGH, PLYWOOD CLAD HOARDING OR AN EQUIVALENT APPROVED BY URBAN FORESTRY SERVICES.
 - TREE PROTECTION BARRIERS FOR TREES SITUATED ON THE CITY ROAD ALLOWANCE WHERE VISIBILITY MUST BE MAINTAINED CAN BE 1.2 M (4 FT) HIGH AND CONSIST OF ORANGE PLASTIC WEB SNOW FENCING ON A WOOD FRAME MADE OF 2"x4"s.
 - WHERE SOME EXCAVATE OR FILL HAS TO BE TEMPORARILY LOCATED NEAR A TREE PROTECTION BARRIER, PLYWOOD MUST BE USED TO ENSURE NO MATERIAL ENTERS THE TREE PROTECTION ZONE.
 - ALL SUPPORTS AND BRACING SHOULD BE OUTSIDE THE TREE PROTECTION ZONE. ALL SUCH SUPPORTS SHOULD MINIMIZE DAMAGING ROOTS OUTSIDE THE TREE PROTECTION ZONE.
 - NO CONSTRUCTION ACTIVITY, GRADE CHANGES, SURFACE TREATMENT OR EXCAVATIONS OF ANY KIND IS PERMITTED WITHIN THE TREE PROTECTION ZONE.
- 1 TREE PROTECTION BARRIER**



#193 & 191 HELEN AVE HOUSES



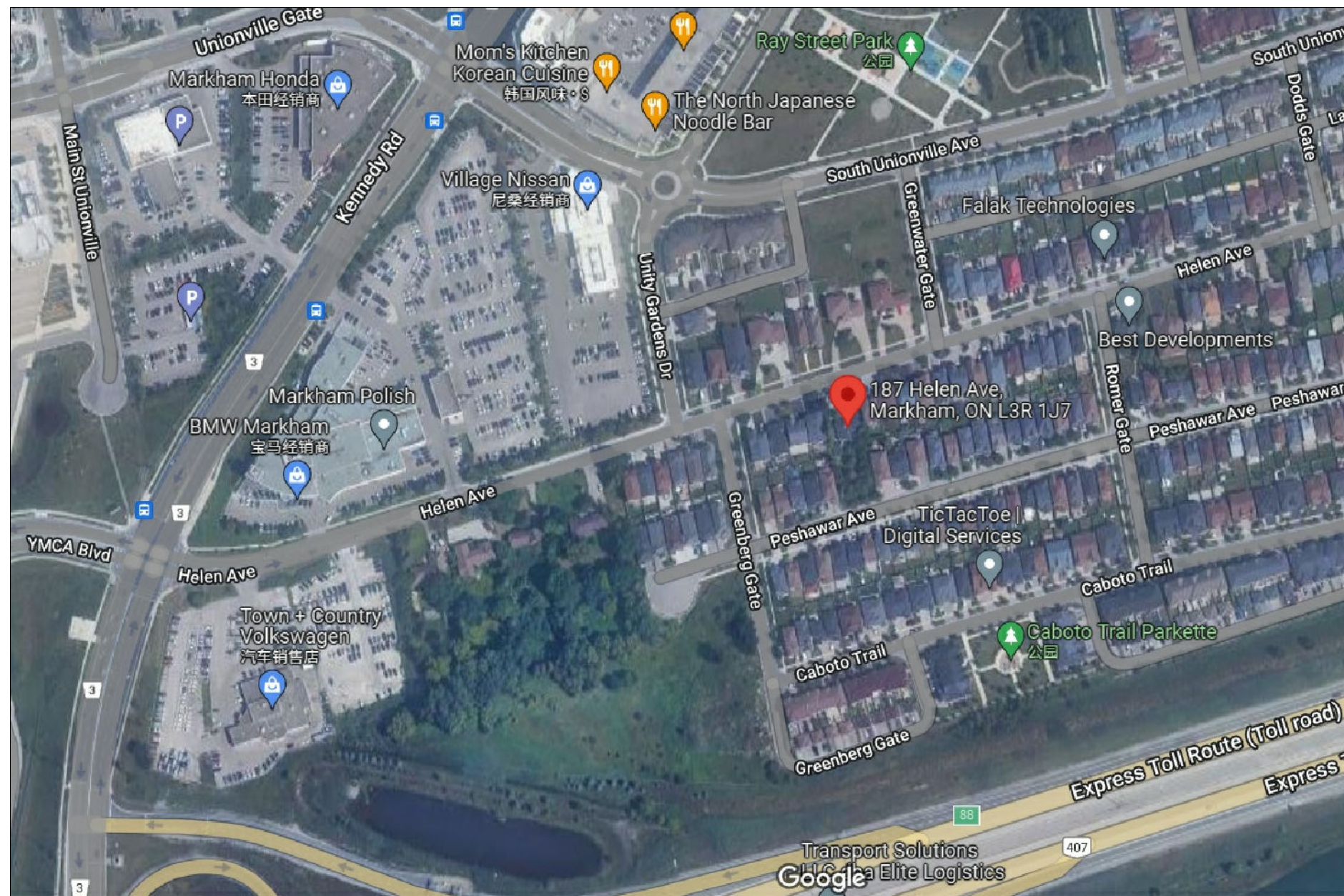
#185 & 183 HELEN AVE HOUSES



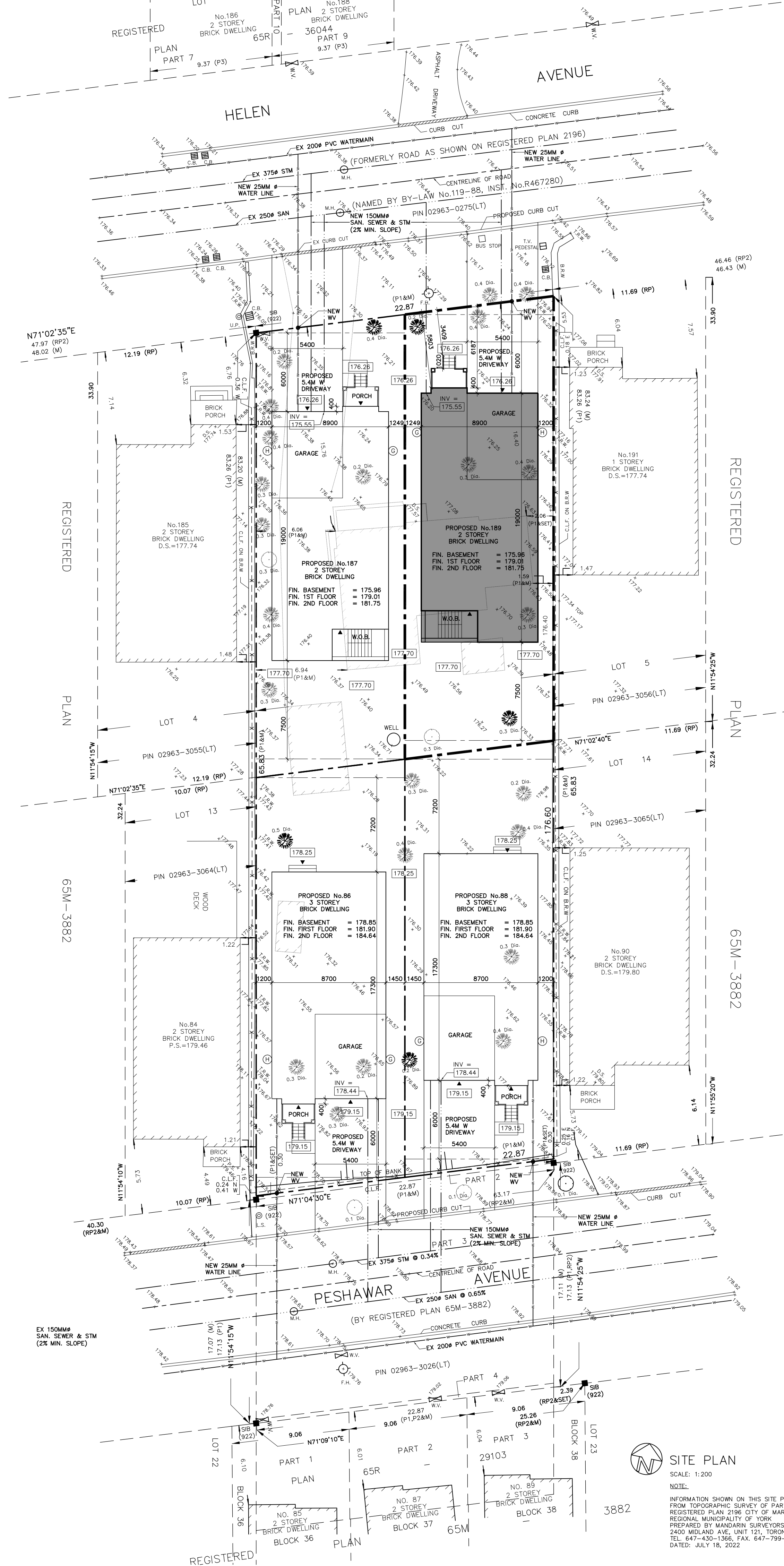
#82 & 84 PESHAWAR AVE HOUSES



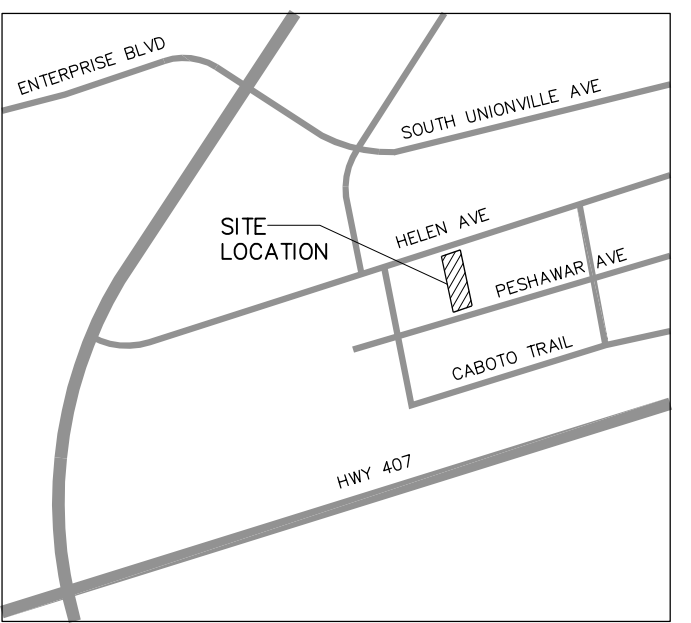
#90 & 92 PESHAWAR AVE HOUSES



CONTEXT PLAN



Appendix D
 File: 23110686000.DESIGN
 Date: 09/12/22



LOCATION MAP

SITE INFORMATION:
 ZONING BY-LAW: 304-87 & R2-31 BY-LAW 177-96
 PROPOSED USE: SINGLE DETACHED DWELLINGS
 PROPOSED CONSENT & MINOR VARIANCES

EXISTING LOT AREA: 16085 SF (1494.4 SM)
 MAX. COVERAGE: 32%
 MIN. LOT FRONTAGE: 9.0 M
 MAX. BUILDING HEIGHT: 11.1 M (2 STOREYS) FROM ESTABLISHED GRADE TO MID HEIGHT OF SLOPED ROOF
 6.0 M TO GARAGE
 MIN. FRONT YARD SETBACK: 1.2 M & 0.3 M (FRONTAGE LESS THAN 11.6 M)
 MIN. REAR YARD SETBACK: 7.5 M
 FRONT YARD SOFT LANDSCAPING: 75% MIN

PROPOSED #189 HELEN AVE (#187 SIMILAR)
 PROPOSED LOT AREA: 384.7 SM
 LOT FRONTAGE: 11.3 M
 BUILDING COVERAGE: 170.20 SM (44.2%)
 FLOORS GFA: 330.08 SM

SET BACK:
 FRONT YARD (NORTH SIDE): 6.0 M
 REAR YARD (NORTH SIDE): 7.2 M
 SIDE YARD (EAST SIDE): 1.2 M
 SIDE YARD (WEST SIDE): 1.2 M

PROPOSED BUILDING HEIGHT: 9.2 M TO MID H OF ROOF
 FRONT YARD: 771.2 SF (71.6 SM)
 DRIVEWAY: 376.4 SF (34.9 SM)
 FRONT YARD LANDSCAPE: 394.8 SF (36.7 SM)
 FRONT YARD SOFT LANDSCAPE: 296.9 SF (27.6 SM) (75%)

PROPOSED #88 PESHAWAR AVE (#86 SIMILAR)
 PROPOSED LOT AREA: 362.5 SM
 LOT FRONTAGE: 11.3 M
 BUILDING COVERAGE: 151.53 SM (41.8%)
 FLOORS GFA: 418.73 SM

SET BACK:
 FRONT YARD (SOUTH SIDE): 6.0 M
 REAR YARD (NORTH SIDE): 7.2 M
 SIDE YARD (EAST SIDE): 1.2 M
 SIDE YARD (WEST SIDE): 1.2 M

PROPOSED BUILDING HEIGHT: 10.1 M TO MID H OF ROOF
 FRONT YARD: 771.1 SF (71.6 SM)
 DRIVEWAY: 376.3 SF (34.9 SM)
 FRONT YARD LANDSCAPE: 394.8 SF (36.7 SM)
 FRONT YARD SOFT LANDSCAPE: 308.6 SF (28.7 SM) (78%)

LEGEND

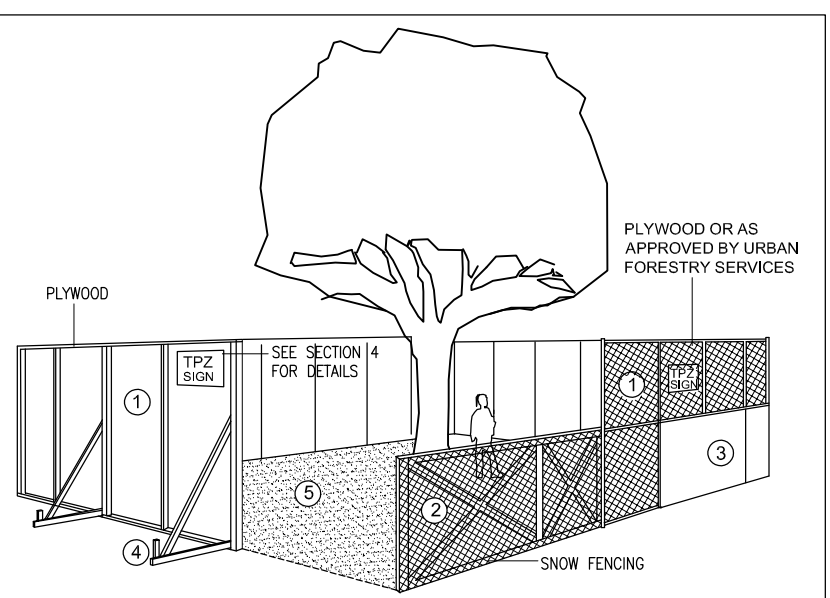
- DENOTES MONUMENT SET
- DENOTES MONUMENT FOUND
- DENOTES STANDARD IRON BAR
- DENOTES IRON BAR
- RP1 DENOTES REGISTERED PLAN 2196
- RP2 DENOTES REGISTERED PLAN 65M-3882
- P1 DENOTES PLAN 65M-2873
- P2 DENOTES PLAN 65M-2903
- PIN DENOTES PROPERTY IDENTIFIER NUMBER
- N DENOTES NORTH, SOUTH, EAST, WEST
- N.S.E.W DENOTES NORTH, SOUTH, EAST, WEST
- C.L.F. DENOTES CHAIN LINK FENCE
- B.F. DENOTES BRONZE FENCE
- DENOTES SCHAEFFER & SZADLOW LTD., O.L.S.
- DENOTES BRUSH UNIFORM
- DENOTES NOT IDENTIFIABLE
- DENOTES FROZZERED SOIL ELEVATION AT ENTRY
- DENOTES CONCRETE
- DENOTES TOP OF RETAINING WALL ELEVATION
- DENOTES UTILITY POLE
- DENOTES WATER VALVE
- DENOTES HYDRANT
- DENOTES MAN HOLE
- DENOTES CATCH BASIN
- DENOTES DECIDUOUS TREE
- DENOTES CONIFEROUS TREE

CONSTRUCTION NOTES

- REFER TO PURCHASE OR CONTRACT AGREEMENT FOR FINISHING SPECIFICATIONS. ALL DRAWINGS TO BE USED FOR CONSTRUCTION ONLY WHEN SIGNED BY ARCHITECT.
- CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB SITE AND REPORT ANY DISCREPANCY TO ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- ALL CONSTRUCTIONS TO CONFORM TO THE REQUIREMENTS OF THE LATEST VERSION OF THE ONTARIO BUILDING CODE (ONTARIO REG. 2012 - 332/12, PART 9, AND ALL OTHER AUTHORITIES HAVING JURISDICTION. DRAWINGS MUST NOT BE SCALED. HANDWRITTEN NOTES WHICH APPEAR ON THE DRAWINGS HAVE PRECEDENCE. MANUFACTURED ITEMS, MATERIALS AND CONSTRUCTION MUST COMPLY WITH ALL REQUIREMENTS OF CANADA WORKFORCE AND HOUSING CORPORATION (CMHC) AND CANADIAN STANDARD ASSOCIATION (C.S.A.) AND (C.C.M.C.)
- DAMP-PROOFING AT EXTERIOR FOUNDATION WALL BELOW GRADE, WHERE EXTERIOR FINISHED GROUND LEVEL IS 9" A HIGHER ELEVATION THAN THE GROUND LEVEL INSIDE 250MM (10") POURED CONCRETE FOUNDATION WALL ON CONCRETE FOOTINGS. CONCRETE FOR WALLS TO BE 20 MPa (2900 PSI) AT 28 DAYS, PROVIDE EXTERIOR DRAINAGE CHANNELING AS REQUIRED.
- 600MM (24") WIDE x 250MM (10") DEEP CONTINUOUS KEYED CONCRETE FOOTING OR SIZED AS PER SOL REPORT. FOOTING SHALL REST ON NATURAL UNDISTURBED SOIL AND MUST BE 1200MM (4'-0") MIN. BELOW GRADE. CONCRETE FOR FOOTINGS SHALL BE 20 MPa (2900 PSI) AT 28 DAYS.
- WEEPING TILES 100MM (4") DIAMETER WITH 150MM (6") MIN. CRUSHED STONE COVER TOP AND SIDES.
- BASEMENT FLOOR SLAB 100MM (4") POURED CONCRETE 25 MPa (3600 PSI) @ 28 DAYS ON MIN. 25MM (1") XPS WITH TAPED JOINTS. RSI-0.88 (RS) PER INCH. 120MM (5") CRUSHED STONE.
- GARAGE SLAB 100MM (4") POURED CONCRETE 32 MPa (4600 PSI) AT 28 DAYS ON MIN. 125 MM (5") CRUSHED STONE. CONCRETE TO HAVE 5 TO 75MM ENTRAPMENT AT MID DEPTH OF SLAB REINFORCE WITH 150 x 150MM (6"x6") W2.9 W.W. SLABS MIN. 1% TOWARD FRONT.
- PRECAST CONCRETE SLAB OR STEPS WHERE SHOWN. CONCRETE DOOR SILL TO ALL EXTERIOR DOORS.
- ADJUSTABLE STEEL PIPE COLUMN 90MM (3-1/2") DIA., 4.7MM (3/16") THICK 150 x 150MM (6"x6") x 9.5MM (3/8") THICK STEEL PLATE WELDED TOP & BOTTOM AND SUPPORTED ON 120 x 120 x 400MM (4"x4"x16") DEEP FLOOR CONCRETE FOOTING. W/ 4-15M @ B.E.W. MAX. EXTENSION OF ADJUSTABLE STEM TO BE 17MM (1-1/2").
- LATERAL SUPPORT OF FOUNDATION WALLS ANCHOR 50 x 50MM (2"x2") SILLPLATE WITH 12.7MM (1/2") DIA. ANCHOR BOLTS SET 100MM (4") INTO CONCRETE AT 2400MM (8'-0") O.C. MAX.
- BRICK OR STONE WALL CONSTRUCTION - 90MM (4") STONE OR FACE BRICK WITH 10MM (3/8") WEEP HOLES AT 600MM (24") O.C. AT STARTER COURSE TO BE LEFT UNOBSERVED - BASE FLASHING TO BE CARRIED MIN. 150MM (6") UP BEHIND WALL SHEATHING PAPER. GALV. METAL TIES 25MM (1") x 180MM (7") x 0.76MM (28GA) @ 400MM (16") HORIZONTAL OVERLAP. 12 (1/2") EXTERIOR PLYWOOD SHEATHING ON 38 x 140MM (2" x 6") SPRUCE STUDS AT 400MM (16") O.C. FILLED WITH RSI-3.52 (R22) NON-COMBUSTIBLE BATT INSULATION. VARIOUS VENT SPACE ABOVE RSI-10.56 (R60) INSULATION. ROOF SHEATHING EDGES SUPPORTED WITH "T"-CLIPS. (NOT APPLICABLE)
- INTERIOR WASHROOM (NO WINDOWS TO THE OUTSIDE) TO BE MECHANICALLY VENTED TO THE OUTSIDE TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR.
- ROOF CONSTRUCTION P.T. WOOD DECKING W/ 1/4" CAPS ON 2"x4" SLEEPERS 2 PLY TILED ROOFING, 3/4" PLYWOOD SHEATHING ON ROOF JOISTS (SEE PLANS)
- THE "S" ROLLED ROOFING (SMOOTH SURFACE) LEAVES PROTECTED TO EXTEND MIN. OF 50MM (1/2") FROM INNER FACE OF EXTERIOR WALL AND MIN. 90MM (3"-0") UP THE ROOF SLOPE.
- ROOF VENTILATION FOR TYPICAL ROOF - 1:1500 OF INSULATED CEILING AREA WITH 50% AT EAVES. FOR CATHEDRAL ROOF - 1:1500 OF INSULATED CEILING AREA WITH 50% AT EAVES.
- FASCIA AND SOFFIT TO BE ALUMINUM. SOFFIT TO HAVE INTEGRAL VENTS TO CONFORM TO NOTE #26.
- ALUMINUM EAVES THROUGH AND RAINWATER LEADER CONNECT TO STOMP PIPE OR CONCRETE SPLASH PAD.
- TOP OF CHIMNEY TO MAX. 915MM (36") HIGH AND 610MM (24") MIN. ABOVE ANY ROOF SURFACE WITHIN 300MM (12"-0") HORIZONTALLY.
- EXISTING BOUNDARY ELEVATIONS ALONG THE SITE PERIMETER SHALL REMAIN UNOBSERVED. DRAINAGE REQUIRED FROM ADJACENT PROPERTIES SHALL BE MAINTAINED AND DRAINAGE FROM THE SUBJECT LANDS SHALL BE SELF CONTAINED.
- NO TREES ARE TO BE REMOVED WITHOUT PRIOR RECEIPT OF WRITTEN CONSENT FROM THE TOWN ARBORIST.
- THE APPLICANT SHALL CONTACT THE OPERATIONS SECTION OF THE ENGINEERING & PUBLIC WORKS DEPARTMENT AND MAKE ALL ARRANGEMENTS NECESSARY FOR DRIVEWAY ACCESS AND SITE SERVICE CONNECTIONS.
- ALL YARD AREAS SHALL RECEIVE A MINIMUM OF 100MM OF TOPSOIL PLUS 500.
- THE APPLICANT SHALL CONTACT THE CITY'S BUILDING SERVICES DIVISION A MINIMUM OF 48 HRS. IN ADVANCE OF CONSTRUCTION OF ANY RETAINING WALL DESIGNED TO BE A "DESIGNATED STRUCTURE" IN ORDER TO ARRANGE FOR ANY NECESSARY INSPECTIONS.
- EXISTING METERS AND WATERMANS SHOWN ON THIS PLAN TO BE FILED VENTED AS TO LOCATION AND ANNOTATIONS. ALL Meters SHALL REQUIRE TO LOCATE ON SITE CONDITIONS AND COORDINATED BY CONTRACTORS.
- WOOD FRAMING MEMBERS TO BE DAMP PROOFED WITH 4 MIL POLY OR #45 ROLL ROOFING IF LESS THAN 150MM (6") ABOVE GROUND, OR CONCRETE IN CONTACT WITH GROUND, EXCEPT WHEN SUCH WOOD ARE PRESSURE TREATED.
- WET WALL PROTECTION, CERAMICS AND PLASTIC TO BE INSTALLED ON WALL AROUND BATHUBS AND SHOWERS SHALL BE APPLIED OVER MOISTURE RESISTANT BACKING JOINTS BETWEEN WALL TILES AND BATHUB SHALL BE CAULKED WITH MATERIAL CONFORMING TO CODE 19-01-200 "SEALING COMPOUND W/ADHESIVE RESISTANT FOR TUBS AND TILE".
- STEEL BEAM SUPPORT, 19 x 89MM (1" x 3 1/2") TO BE FIXED ON BOTH SIDES OF STEEL BEAM.
- CERAMIC FLOOR TILES ON 25MM (1-1/2") MORTAR BASE REINFORCED WITH WIRE ON 15.9MM (#18) SUBFLOOR - ALL EDGES SUPPORTED BY MIN. 38 x 38MM (2" x 2") BLOCKING.

- MAIN STAIR AND BASEMENT STAIRS (SEE PLAN) DIMENSIONS SHOWN ON SECTION GOVERNS.
- MAXIMUM RISE: 200MM (7-7/8")
 MINIMUM RUN: 210MM (8-1/4")
 MINIMUM HEAD: 235MM (9-1/4")
 MINIMUM HEADROOM: 1950MM (6'-5")
- WOOD UNOBSERVED GLASS AREA FOR NATURAL LIGHT REQUIREMENT IS MINIMUM 10% FOR LIVING & DINING ROOM AREA, MINIMUM 5% FOR BEDROOM AREA. (REFER TO WINDOW SCHEDULE)
- UNOBSERVED GLASS AREA FOR NATURAL VENTILATION IS MINIMUM 0.28 SM
- DAMP PROOF UNDERSIDE OF STAIR STRINGER WITH #45 ROLL ROOFING OR 4 MIL POLY.
- GLASS STAIR RAILING AND HANDRAIL
- HANDRAIL MAX. HEIGHT = 965MM (38")
 HANDRAIL MIN. HEIGHT = 865MM (34")
- GUARDS ARE REQUIRED AROUND EVERY ACCESSIBLE SURFACE WHICH IS MORE THAN 600MM ABOVE THE ADJACENT LEVEL.
- INTERIOR AND EXTERIOR GUARDS MIN. 900MM HIGH
- EXTERIOR GUARDS SHALL BE 1070MM HIGH WHERE HEIGHT ABOVE ADJACENT SURFACE EXCEEDS 1800MM.
- GUARDS SHALL HAVE OPENINGS SMALLER THAN 100MM AND NO MEMBER BETWEEN 140MM AND 900MM THAT WILL FACILITATE CLIMBING.
- FLOOR CONSTRUCTION - FLOOR FINISH ON 3/4" TONGUE & GROOVE PLYWOOD SUBFLOOR (NAIL & GLUE) ON WOOD JOISTS (SEE PLANS FOR SPACING), ALL JOISTS TO BE BRIDGED WITH 38" x 38" (2" x 2") CROSS BRIDGING OR SOIL BLOCKING AT 2100MM (7') O.C. MAXIMUM.
- 12.7MM (1/2") INTERIOR GYPSUM BOARD, TAPED AND SANDED CEILING.
- FOUNDATION WALL INSULATION RSI-2.11+1.76@ (R12 + 10x) BATT INSULATION BETWEEN 38 x 89MM (2"x4") STUD WALL. PROVIDE BLDG. PAPER AND 6 MIL POLY VAPOR BARRIER. EXTERIOR INSULATION TO FULL HEIGHT OF FOUNDATION WALL.
- WOOD LINEEL SCHEDULE
 L1 3-38x184 SPR. (3-2x8) SPR.
 L2 3-38x184 D.F. (3-2x8) D.F.
 L3 3-28x235 SPR. (3-2X10) SPR.
 L4 3-38x235 D.F. (3-2X10) D.F.
 L5 3-38x286 SPR. (3-2X12) SPR.
 L6 3-38x286 D.F. (3-2X12) D.F.
- STEEL LINEEL SCHEDULE
 L7 80X90X0.6 STL. (3-1/2"x3-1/2"x1/4") MAX SPAN 1200
 L8 80X90X0.8 STL. (3-1/2"x3-1/2"x5/16") MAX SPAN 1500
 L9 100X90X8 STL. (4"x3-1/2"x5/16") MAX SPAN 1800
 L10 125X90X8 STL. (5"x3-1/2"x5/16") MAX SPAN 2400
 L11 125X90X10 STL. (5"x3-1/2"x3/8") MAX SPAN 2700
 L12 150X10X10 STL. (6"x4"x3/8") MAX SPAN 3000

- SKYLIGHT, CURB-MOUNTED DOUBLE-GLAZED SKYLIGHT BY VELUX OR APPROVED EQUAL PROVIDE INSIDE CURB DIMENSIONS AS INDICATED ON DWG. COORDINATE W/ MANUFACTURER. INSTALL AS PER MANUFACTURER'S GUIDE DOUBLE FRAME SURROUNDING SKYLIGHT.
- ACCESS TO ROOF ATTC TO MIN. 500 x 700MM (18 3/4" x 28") INSULATED AND WEATHERSTRIP
- INSTALL AT LEAST ONE INTERCONNECTED SMOKE ALARM ON EACH FLOOR AND EACH BEDROOM. PERMANENT CONNECTIONS TO ELECTRICAL CIRCUIT WITHOUT DISCONNECT SWITCHER.
- ROOF INSULATION RSI-10.56 (R60) NON-COMBUSTIBLE INSULATION WITH 6 MIL POLY AIR VAPOR BARRIER (WARM SIDE) 12.7MM (1/2") INTERIOR GYPSUM BOARD TAPED AND SANDED.
- GASPROOF WALLS AND CEILING (WHERE APPLICABLE) OF GARAGE, ADJACENT TO INTERIOR SPACE 12.7MM (1/2") GYPSUM BOARD, TAPED RSI-3.87 (R22) INSULATION IN WALLS. RSI-5.46 (R31) CEILING (WHERE APPLICABLE) 6 MIL AIR VAPOR BARRIER ON WARM SIDE OF WALLS ONLY. ALL DUCT WORK IN CEILING TO BE INSULATED RSI 21 (R12) AND GAS PROOF.
- 12.7MM (1/2") INTERIOR GYPSUM BOARD BOTH SIDES OF 38 x 140MM (2" x 6") STUDS AT 400MM (16") O.C.
- INSTALL CARBON MONOXIDE DETECTORS ADJACENT TO EACH SLEEPING AREA IN THE DWELLING UNIT.



- TREE PROTECTION BARRIERS**
- TREE PROTECTION BARRIERS MUST BE 2.4 M (8 FT) HIGH, PLYWOOD CLAD HOARDING OR AN EQUIVALENT APPROVED BY URBAN FORESTRY SERVICES.
 - TREE PROTECTION BARRIERS FOR TREES SITUATED ON THE CITY ROAD ALLOWANCE WHERE VISIBILITY MUST BE MAINTAINED CAN BE 1.2 M (4 FT) HIGH AND CONSIST OF CHANGE PLASTIC WEB SNOW FENCING ON A WOOD FRAME MADE OF 2"x4" S.
 - WHERE SOME EXCAVATE OR FILL HAS TO BE TEMPORARILY LOCATED NEAR A TREE PROTECTION BARRIER, PLYWOOD MUST BE USED TO ENSURE NO MATERIAL ENTERS THE TREE PROTECTION ZONE.
 - ALL SUPPORTS AND BRACING SHOULD BE OUTSIDE THE TREE PROTECTION ZONE. ALL SUCH SUPPORTS SHOULD MINIMIZE DAMAGING ROOTS OUTSIDE THE TREE PROTECTION ZONE.
 - NO CONSTRUCTION ACTIVITY, GRADE CHANGES, SURFACE TREATMENT OR EXCAVATIONS OF ANY KIND IS PERMITTED WITHIN THE TREE PROTECTION ZONE.
- 1 TREE PROTECTION BARRIER**

PROJECT TITLE: PROPOSED SINGLE FAMILY DWELLINGS #189 HELEN AVE, MARKHAM, ONTARIO
 SCALE: 1:200
 DATE: SEPT, 2022
 PROJ. NO: 23110686000

INFORMATION SHOWN ON THIS SITE PLAN ARE TAKEN FROM TOPOGRAPHIC SURVEY OF PART OF LOT 11, REGISTERED PLAN 2196 CITY OF MARKHAM, REGIONAL MUNICIPALITY OF YORK.
 PREPARED BY: MANDARIN SURVEYORS LIMITED, 2400 MIDLAND AVE. UNIT 12, TORONTO, ON, M5S 1X7, TEL: 647-430-1366, FAX: 647-799-4068
 DATE: JULY 18, 2022

HENRY W. CHIU ARCHITECT LIMITED
 2347 KENNEDY ROAD SUITE 507, SCARBOROUGH ONTARIO M1T 3T8
 TEL: 416-298-6085



LEFT ELEVATION (EAST SIDE)




FRONT ELEVATION (NORTH SIDE)
 #189 HELEN AVE ELEVATION B

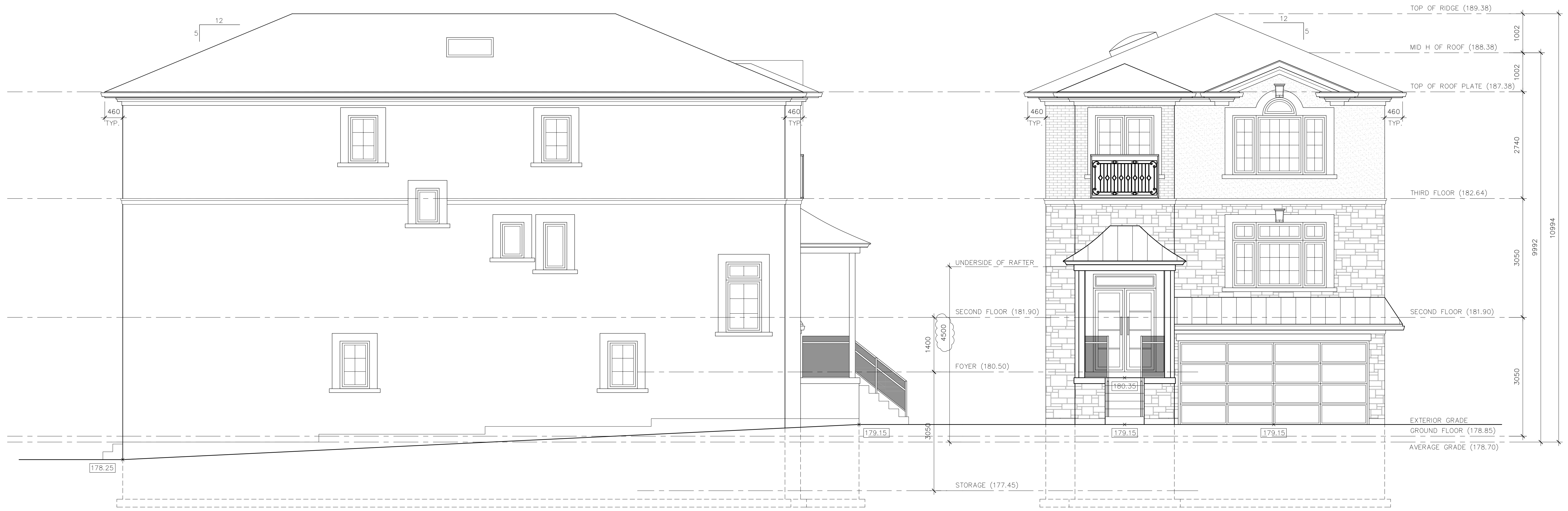


RIGHT ELEVATION (WEST SIDE)



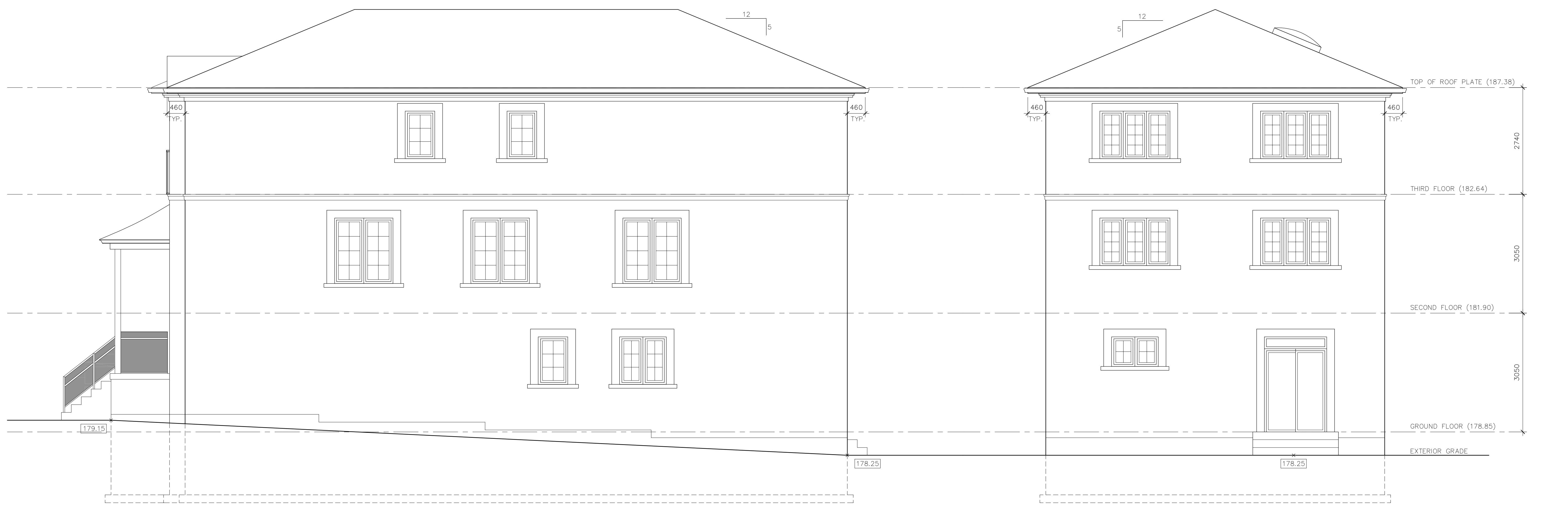
REAR ELEVATION (SOUTH SIDE)

| | |
|---|---------------|
| 03 SUBMIT FOR CONSENT & COA APR 10, 23 ML | |
| 02 REVISED FOR ZPR | JAN 16, 23 ML |
| 01 SUBMIT FOR ZPR | NOV 21, 22 ML |
| NO REVISION | DATE BY |
|  | |
| HENRY W CHIU ARCHITECT LIMITED | |
| 2347 KENNEDY ROAD SUITE 507, SCARBOROUGH ONTARIO M1T 3T8 TEL: 416-298-4085 | |
| PROJECT TITLE: PROPOSED SINGLE FAMILY DWELLING | |
| TITLE: ELEVATIONS FOR RESIDENTIAL #189 | |
| SCALE: 1:50 | DRAWN BY: |
| DATE: SEPT, 2022 | ISSUED: |
| PROJ NO: | DWG NO: A2 |



LEFT ELEVATION (WEST SIDE)

FRONT ELEVATION (SOUTH SIDE)
 #86 PESHAWAR AVE ELEVATION B



RIGHT ELEVATION (EAST SIDE)

REAR ELEVATION (NORTH SIDE)

| | | | |
|----|--------------------------|------------|----|
| 03 | SUBMIT FOR CONSENT & CDA | APR 10, 23 | ML |
| 02 | REVISED FOR ZPR | JAN 16, 23 | ML |
| 01 | SUBMIT FOR ZPR | NOV 21, 22 | ML |
| NO | REVISION | DATE | BY |

HENRY W CHIU ARCHITECT LIMITED
 2347 KENNEDY ROAD
 SUITE 507, SCARBOROUGH
 ONTARIO M1T 3T8
 TEL: 416-298-4085

PROJECT TITLE:
 PROPOSED SINGLE FAMILY DWELLING
 #86 PESHAWAR AVE,
 MARKHAM, ONTARIO
 TITLE: ELEVATIONS FOR RESIDENTIAL #86
 SCALE: 1:50
 DATE: SEPT, 2022
 PROJ. NO.



#193 & 191 HELEN AVE HOUSES



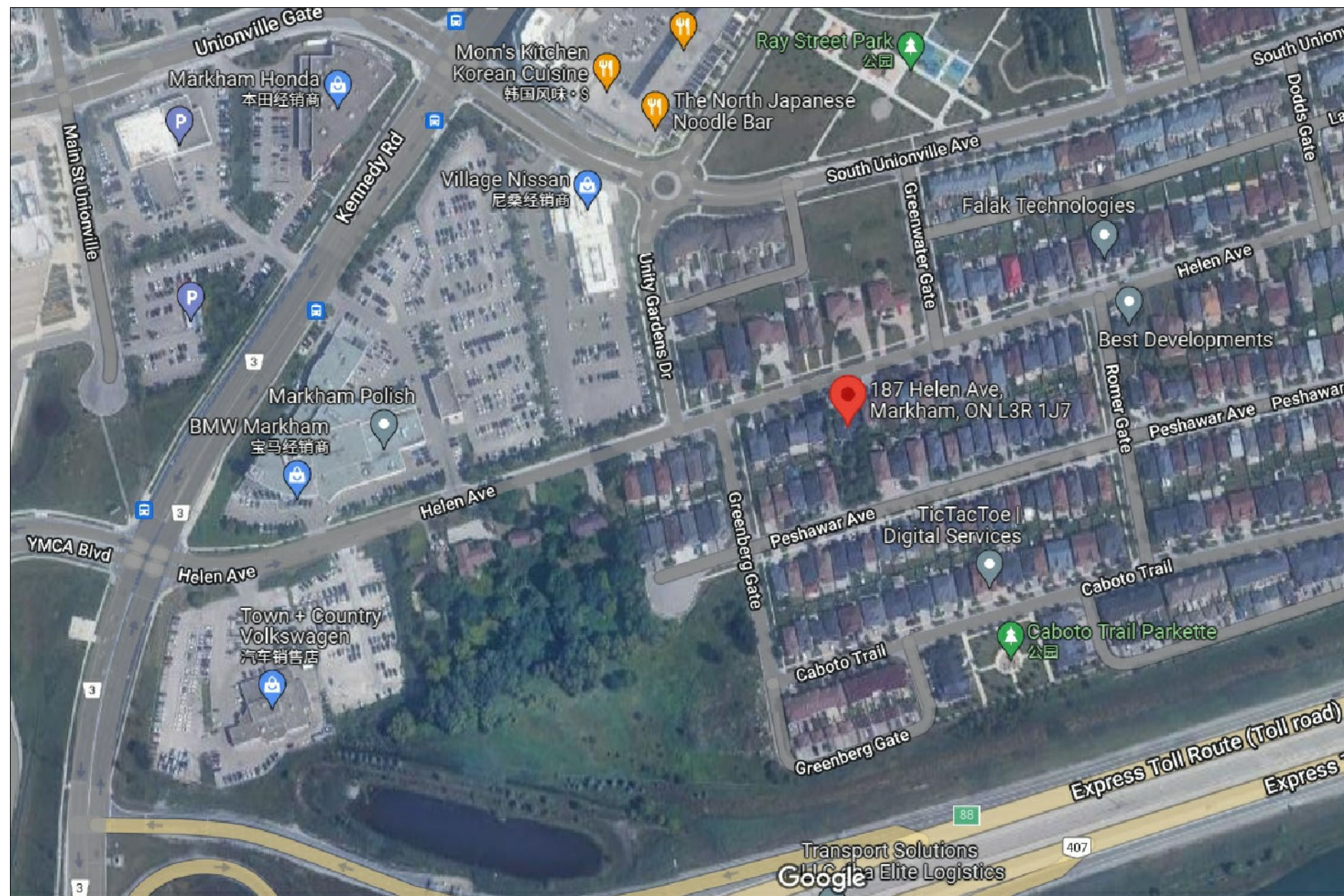
#185 & 183 HELEN AVE HOUSES



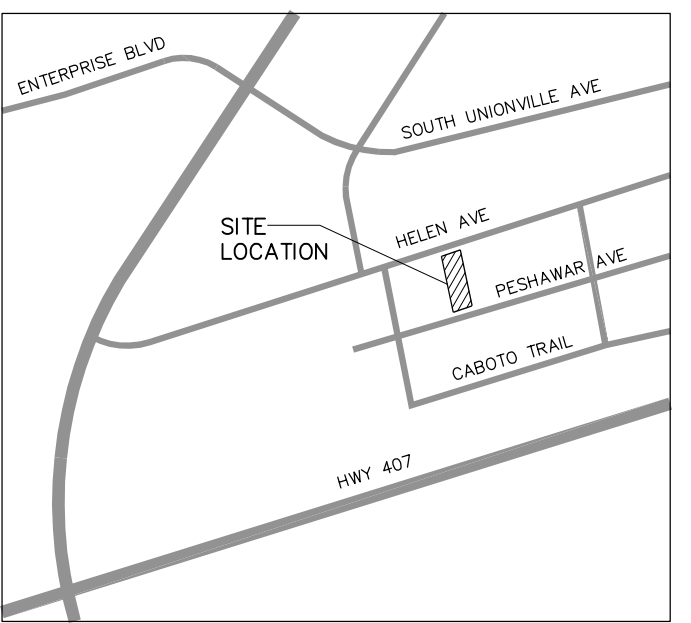
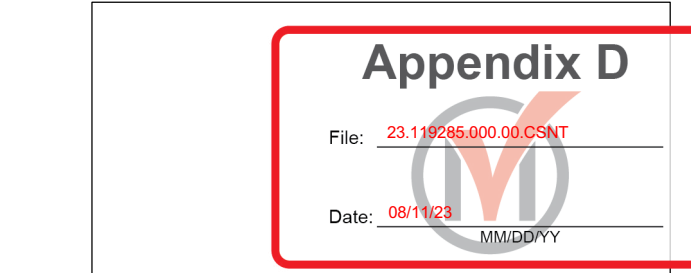
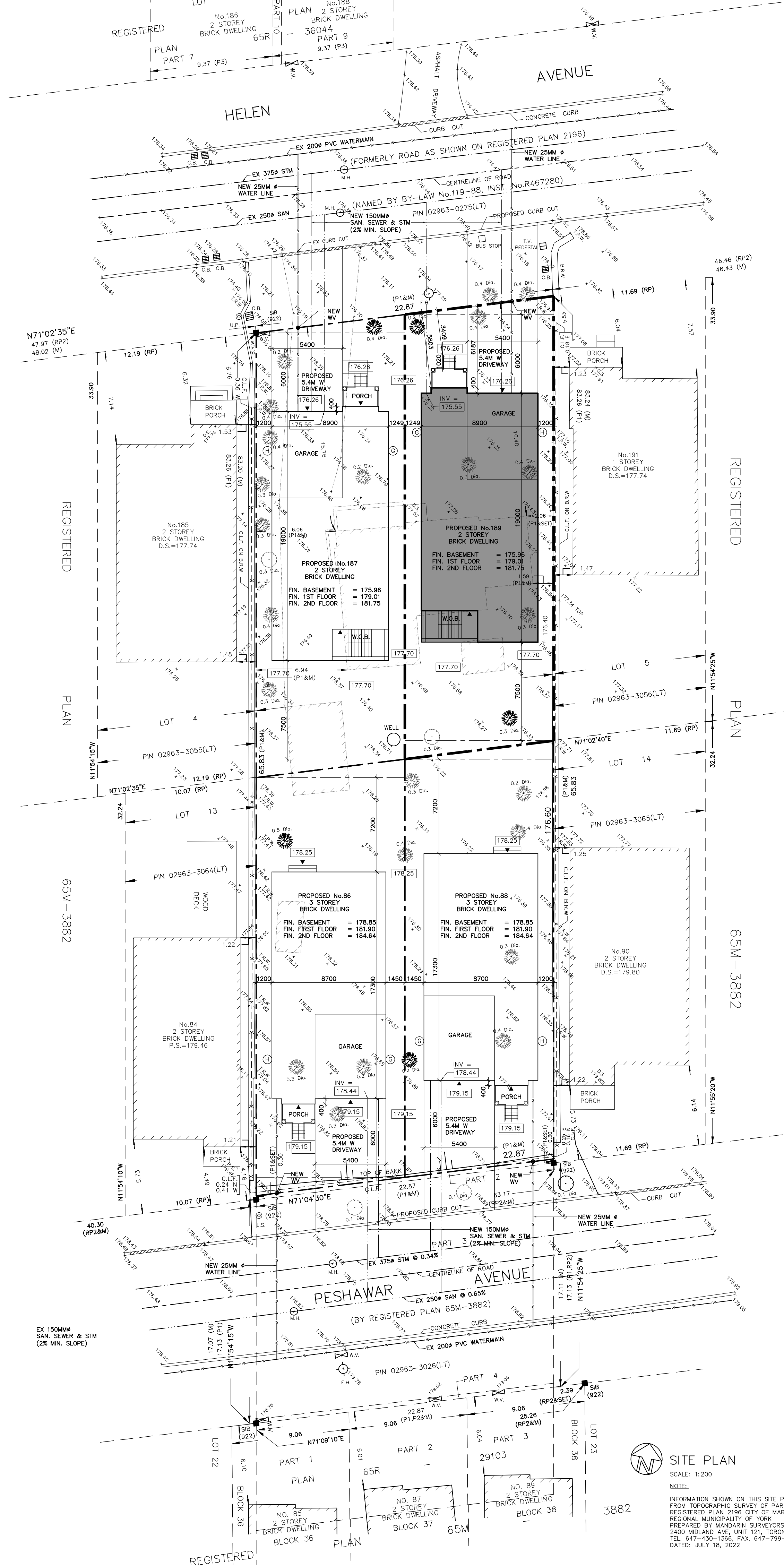
#82 & 84 PESHAWAR AVE HOUSES



#90 & 92 PESHAWAR AVE HOUSES



CONTEXT PLAN



LOCATION MAP

SITE INFORMATION:
ZONING PRT BYLAW: 304-87 & R2-31 BYLAW 177-96
PROPOSED USE: SINGLE DETACHED DWELLINGS

PROPOSED #189 HELEN AVE (#187 SIMILAR)
PROPOSED LOT AREA: 384.7 SM
LOT FRONTAGE: 113.3 M
BUILDING COVERAGE: 170.23 SM (44.2%)

LEGEND
DENOTES MONUMENT SET
DENOTES MONUMENT FOUND
DENOTES STANDARD IRON BAR

PROJECT TITLE: SITE PLAN FOR RESIDENTIAL #189
SCALE: 1:200
DATE: SEPT, 2022
ISSUED:
PROJ. NO: HENRY W CHIU ARCHITECT LIMITED

CONSTRUCTION NOTES

- REFER TO PURCHASE OR CONTRACT AGREEMENT FOR FINISHING SPECIFICATIONS. ALL DRAWINGS TO BE USED FOR CONSTRUCTION ONLY WHEN SIGNED BY ARCHITECT.
CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB SITE AND REPORT ANY DISCREPANCY TO ARCHITECT BEFORE PROCEEDING WITH THE WORK.
ALL CONSTRUCTIONS TO CONFORM TO THE REQUIREMENTS OF THE LATEST VERSION OF THE ONTARIO BUILDING CODE (ONTARIO REG. 2012 - 332/12, PART 9, AND ALL OTHER AUTHORITIES HAVING JURISDICTION. DRAWINGS MUST NOT BE SCALED. HANDWRITTEN NOTES WHICH APPEAR ON THE DRAWINGS HAVE PRECEDENCE.

- 1 DAMP-PROOFING AT EXTERIOR FOUNDATION WALL BELOW GRADE, WHERE EXTERIOR FINISHED GROUND LEVEL IS 9" A HIGHER ELEVATION THAN THE GROUND LEVEL INSIDE 250MM (10") POURED CONCRETE FOUNDATION WALL ON CONCRETE FOOTINGS. CONCRETE FOR WALLS TO BE 20 MPa (2900 PSI) AT 28 DAYS, PROVIDE EXTERIOR DRAINAGE CLADDING AS REQUIRED.
2 600MM (24") WIDE x 250MM (10") DEEP CONTINUOUS KEYED CONCRETE FOOTING OR SIZED AS PER SOL REPORT. FOOTING SHALL REST ON NATURAL UNDISTURBED SOIL AND MUST BE 120MM (4-7/8") MIN. BELOW GRADE. CONCRETE FOR FOOTINGS SHALL BE 20 MPa (2900 PSI) AT 28 DAYS.

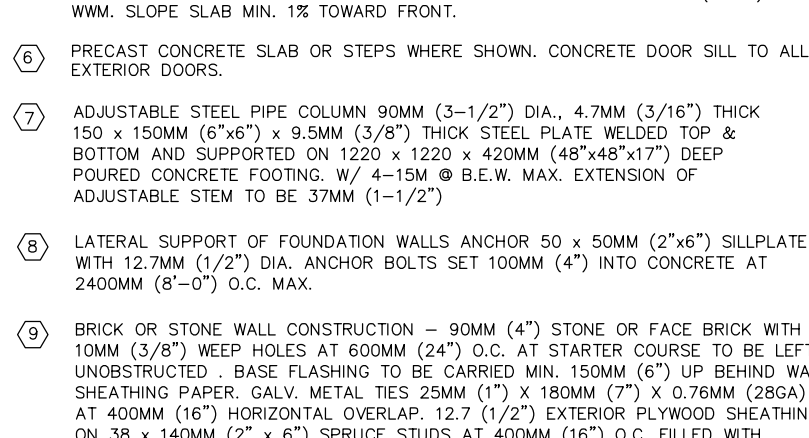
- 16 MAIN STAIR AND BASEMENT STAIRS (SEE PLAN) DIMENSIONS SHOWN ON SECTION GOVERN.
17 ACCESS TO ROOF ATTIC TO MIN. 500 x 700MM (18 3/4" x 28") INSULATED AND WEATHERSTRIP.
18 WINDOW UNSTRUCTURED GLASS AREA FOR NATURAL LIGHT REQUIREMENT IS MINIMUM 10% FOR LIVING & DINING ROOM AREA, MINIMUM 5% FOR BEDROOM AREA. (REFER TO WINDOW SCHEDULE).

- 29 SKYLIGHT, CURB-MOUNTED DOUBLE-GLAZED SKYLIGHT BY VELUX OR APPROVED EQUAL PROVIDE INSIDE CURB DIMENSIONS AS INDICATED ON DWG. COORDINATE W/ MANUFACTURER. INSTALL AS PER MANUFACTURER'S GUIDE DOUBLE FRAME SURROUNDING SKYLIGHT.
30 INSTALL AT LEAST ONE INTERCONNECTED SMOKE ALARM ON EACH FLOOR AND EACH BEDROOM. PERMANENT CONNECTIONS TO ELECTRICAL CIRCUIT WITHOUT DISCONNECT SWITCHER.
31 ACCESS TO ROOF ATTIC TO MIN. 500 x 700MM (18 3/4" x 28") INSULATED AND WEATHERSTRIP.

WOOD LINEL SCHEDULE
L1 3-38x184 SPR. (3-2x8) SPR.
L2 3-38x184 D.F. (3-2x8) D.F.
L3 3-28x235 SPR. (3-2x10) SPR.

STEEL LINEL SCHEDULE
L7 80X90X6.0 STL. (3-1/2"x3-1/2"x1/4") MAX SPAN 1200
L8 80X90X8.0 STL. (3-1/2"x3-1/2"x5/16") MAX SPAN 1500
L9 100X90X8 STL. (4"x3-1/2"x5/16") MAX SPAN 1800

GENERAL NOTES
ALL FOOTING FORM WORK ELEVATIONS AND SETBACKS ARE TO BE CONFIRMED BY A REGISTERED PROFESSIONAL ENGINEER OR A REGISTERED DRAINAGE AND SURVEYOR PRIOR TO THE POURING OF ANY CONCRETE.
PRIOR TO THE SUPERSTRUCTURE WORKS PROCEEDING AND THE RELEASE OF THE COMPLETION STAGE PERMIT, THE OWNER'S CONSULTANT MUST VERIFY ALL DIMENSIONS AND GRADINGS FOR THE SUBJECT LANDS SHALL BE SELF CONTAINED.



TREE PROTECTION BARRIERS
1 TREE PROTECTION BARRIERS MUST BE 2.4 M (8 FT) HIGH, PLYWOOD CLAD HOARDING OR AN EQUIVALENT APPROVED BY URBAN FORESTRY SERVICES.
2 TREE PROTECTION BARRIERS FOR TREES SITUATED ON THE CITY ROAD ALLOWANCE WHERE VISIBILITY MUST BE MAINTAINED CAN BE 1.2 M (4 FT) HIGH AND CONSIST OF ORANGE PLASTIC WEB SNOW FENCING ON A WOOD FRAME MADE OF 2"x4" S.

PROJECT TITLE: SITE PLAN FOR RESIDENTIAL #189
SCALE: 1:200
DATE: SEPT, 2022
ISSUED:
PROJ. NO: HENRY W CHIU ARCHITECT LIMITED



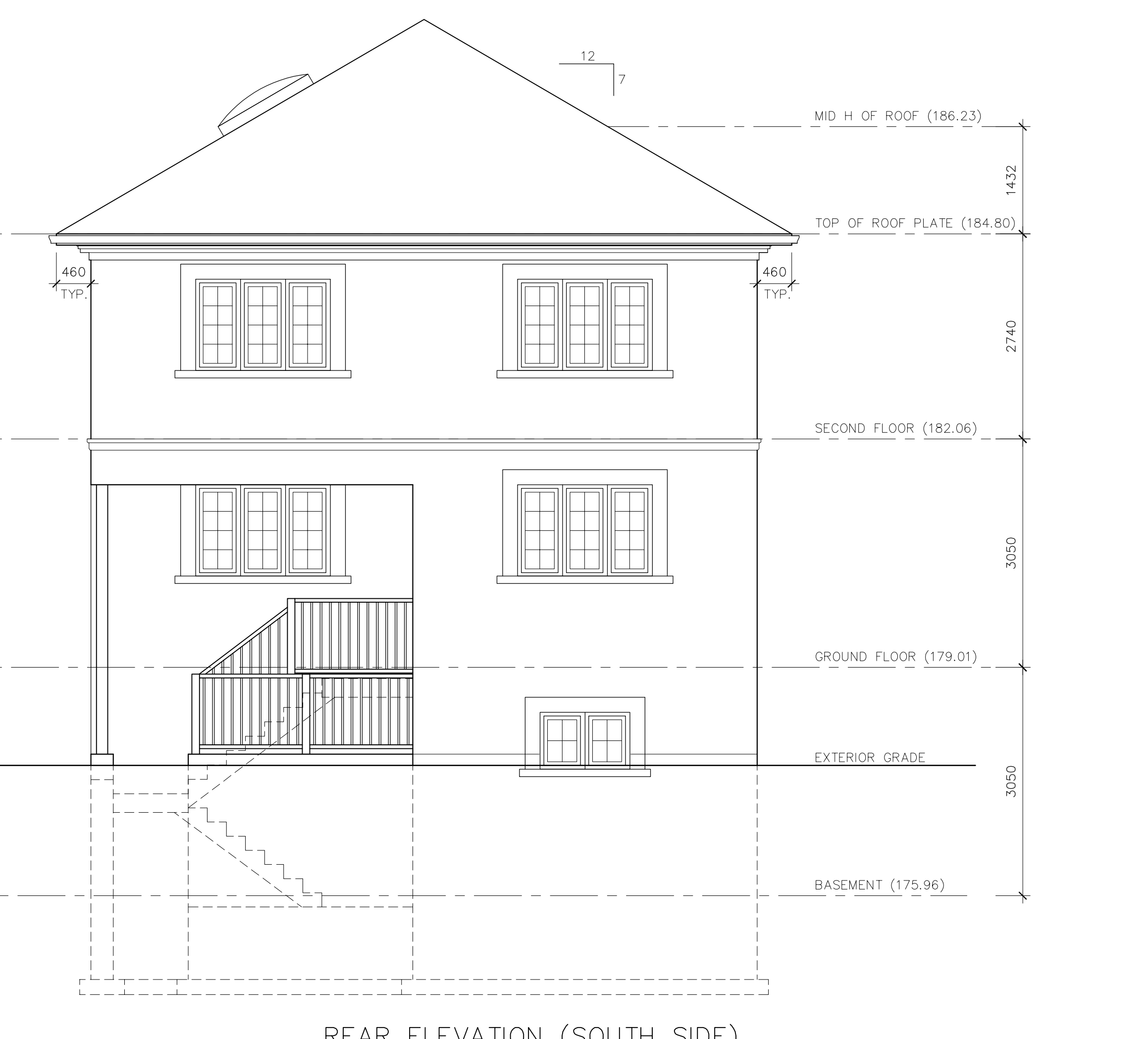
LEFT ELEVATION (EAST SIDE)




FRONT ELEVATION (NORTH SIDE)
 #189 HELEN AVE ELEVATION B



RIGHT ELEVATION (WEST SIDE)



REAR ELEVATION (SOUTH SIDE)

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| SCALE: 1:50 | DRAWN BY: |
| DATE: SEPT, 2022 | ISSUED: |
| PROJ NO: | DWG NO: A2 |

APPENDIX “G”

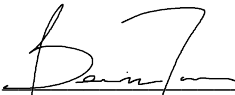
CONDITONS TO BE ATTACHED TO ANY APPROVAL OF B/020/23

1. Payment of all outstanding realty taxes and local improvements charges owing to date against both the subject and retained parcels, and that the Secretary Treasurer receive written confirmation that this condition has been fulfilled;
2. Submission to the Secretary-Treasurer of the required transfers to effect the severances applied for under File B/020/23, in duplicate, conveying the subject lands, and issuance by the Secretary Treasurer of the certificate required under subsection 53(42) of the *Planning Act*;
3. Submission to the Secretary-Treasurer of a deposited reference plan showing the subject land, which conforms substantially to the application as submitted;
4. Payment of the required Conveyance Fee for the creation of residential lots per City of Markham Fee By-law 211-83, as amended;
5. That the Owner obtain and complete the demolition permitting process for the existing dwellings and applicable accessory buildings on the severed and retained parcels and, that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the Chief Building Official or designate;
6. That the Applicant makes arrangements with the City to acquire the reserve, being Part 2 on Reference Plan 65R-28173, prior to issuance of the Certificate in order to provide the severed parcels with frontage on an open public road, and that the Secretary-Treasurer receive confirmation that this condition has been fulfilled to the satisfaction of the City Solicitor, or their designate;
7. The Owner shall enter into a Development Agreement with the City to the satisfaction of the City Solicitor, Director of Planning and Urban Design and/or the Director of Engineering, Director of Operations, or their designates, which Development Agreement shall be registered on title to the lands in priority to all mortgages, charges, liens, and other encumbrances, and the Owner shall be procure and cause to be executed and registered at its own cost and expense such discharges, postponements, and subordination agreements as may be required by the City in order to provide for the priority of registration for the Development Agreement on title to the Lands. The Development Agreement shall specifically provide for matters include but not limited to:
 - a. Submission of an Appraisal report prepared by a member of the Appraisal Institute of Canada in accordance with the City's terms of reference respecting the proposed new lot, to be reviewed and approved by the City.
 - b. Notice that the lands may not be connected to the City's water system, sewage system and/or drainage system (The “Municipal Services”), and that in order to connect to the Municipal Services, the Owner must submit

an application to the City and pay for the connections to the Municipal Services, which shall be installed by the City.

- c. Submit site servicing, grading, utility, and erosion and sediment control plan, to the satisfaction of the Director of Engineering;
 - d. Construct the required servicing, grading, and utilities for this development to the satisfaction of the Director of Engineering;
 - e. To construct and/or implement any required excavation, removal, relocation, restoration and /or implement of any above or below ground municipal services or utilities that may be necessary for this development, to the satisfaction of the Director of Engineering;
8. That the Applicant satisfies that water and wastewater servicing capacity is available to service this application as provided by the Regional Municipality of York in their comments to the Applicant, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the Director of Planning and Urban Design or designate. Prior to final approval, the Region's Planning and Economic Development Branch shall certify that the above condition(s) has/have been met to its satisfaction. York Region requests a copy of the Notice of Decision be emailed to developmentservices@york.ca if/when it becomes available.
9. Fulfillment of all of the above conditions within two years of the date that notice of the decision was given under Section 53(17) or 53(24) of the *Planning Act*, R.S.O. 1990, c.P.13, as amended.

CONDITONS PREPARED BY:



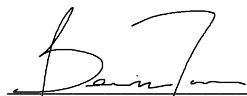
Bernie Tom, Development Technician, Zoning and Special Projects

APPENDIX "H"

CONDITONS TO BE ATTACHED TO ANY APPROVAL OF A/073/23

1. The variances apply only to the proposed development as long as it remains;
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as 'Appendix B' to this Staff Report, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction;
3. Submission of a Tree Assessment and Preservation Plan, prepared by a qualified arborist in accordance with the City's Tree Assessment and Preservation Plan (TAPP) Requirements (June 2019), through the future Residential Infill Grading & Servicing (RIGS) TREE Permit process prior to issuance of building permit;
4. That tree replacements be provided and/or tree replacement fees be paid to the City where required, in accordance with the City's accepted Tree Assessment Preservation Plan (TAPP), through the Residential Infill Grading & Servicing (RIGS) TREE Permit process; and
5. That prior to the commencement of construction, demolition and/or issuance of building permit, tree protection be erected and maintained around all trees on site, including City of Markham street trees, in accordance with the City's Tree Preservation By-Law 2008-96 and Conditions of a TREE Permit, to be inspected by City staff.

CONDITONS PREPARED BY:



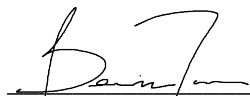
Bernie Tom, Development Technician, Zoning and Special Projects

APPENDIX "I"

CONDITONS TO BE ATTACHED TO ANY APPROVAL OF A/0743/23

1. The variances apply only to the proposed development as long as it remains;
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as 'Appendix B' to this Staff Report, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction;
3. Submission of a Tree Assessment and Preservation Plan, prepared by a qualified arborist in accordance with the City's Tree Assessment and Preservation Plan (TAPP) Requirements (June 2019), through the future Residential Infill Grading & Servicing (RIGS) TREE Permit process prior to issuance of building permit;
4. That tree replacements be provided and/or tree replacement fees be paid to the City where required, in accordance with the City's accepted Tree Assessment Preservation Plan (TAPP), through the Residential Infill Grading & Servicing (RIGS) TREE Permit process; and
5. That prior to the commencement of construction, demolition and/or issuance of building permit, tree protection be erected and maintained around all trees on site, including City of Markham street trees, in accordance with the City's Tree Preservation By-Law 2008-96 and Conditions of a TREE Permit, to be inspected by City staff.

CONDITONS PREPARED BY:



Bernie Tom, Development Technician, Zoning and Special Projects