

Memorandum to the City of Markham Committee of Adjustment

January 26, 2023

File: A/215/22
Address: 16 Cachet Parkway, Markham
Applicant: Monica Nijhawan
Agent: CS&P Architects Inc. (Sam Spagnuolo)
Hearing Date: Wednesday, February 1, 2023

The following comments are provided on behalf of the West District Team:

The applicant is requesting relief from the following requirements of By-law 304-87, RRE & O1 as amended:

- a) **By-law 304-87, Section 7.5 (c):**
a maximum height of 12.31 metres, whereas the By-law permits a maximum height of 10.7 metres.
- b) **Parking By-law 28-97, Section 6.2.4.1 b) and 6.2.4.7:**
an attached garage floor lower than the street elevation, whereas the By-law requires an attached private garage floor for a single detached dwelling to be higher than the street elevation.
- c) **By-law 304-87, Section 2.0:**
a second kitchen within the single family dwelling definition, whereas the By-law does not permit a secondary kitchen.
- d) **By-law 2008-21:**
the sum of both sides yards to be 8.35 metres, whereas the By-law requires 9 metres.
- e) **By-law 304-87, Section 7.5 (b):**
a side yard setback of 2.378 metres, whereas the By-law requires 3 metres.
- f) **Parking By-law 28-97, Section 6.2.4:**
a driveway width of 18 metres roundabout, whereas the By-law permits a driveway width of 6.1 metres.

as it relates to a proposed two-storey detached dwelling.

BACKGROUND

Property Description

The 5,925.43 m² (63,780.79 ft²) subject property is located on the south side of Cachet Parkway, east of Warden Avenue and south of Major Mackenzie Drive East. The property is located within an established residential neighbourhood comprised of two-storey detached dwellings. The surrounding area does include lots undergoing a transition with

newer dwellings being developed as infill developments. The subject property is currently vacant with mature vegetation across the property.

The subject land is partially within TRCA's Regulated Area as the rear portion of the site is traversed by a valley corridor associated with the Rouge River Watershed.

Proposal

The applicant is proposing to construct a two-storey single detached dwelling.

Official Plan and Zoning

Official Plan 2014 (partially approved on November 24/17, and updated on April 9/18)

The Official Plan designates the subject property "Residential Estate" and "Greenway", which provides for low rise housing forms including single detached dwellings on large lots some with a private sewage disposal system. The Greenway designation also provides for single detached dwellings on a lot of record that existed prior to the adoption of the current Official Plan. Infill development is required to meet the general intent and purpose of the Official Plan with respect to height, massing, and setbacks to ensure that the development is appropriate for the site and generally consistent with the zoning requirements for adjacent properties, and properties along the street, while accommodating a diversity of building styles. Regard shall also be had for the retention of existing trees and vegetation, as well as the proposed width of garages and driveways.

Zoning By-Law 304-87

The subject property is zoned Rural Residential Estate Zone ("RRE") & Open Space One Zone ("O1") under By-law 304-87, as amended, which permits a single family detached dwelling.

Parking Standards By-law 28-97

The proposed dwelling and site design also does not comply with the standard of the Parking By-law 28-97 with respect to the grade elevation of the attached garage in relation to the street elevation and the maximum driveway width. Further details of the requirement is provided in the comment section below.

Applicant's Stated Reason(s) for Not Complying with Zoning

According to the information provided by the applicant, the reason for not complying with Zoning is, *"for variance (a) & (b) Ravine LOT the SLOPE drops 4 metres from the front of the house to the rear of the house. For variance (c) this is a cultural tradition that the owners are requesting for variance (d) & (e) this is a result of the positioning of the house due to the available table lands for Variance (f) this is also an owners request for convenience and is similar to other houses on the street"*.

Zoning Preliminary Review (ZPR) Not Undertaken

The owner has confirmed that a Zoning Preliminary Review (ZPR) has not been conducted. However, the applicant has received comments from the building department

through their permit process to confirm the variances required for the proposed development.

COMMENTS

The Planning Act states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained;
- d) The general intent and purpose of the Official Plan must be maintained.

Increase in Maximum Driveway Width

Staff note that the proposed driveway has a width of 18 m (59.08 ft), whereas the City's Parking By-law 28-97 only permits the driveway width to be 6.1 m (20 ft), provided a minimum 40% soft landscaping is provided in the front yard.

The requested variance seeks to permit a single vehicular access onto Cachet Parkway, which leads into an internal circular driveway. In addition, the applicant's architect has indicated that the front yard proposes to maintain 61.41% of soft landscaping in the front yard. The variance would not detract from the streetscape.

Increase in Maximum Building Height

The applicant is requesting relief to permit a maximum building height of 12.31 m (40.39 ft), whereas the By-law permits a maximum building height of 10.7 m (35.1 ft). This represents an increase of 1.61 m (5.28 ft), or 15%.

The By-law calculates building height using the vertical distance of building or structure measured between the established grade and the mean level between eaves and ridge of a gabled roof.

Reduced Side Yard Setback

The applicant is requesting a minimum 2.378 m (7.83 ft) side yard setback, whereas the by-law requires a minimum side yard setback of 3.0 m (3.85 ft). In addition, the applicant is requesting a minimum of 8.35 m (27.4 ft) for the sum of both side yards, whereas the By-law requires a minimum of 9.0 m.

Engineering staff have reviewed the application and have no concern with the variance respecting drainage.

Reverse Sloped Driveway

The applicant is requesting relief to permit a private driveway leading to a private garage to have a floor elevation lower than the elevation of the public street, whereas the by-law requires a private driveway leading to a private garage to have a floor elevation higher than the elevation of the public street.

By-law 28-97, as amended, requires that the garage floor elevation be above the elevation of the public street, in order to prevent “reverse” or “negative” slope driveways. The only exception to this is a case where the first floor of the dwelling is lower than the level of the street due to natural topography, in which case a garage floor may be 1.0 metre lower than the first floor of the dwelling. In this instance, the above exception does not apply, since the dwelling’s first floor elevation is higher than the elevation of the public street.

Planning staff generally do not support reverse slope driveways. The flooding of dwellings has been a growing problem in many parts of Markham, and reverse slope driveways can be a significant contributing factor. With reverse slope driveways, catch basins that drain the driveway are at a lower elevation in relation to the road. However, in this instance Engineering staff are of the opinion that the requested variance does not present a flooding issue given the larger lot size.

Adding a Second Kitchen within the Dwelling

Staff note that the By-law definition of a single family dwelling permits only one (1) kitchen or other facility for the preparation of meals. The applicant is proposing to permit a second kitchen for presentation and aesthetic reasons.

The purpose of this restriction was likely to preclude multiple units within a single family dwelling, however with the recent provincial changes including Bill 23, up to 3 units may be permitted within a detached dwelling. However, it is noted that the applicant has indicated the second kitchen is not for the purpose of a second unit.

Tree Preservation

Tree Preservation staff have no concerns on the Minor Variance application. Barriers have been installed and confirmed. Any change to the proposed grading plan with respect to tree impacts is to also be submitted via a Residential Infill Grading and Servicing (RGS) application for further review. Tree barriers are approved based on the Tree Assessment and Preservation Plan associated with RGS. The applicant shall verify if there are any changes to tree preservation.

EXTERNAL AGENCIES

TRCA Comments

The subject property is located within Toronto Region and Conservation Authority (TRCA)’s Regulated Area. The rear portion of the site is traversed by a valley corridor associated with the Rouge River Watershed. TRCA provided comments on January 10, 2023 (Appendix A), indicating that they have no concerns subject to conditions outlined in their letter.

PUBLIC INPUT SUMMARY

No written submissions were received as of January 26, 2023. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

CONCLUSION

Planning Staff have reviewed the application with respect to Section 45(1) of The Planning Act, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variance request meets the four tests of the Planning Act and have no objection. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Please refer to Appendix "A" for conditions to be attached to any approval of this application.

PREPARED BY:



Nusrat Omer, MCIP, RPP, Senior Planner, West District

REVIEWED BY:



Rick Cefaratti, Senior Planner, West District

File Path: Amanda\File\ 22 262961 \Documents\District Team Comments Memo

Appendix A: Committee of Adjustment Conditions List
Standard Minor Variance Conditions

Issue Date: January 26, 2023

1. The variances apply only to the proposed development as long as it remains;
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as 'Appendix B' to this Staff Report and received by the City of Markham on October 31, 2022 and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction;
3. Submission of a Tree Assessment and Preservation Plan, prepared by a qualified arborist in accordance with the City's Streetscape Manual (2009), as amended, to be reviewed and approved by the City, and that the Secretary-Treasurer receive written confirmation from Tree Preservation Technician or Director of Operations that this condition has been fulfilled to his/her satisfaction, and that any detailed Siting, Lot Grading and Servicing Plan required as a condition of approval reflects the Tree Assessment and Preservation Plan;
4. That prior to the commencement of construction or demolition, tree protection be erected and maintained around all trees on site in accordance with the City's Streetscape Manual, including street trees, in accordance with the City's Streetscape Manual (2009) as amended, and inspected by City Staff to the satisfaction of the Tree Preservation Technician or Director of Operations.
5. That tree replacements be provided and/or tree replacement fees be paid to the City if required in accordance with the Tree Assessment and Preservation Plan, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the Tree Preservation Technician or Director of Operations;
6. That the Applicant satisfies the requirements of the TRCA, financial or otherwise, as indicated in their letter to the Secretary-Treasurer attached as Appendix C to this Staff Report, to the satisfaction of the TRCA, and that the Secretary Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of TRCA.

CONDITIONS PREPARED BY:



Nusrat Omer, MCIP, RPP, Senior Planner, West District

APPENDIX B: PLANS TO BE ATTACHED TO ANY APPROVAL OF FILE
A/215/22

PLAN OF SURVEY OF
LOT 38
REGISTERED PLAN 6037
CITY OF MARKHAM
REGIONAL MUNICIPALITY OF YORK
 SCALE 1:250

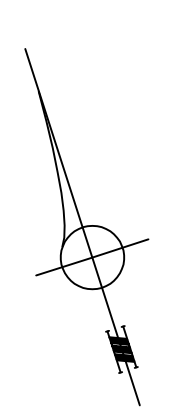
© COPYRIGHT
 PEARSON & PEARSON SURVEYING LTD. 2020
 Ontario Land Surveyors
 Metric
 METRIC SHOWN ON THIS PLAN ARE IN METERS AND
 CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Note
 1. THE RE-ESTABLISHMENT OF THE SUBJECT PROPERTY BOUNDARIES WAS BASED ON INFORMATION CONTAINED IN THE RELEVANT TITLES SURVEYS FOUND DURING THE COURSE OF PREPARING THE SUBJECT PLAN.
 2. THE TYPE AND LOCATION OF THE EXISTING BUILDINGS AND OTHER IMPROVEMENTS, FENCES ETC., ON OR NEAR THE SUBJECT PROPERTY ARE CERTIFIED BY THIS REPORT.
 3. COMPLIANCE WITH MUNICIPAL ZONING REQUIREMENTS IS NOT GUARANTEED.
 4. AT THE TIME OF THE OWNERSHIP OR AGE OF THE SUBJECT PROPERTY, WE ARE UNABLE TO COMMENT AS TO ANY ENCROACHMENTS OR EGRESS RIGHTS WHICH MAY EXIST ON THE SUBJECT PROPERTY. THE PROPERTY LINES ARE SHOWN ON THE SURVEY PLAN.
 5. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE ACT AND REGULATIONS OF THE HYDRO-ELECTRIC POWER COMMISSION OF ONTARIO AS IN INSTRUMENT No. M449027.

Bearing Note
 ALL BEARINGS AND DISTANCES ARE REFERRED TO THE SOUTHWESTERLY LIMIT OF LOT 38 SHOWN ON REGISTERED PLAN 6037 AS HAVING A BEARING OF N61°58'30"E.

Benchmark
 ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE BENCHMARK: 029301597. ELEVATION = 211.20m

Note
 ALL REFERENCES ARE NOT TO ARBORIST STANDARDS AND FOR ARBORIST CLIPPING REFER TO ARBORIST REPORT.



- Legend**
- DENOTES SURVEY MONUMENT FOUND
 - DENOTES IRON PIPE
 - DENOTES IRON BAR
 - DENOTES CEMENT CONCRETE
 - DENOTES ORIGIN UNKNOWN
 - DENOTES POINT OF COMPOUND CURVATURE
 - DENOTES SET OUT
 - DENOTES NORTH/SOUTH/EAST/WEST
 - DENOTES REGISTERED PLAN 6037
 - DENOTES CHAIN LINK FENCE
 - DENOTES TIES TO CONCRETE FOUNDATION
 - DENOTES UTILITY POLE
 - DENOTES UTILITY BRACKETS
 - DENOTES MANHOLE
 - DENOTES DIAMETER (GROUND)
 - DENOTES DOOR SILL ELEVATION
 - DENOTES DECIDUOUS TREE WITH TRUNK DIAMETER
 - DENOTES CONIFEROUS TREE WITH TRUNK DIAMETER

KEY PLAN

SITE STATISTICS

ZONING = 657B0.71 50.FT (9425.421 50.M.)
 LOT AREA = 657B0.71 50.FT (9425.421 50.M.)
 TOTAL G.F.A.
 FIRST FLOOR = 4528 SQ.FT. (402.08 sqm)
 SECOND FLOOR = 4124 SQ.FT. (383.60 sqm)
 TOTAL = 8652 SQ.FT. (795.68 sqm)
 COVERAGE OF HOUSE = 6551.51 SQ. FT. (10.26%)
 COVERAGE OF HOUSE & TERRACES, PORCH = 8344.62 SQ. FT. (13.08%)

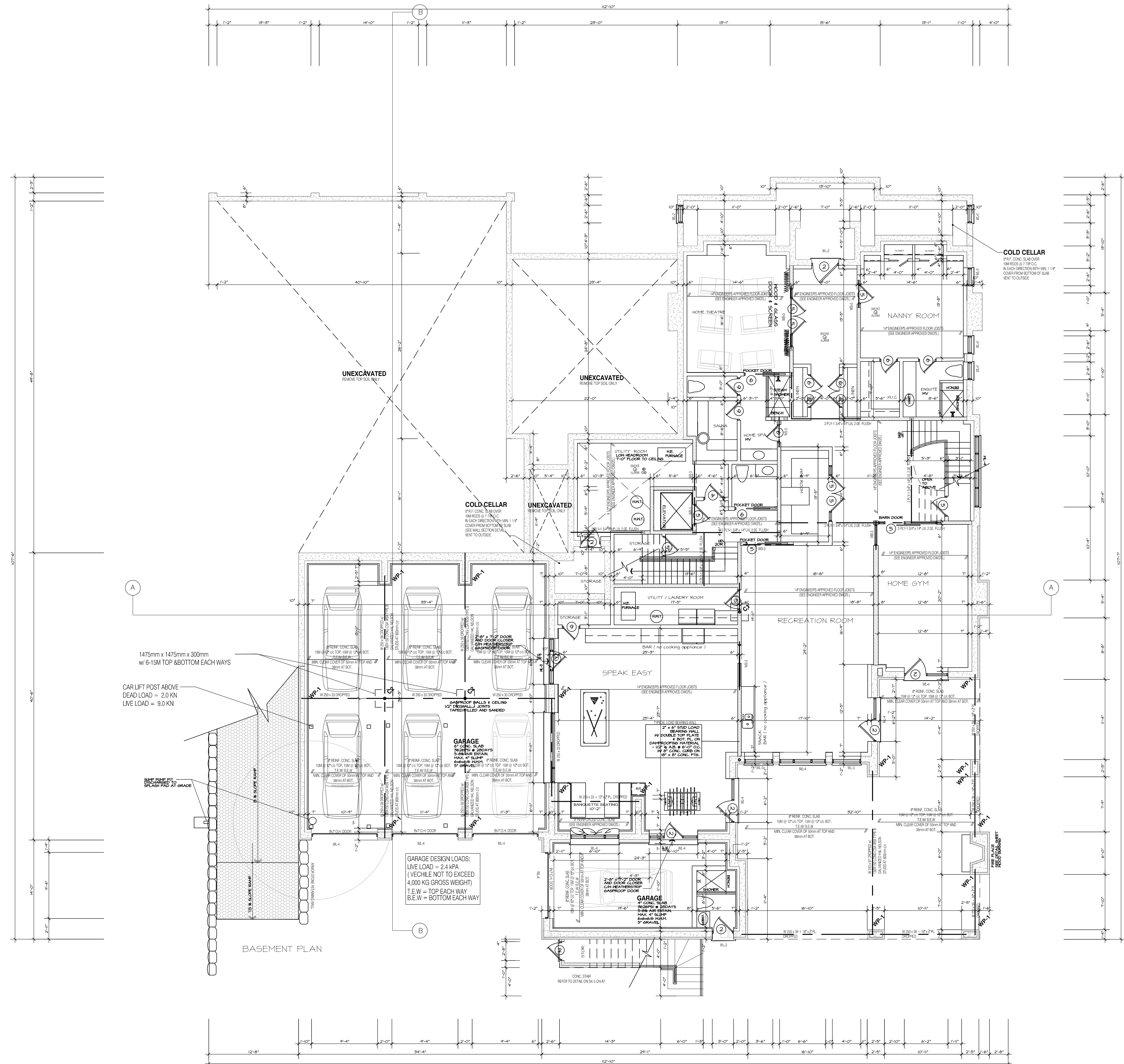
SITE PLAN

THIS SITE PLAN IS BASED ON PLAN OF SURVEY OF PLAN OF LOT 38, REGISTERED PLAN 6037, CITY OF MARKHAM, REGIONAL MUNICIPALITY OF YORK.
 SCALE: 1" = 20'-0"

PREPARED BY: O.L.S.
 DATED: 21/03/20

Appendix B
 File: 2225981001001.MXD
 Date: 01/03/20
 21/03/20

CONTRACTOR TO SHOW ALL NEW OR ALTERNATIVE SURVEY MONUMENTS TO BE PLACED AT THE CORNERS OF THE SUBJECT PROPERTY AND TO BE SET OUT IN ACCORDANCE WITH THE ACT AND REGULATIONS OF THE HYDRO-ELECTRIC POWER COMMISSION OF ONTARIO AS IN INSTRUMENT No. M449027.



2017 SB-12 COMPLIANCE PACKAGE 'A1'

NOTE:
 PROVIDE FLOOR JOISTS AT 12" O/C BENEATH ALL CERAMIC FLOORS

NOTE:
 THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS DRAWINGS BY MANUFACTURER.

- LEGEND:**
- BULKING FACE - THICK (2.1m) OR MIN. PER REQUIREMENTS
 - INDICATES SOLID BEARING REQUIRED
 - CHIMNEY LOAD FROM ABOVE
 - LVL: LAMINATED VENEER LAMBER
 - BRICK JOIST
 - DOUBLE JOIST
 - TRIPLE JOIST
 - REPEAT NOTE
 - DIMENSION

NOTE:
 FOR SIZES PERTAINING TO WOOD LINTELS, STEEL LINTELS, BRICK VENEER LINTELS, AND DOORS REFER TO THIS SHEET

- DOOR SCHEDULE: (8'-0" HIGH DOORS)**
- 1-1 = 2'-0" x 7'-0" INSULATED ENTRANCE DOOR
 - 1A-1 = 2'-0" x 8'-0" INSULATED ENTRANCE DOOR
 - 2-1 = 2'-0" x 8'-0" EXTERIOR GLAZED DOOR
 - 3-1 = 2'-0" x 8'-0" SLAB DOOR (1 3/4" EXTERIOR)
 - 4-1 = 2'-0" x 8'-0" SLAB DOOR (1 3/8" INTERIOR)
 - 5-1 = 2'-0" x 8'-0" SLAB DOOR (1 3/8" INTERIOR)
 - 6-1 = 2'-0" x 8'-0" SLAB DOOR (1 3/8" INTERIOR)
 - 7-1 = 1'-4" x 8'-0" SLAB DOOR (1 3/8" INTERIOR)
 - 8-1 = 2'-0" x 8'-0" BF-FOLD (1 3/8" INTERIOR)
 - 9-1 = 3'-0" x 8'-0" BF-FOLD (1 3/8" INTERIOR)
 - 10-1 = 2'-0" x 8'-0" BF-FOLD (1 3/8" INTERIOR)
 - 11-1 = 2'-0" x 8'-0" BF-FOLD (1 3/8" INTERIOR)
 - 12-1 = 2'-0" x 8'-0" FRENCH DOOR (1 3/8" INTERIOR)

- STEEL LINTELS:**
- L1 = 3 1/2" x 3 1/2" x 1/4" (90 x 90 x 6)
 - L2 = 4" x 3 1/2" x 5/16" (100 x 90 x 8)
 - L3 = 5" x 3 1/2" x 5/16" (125 x 90 x 8)
 - L4 = 6" x 3 1/2" x 3/8" (150 x 90 x 10)
 - L5 = 6" x 4" x 3/8" (150 x 100 x 10)
 - L6 = 7" x 4" x 3/8" (180 x 100 x 10)

- BRICK VENEER LINTELS:**
- WL1 = 3 1/2" x 3 1/2" x 1/4" (90x90x6) + 2'-2" x 8" SPR.
 - WL2 = 4" x 3 1/2" x 5/16" (100x90x8) + 2'-2" x 8" SPR.
 - WL3 = 5" x 3 1/2" x 5/16" (125x90x8) + 2'-2" x 10" SPR.
 - WL4 = 6" x 3 1/2" x 3/8" (150x90x10) + 2'-2" x 12" SPR.
 - WL5 = 6" x 4" x 3/8" (150x100x10) + 2'-2" x 12" SPR.
 - WL6 = 5" x 3 1/2" x 5/16" (125x90x8) + 2'-2" x 12" SPR.
 - WL7 = 5" x 3 1/2" x 5/16" (125x90x8) + 3'-2" x 10" SPR.
 - WL8 = 5" x 3 1/2" x 5/16" (125x90x8) + 3'-2" x 12" SPR.
 - WL9 = 6" x 4" x 3/8" (150x100x10) + 3'-2" x 12" SPR.

- WOOD LINTELS:**
- WB1 = 2'-2" x 8" SPRUCE BEAM
 - WB2 = 3'-2" x 8" SPRUCE BEAM
 - WB3 = 2'-2" x 10" SPRUCE BEAM
 - WB4 = 3'-2" x 10" SPRUCE BEAM
 - WB5 = 2'-2" x 12" SPRUCE BEAM
 - WB6 = 3'-2" x 12" SPRUCE BEAM
 - WB7 = 5'-2" x 12" SPRUCE BEAM
 - WB8 = 4'-2" x 8" SPRUCE BEAM
 - WB9 = 4'-2" x 10" SPRUCE BEAM
 - WB10 = 4'-2" x 12" SPRUCE BEAM
 - WB11 = 4'-2" x 10" SPRUCE BEAM
 - WB12 = 4'-2" x 12" SPRUCE BEAM
 - LSL = TIMBERSTRAND BOARD

FLOOR DESIGN LOADS:
 DEAD LOAD - 1.40 kPa
 LIVE LOAD - 1.90 kPa

- NOTES:**
- C1- HSS 80x6.4 w/20x250x20mm BASE PLATE w/ 2-12mm φ HAS ROD, HIT-HY150 ADHESIVE ANCHOR BOLTS, 110mm EMBEDMENT.
 - C2- HSS 102x8 w/20x250x20mm BASE PLATE w/ 2-12mm φ HAS ROD, HIT-HY150 ADHESIVE ANCHOR BOLTS, 110mm EMBEDMENT.
 - ★ ALL COLUMN CONNECTED W/ TOP WOOD PLATE W/20x250x20mm PLATE & 2-12mm φ THROUGH BOLTS
 - ★ MIN. 10mm THICK CONT. @ BOTTOM OF STEEL BEAM FOR VENEER @ MARKED LOCATION ON PLAN.
 - ★ SEE DETAIL D-1 ON DWG. D1 FOR RESTRAINTS BEAM SUPPORTING VENEER
 - WP-1- WALL PLATE - 200x200x20 W/ 2-12mm φ BOLTS x 350 LONG + 50mm HOOKS

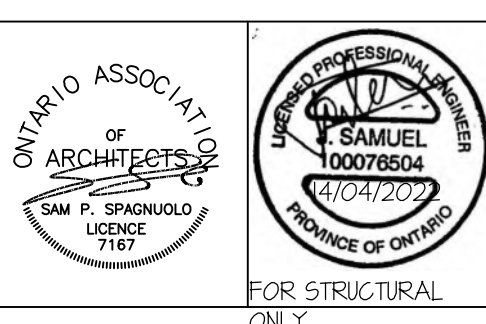
- NOTES:**
1. CONC. FOOTINGS TO REST ON UNDISTURBED SOIL WITH MIN. BEARING PRESSURE OF 130 kPa ULS 75 SL3
 2. CONC. FOOTINGS ON SOILS WITH BEARING PRESSURE < 120/75 kPa TO BE SPECIFIED BY STRUCTURAL ENGINEER. SEE GENERAL NOTES FOR CONC. STRENGTH & WHEN BEARING CAPACITY OF SOIL IS LESS THAN 120/75 kPa, STRUCTURAL ENGINEER SHOULD BE NOTIFIED IMMEDIATELY PRIOR TO COMMENCEMENT OF WORK
 3. ALL FOOTINGS ON ENGINEER FILL TO BE SPECIFIED BY A SOIL ENGINEER.
 4. CONC. STRENGTH OF FOOTING MUST BE 20 MPa

CONTRACTORS TO CHECK AND VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.

ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE INSTRUMENTS OF SERVICE THEREFORE ARE COPYRIGHT OF THE DESIGNER WHICH MUST BE RETURNED AT THE COMPLETION OF THE PROJECT.

REPRODUCTION OF DRAWING AND DOCUMENTS IN PART OR IN WHOLE IS FORBIDDEN WITHOUT THE DESIGNER'S WRITTEN PERMISSION.

DRAWINGS MUST NOT BE SCALED.



PROJECT: PROPOSED PRIVATE TWO STOREY MASONRY DWELLING FOR: MR 4 MRS NAV NIJAWAN AT: 16 CACHET PARKWAY

DRAWING TITLE: BASEMENT PLAN

SCALE: 3/16" = 1'-0"	PROJECT No: 21039
DATE: MAY 2021	PAGE No: A2
DRAWN BY: SS	CHECKED BY:

2017 SB-12 COMPLIANCE PACKAGE 'A1'

NOTE:
PROVIDE FLOOR JOISTS AT 12" O.C. BENEATH ALL CERAMIC FLOORS

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS DRAWINGS BY MANUFACTURER.

LEGEND:

■	BUILDING FACE < THAN 67' (1.20)
□	NO MIN. PERMITS REQUIRED
▨	INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
○	SL. PLATE FOR POINT LOAD ABOVE
○	LA. LAMINATED VENEER LUMBER
S.L.	SINGLE JOIST
D.J.	DOUBLE JOIST
T.J.	TRIPLE JOIST
○	RESTRICTION
○	SKYER WEATHERS

NOTE:
FOR SIZES PERTAINING TO WOOD LINTELS, STEEL LINTELS, BRICK VENEER LINTELS, AND DOORS REFER TO THIS SHEET

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WOOD LINTELS:

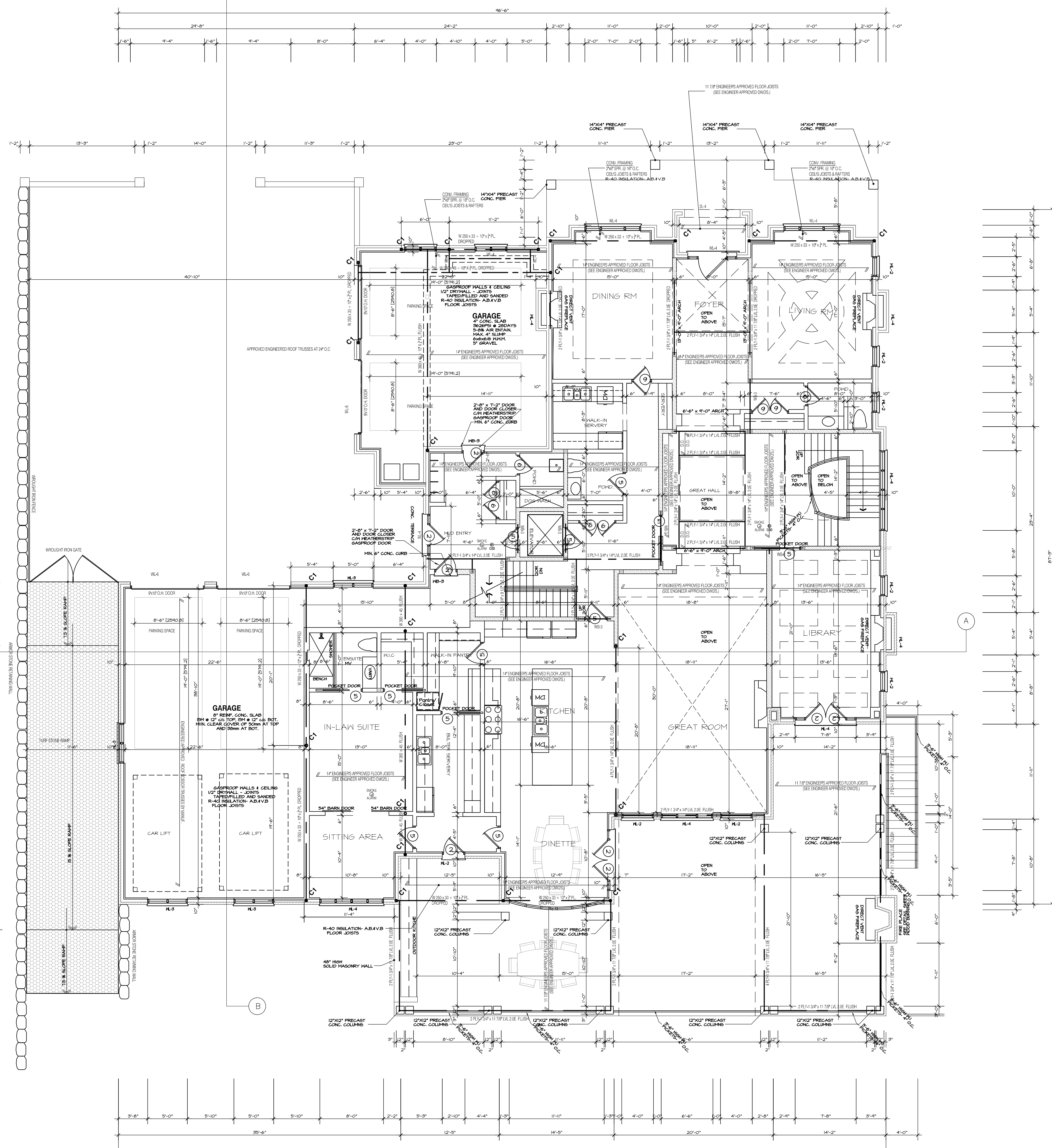
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WB6	= 3-2" x 12" SPRUCE BEAM
WB7	= 5-2" x 12" SPRUCE BEAM
WB10	= 4-2" x 8" SPRUCE BEAM
WB11	= 4-2" x 10" SPRUCE BEAM
WB12	= 4-2" x 12" SPRUCE BEAM
LS	= TIMBERSHED BOARD

FLOOR DESIGN LOADS:

DEAD LOAD	= 1.40 kPa
LIVE LOAD	= 1.90 kPa

NOTES:

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- C2- HSS 10x8 w/120x250x20mm BASE PLATE w/ 2-12mm Ø HAS ROD, HIT-HY150 ADHESIVE ANCHOR BOLTS, 110mm EMBEDMENT.
- * ALL COLUMN CONNECTED W/ TOP WOOD PLATE W/120x250x20mm PLATE & 2-12mm Ø THROUGH BOLTS
- * MIN. 10mm THICK CONT. @ BOTTOM OF STEEL BEAM FOR VENEER @ MARKED LOCATION ON PLAN.
- * SEE DETAIL D-1 ON DWG. D1 FOR RESTRAINTS BEAM SUPPORTING VENEER



FIRST FLOOR PLAN

FIN. AREA

FIRST FLOOR	= 4328 SQ. FT.
SECOND FLOOR	= 4124 SQ. FT.
TOTAL	= 8452 SQ.FT

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DRAWINGS MUST NOT BE SCALED.



PROJECT: PROPOSED PRIVATE TWO STOREY MASONRY DWELLING
FOR: MR & MRS NAV NULHAWAN
AT: 16 CACHET PARKWAY

FIRST FLOOR PLAN

SCALE: 3/16" = 1'-0"	PROJECT No.: 21039
DATE: MAY 2021	PAGE No.: A3
DRAWN BY: SS	
CHECKED BY:	

2017 SB-12 COMPLIANCE PACKAGE 'A1'

NOTE:
 PROVIDE FLOOR JOISTS AT 12" O/C BENEATH ALL CERAMIC FLOORS

NOTE:
 THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS DRAWINGS BY MANUFACTURER.

- LEGEND:**
- MILLING FACE - 1/4" MIN. (1/4" MIN. FIRE RATING REQ'D)
 - INDICATES SOLID BEARING REQUIRED BY FLOOR TRUSS MANUFACTURER
 - ▨ STL. PLATE FOR STEEL COLUMN ABOVE
 - ▤ LAMINATED VENEER LAMBER
 - SINGLE JOIST
 - DOUBLE JOIST
 - TRIPLE JOIST
 - REPEAT NOTE
 - JOIST/BEAMS

NOTE:
 FOR SIZES PERTAINING TO WOOD LINTELS, STEEL LINTELS, BRICK VENEER LINTELS, AND DOORS REFER TO THIS SHEET

- DOOR SCHEDULE: (8'-0" HIGH DOORS)**
- 1-1 = 2'-10" x 8'-0" INSULATED ENTRANCE DOOR
 - 1-1-1 = 2'-0" x 8'-0" INSULATED ENTRANCE DOOR
 - 2-1 = 2'-0" x 8'-0" EXTERIOR GLAZED DOOR
 - 3-1 = 2'-0" x 8'-0" SLAB DOOR (1 3/8" INTERIOR)
 - 4-1 = 2'-0" x 8'-0" SLAB DOOR (1 3/8" INTERIOR)
 - 5-1 = 2'-0" x 8'-0" SLAB DOOR (1 3/8" INTERIOR)
 - 6-1 = 2'-0" x 8'-0" SLAB DOOR (1 3/8" INTERIOR)
 - 7-1 = 1'-0" x 8'-0" SLAB DOOR (1 3/8" INTERIOR)
 - 8-1 = 2'-0" x 8'-0" BF-FOLD (1 3/8" INTERIOR)
 - 9-1 = 3'-0" x 8'-0" BF-FOLD (1 3/8" INTERIOR)
 - 10-1 = 2'-0" x 8'-0" BF-FOLD (1 3/8" INTERIOR)
 - 11-1 = 2'-0" x 8'-0" BF-FOLD (1 3/8" INTERIOR)
 - 12-1 = 2'-0" x 8'-0" FRENCH DOOR (1 3/8" INTERIOR)

- STEEL LINTELS:**
- L1 = 3" x 12" x 3 1/2" x 11'4" (80 x 90 x 8)
 - L2 = 4" x 12" x 5 1/8" (100 x 90 x 8)
 - L3 = 5" x 12" x 5 1/8" (125 x 90 x 8)
 - L4 = 6" x 12" x 3 3/8" (150 x 90 x 10)
 - L5 = 6" x 4" x 3 3/8" (150 x 100 x 10)
 - L6 = 7" x 4" x 3 3/8" (180 x 100 x 10)

- BRICK VENEER LINTELS:**
- WL1 = 3" x 12" x 3 1/2" x 11'4" (80x90x8) + 2'-2" x 8" SPR.
 - WL2 = 4" x 12" x 5 1/8" (100x90x8) + 2'-2" x 8" SPR.
 - WL3 = 5" x 12" x 5 1/8" (125x90x8) + 2'-2" x 8" SPR.
 - WL4 = 6" x 12" x 3 3/8" (150x90x10) + 2'-2" x 12" SPR.
 - WL5 = 6" x 4" x 3 3/8" (150x100x10) + 2'-2" x 12" SPR.
 - WL6 = 5" x 12" x 5 1/8" (125x90x8) + 2'-2" x 12" SPR.
 - WL7 = 5" x 12" x 5 1/8" (125x90x8) + 3'-2" x 10" SPR.
 - WL8 = 5" x 12" x 5 1/8" (125x90x8) + 3'-2" x 12" SPR.
 - WL9 = 6" x 4" x 3 3/8" (150x100x10) + 3'-2" x 12" SPR.

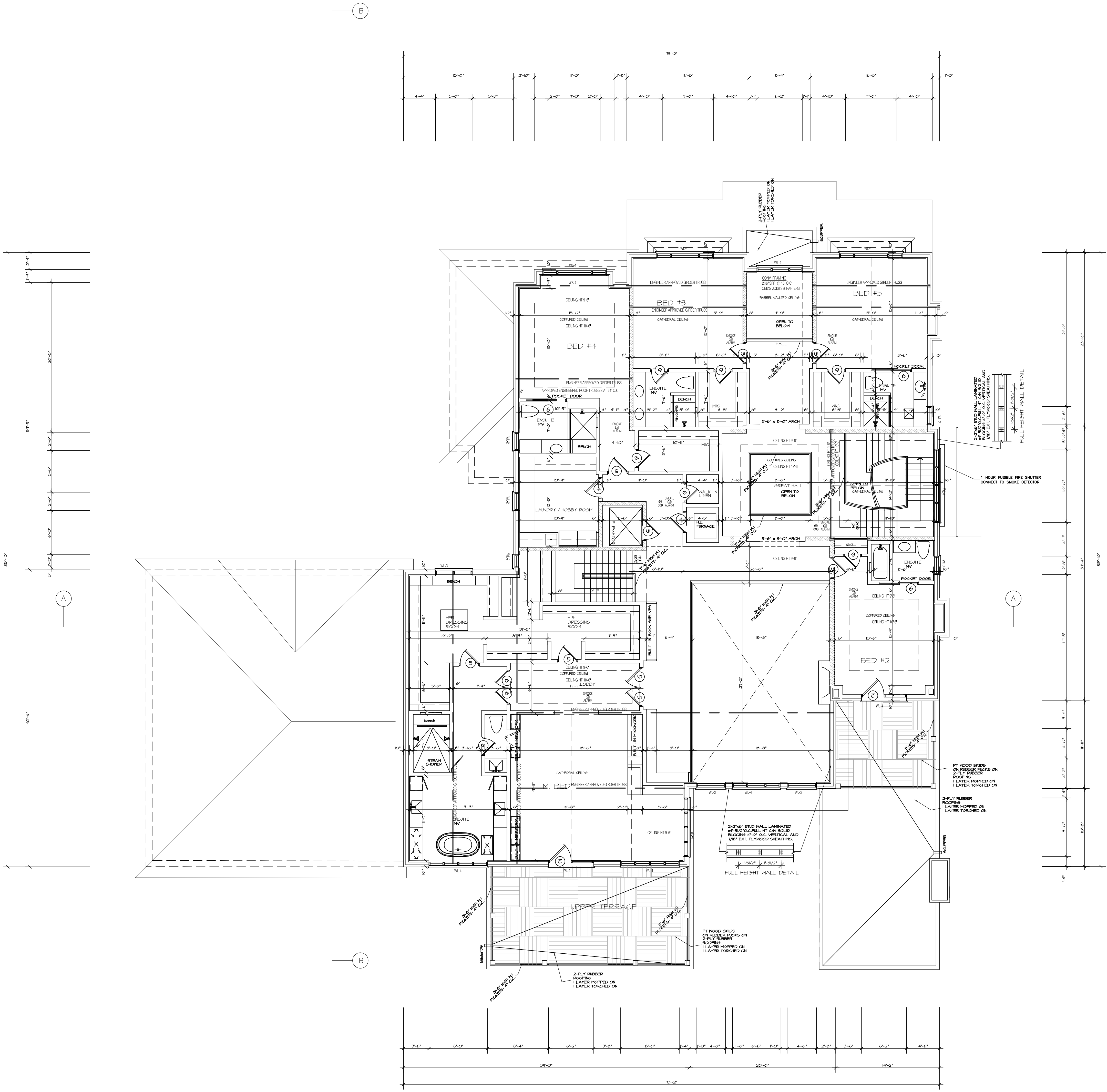
- WOOD LINTELS:**
- WB1 = 2'-2" x 8" SPRUCE BEAM
 - WB2 = 3'-2" x 8" SPRUCE BEAM
 - WB3 = 2'-2" x 10" SPRUCE BEAM
 - WB4 = 3'-2" x 10" SPRUCE BEAM
 - WB5 = 2'-2" x 12" SPRUCE BEAM
 - WB6 = 3'-2" x 12" SPRUCE BEAM
 - WB7 = 5'-2" x 12" SPRUCE BEAM
 - WB8 = 4'-2" x 8" SPRUCE BEAM
 - WB9 = 4'-2" x 10" SPRUCE BEAM
 - WB10 = 4'-2" x 12" SPRUCE BEAM
 - WB11 = 4'-2" x 10" SPRUCE BEAM
 - WB12 = 4'-2" x 12" SPRUCE BEAM
 - LSL = TIMBERSTRAND BOARD

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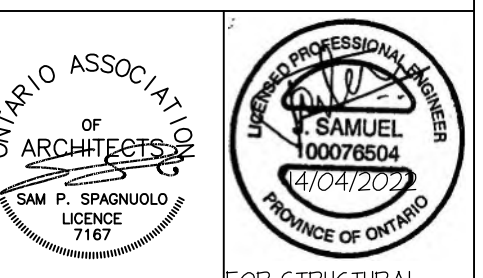
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SECOND FLOOR PLAN



PROJECT: PROPOSED:
 PRIVATE
 TWO STOREY MASONRY DWELLING

FOR:
 MR & MRS NAV NIJAWAN

AT:
 16 CACHET PARKWAY

SECOND FLOOR PLAN

SCALE: 3/16" = 1'-0"	PROJECT No. 21039
DATE: MAY 2021	PAGE No. A4
DRAWN BY: SS	CHECKED BY:

NOTE:
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CONJUNCTION WITH ENGINEER APPROVED
FLOOR TRUSS DRAWINGS BY MANUFACTURER.

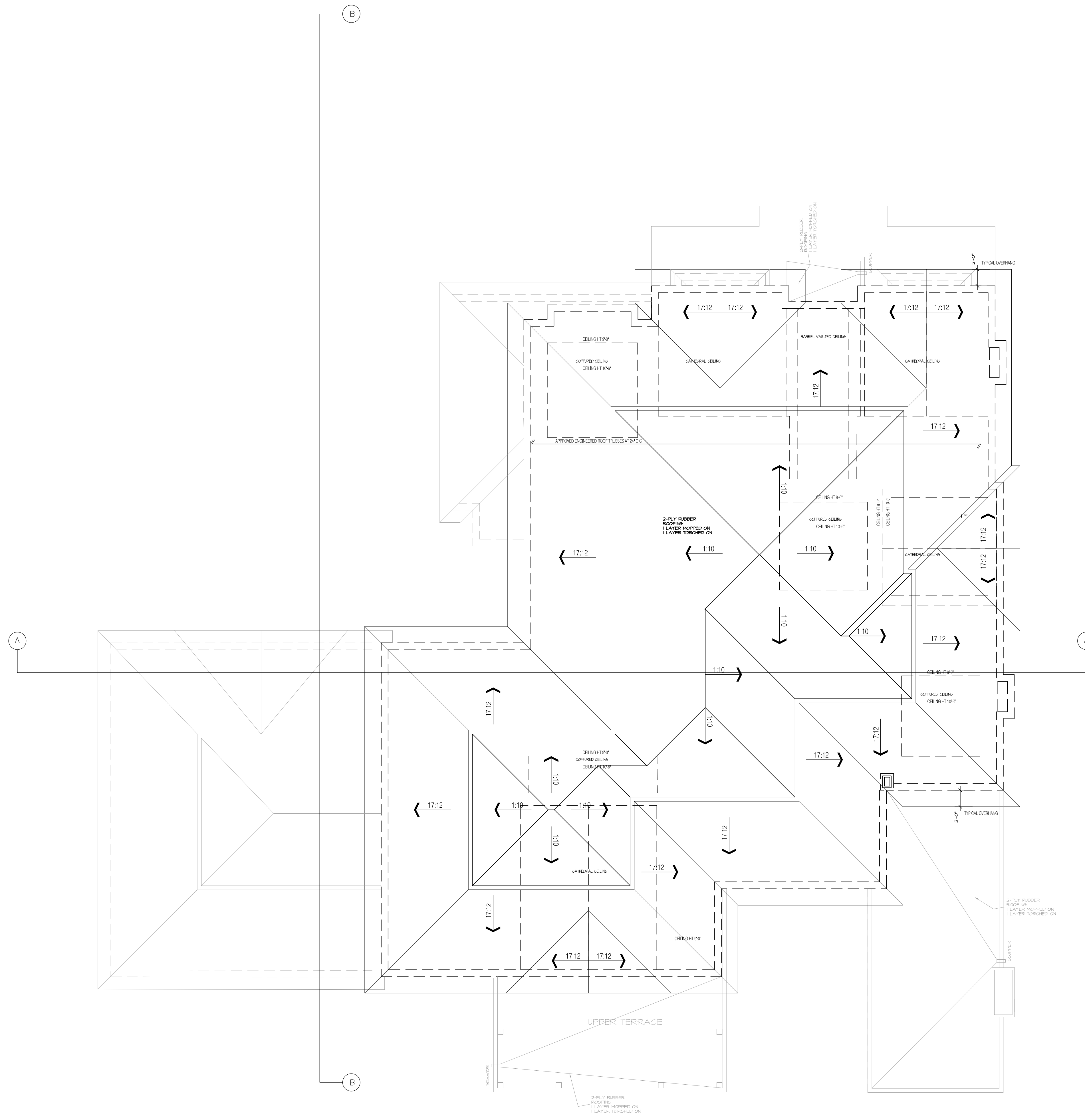
ROOF DESIGN LOADS:
DEAD LOAD - 0.75 KPa
SNOW LOAD - 1.12 KPa
S_s-1.3, S_s-0.4

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ROOF PLAN



FOR STRUCTURAL
ONLY

PROJECT:
PROPOSED:
PRIVATE
TWO STOREY MASONRY DWELLING

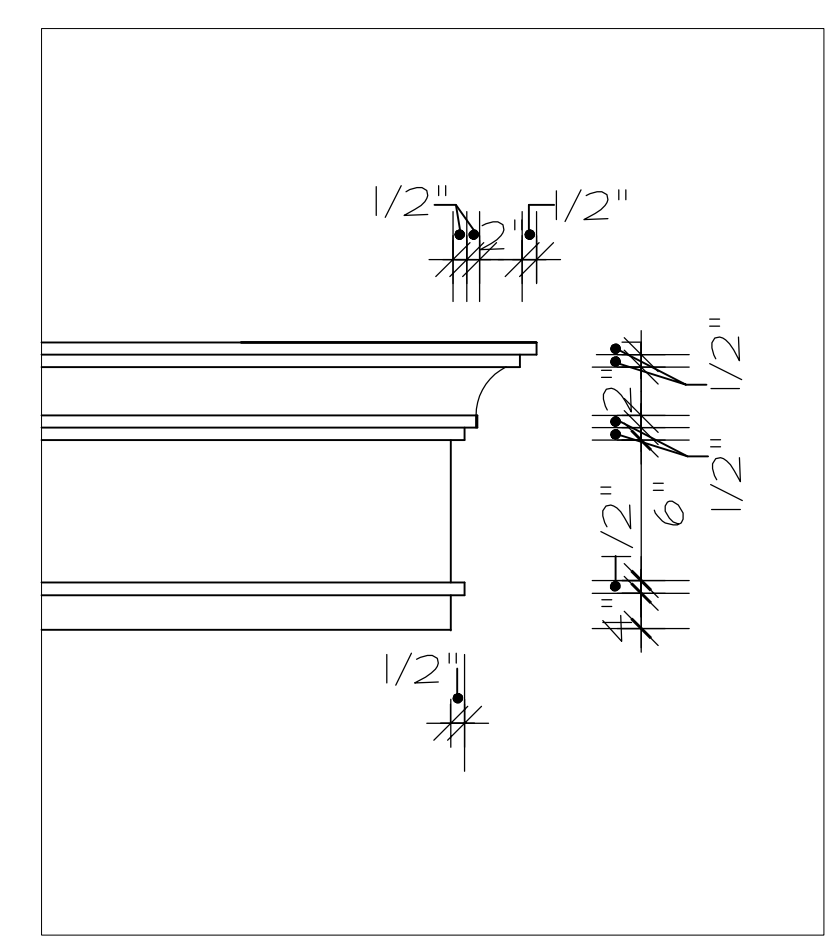
FOR:
MR & MRS NAV NIJHAWAN

AT:
16 CACHET PARKWAY

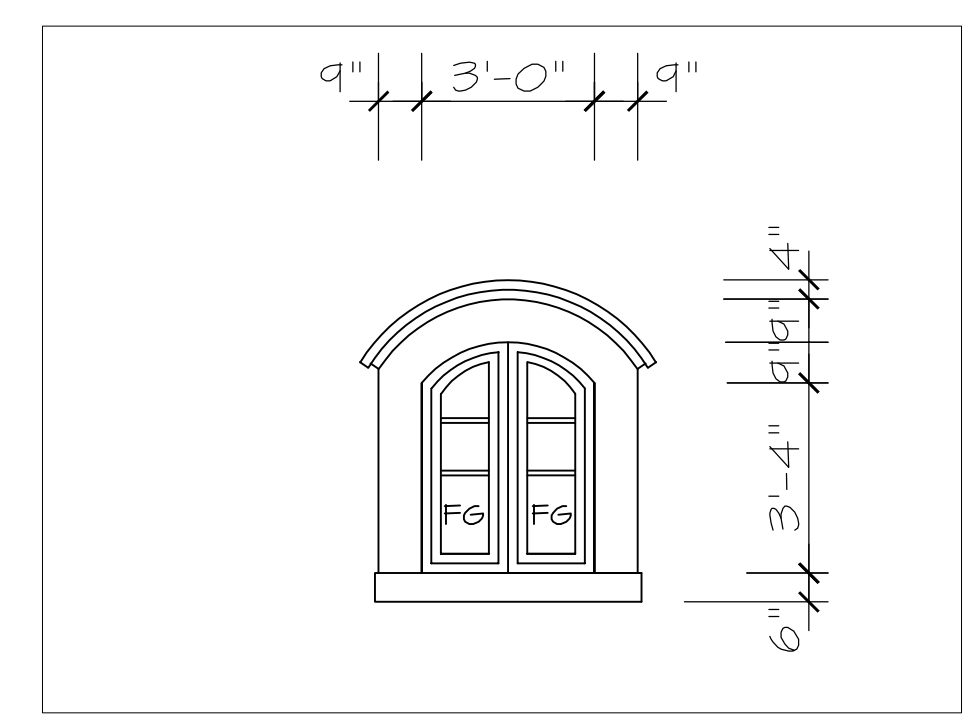
DRAWING TITLE:

ROOF PLAN

SCALE 3/16" = 1'-0"	PROJECT No. 21039
DATE MAY 2021	PAGE No. A5
DRAWN BY SS	
CHECKED BY	



FRIEZE BOARD DETAIL



DORMER DETAIL



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FRONT ELEVATION

AVERAGE GRADE = $205.80+205.85+205.13+202.60+202.60+202.60+202.69+202.69+205.10 / 9 = 203.89$



UNPROTECTED OPENINGS

WALL AREA	1157
ALLOWABLE GLAZED AREA @ 100% (15m SIDNEYARD)	1157
ACTUAL GLAZED AREA	212

UNPROTECTED OPENINGS

WALL AREA	712
ALLOWABLE GLAZED AREA @ 30% (5.9m SIDNEYARD)	213.6
ACTUAL GLAZED AREA	38.5

UNPROTECTED OPENINGS

WALL AREA	169
ALLOWABLE GLAZED AREA @ 100% (16.5m SIDNEYARD)	169
ACTUAL GLAZED AREA	66.8

SIDE ELEVATION



PROJ: PROPOSED:
 PRIVATE
 TWO STOREY MASONRY DWELLING
 FOR: MR & MRS NAV NIJHAWAN
 AT: 16 CACHET PARKWAY

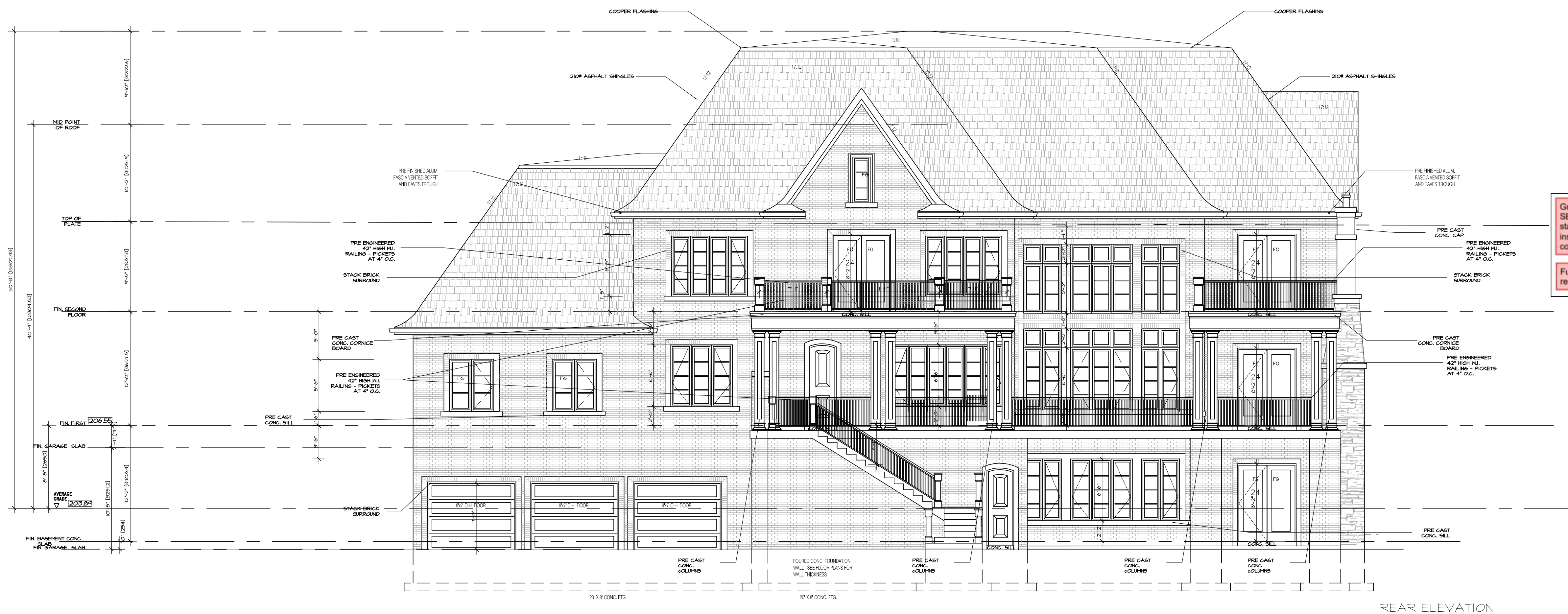
DRAWING TITLE:
 ELEVATIONS

SCALE: 3/16" = 1'-0"
 DATE: MAY 2021
 DRAWN BY: SS
 CHECKED BY: A6
 PROJECT No: 21039
 PAGE No: A6

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS DRAWINGS BY MANUFACTURER.

Guards to meet the requirements of OBC 2012 SB-7. Submit CCMC Documents and P.Eng stamped Shop Drawings for approval prior to installation if elements of the guards system contains non P.T Wood material.
 Full compliance to OBC 2012, Div. B, 9.15.4.6 (1) required.

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REAR ELEVATION

AVERAGE GRADE = $205.80 + 205.85 + 205.13 + 202.60 + 202.60 + 202.60 + 202.69 + 202.69 + 205.10 / 9 = 203.89$



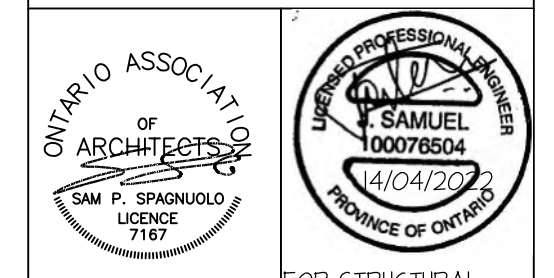
SIDE ELEVATION

UNPROTECTED OPENINGS

WALL AREA	952	⊕
ALLOWABLE GLAZED AREA @ 86% (13.7m SIDNEYARD)	818.72	⊕
ACTUAL GLAZED AREA	128	⊕

UNPROTECTED OPENINGS

WALL AREA	1975	⊕
ALLOWABLE GLAZED AREA @ 10.5% (2.37m SIDNEYARD)	207.4	⊕
ACTUAL GLAZED AREA	172	⊕

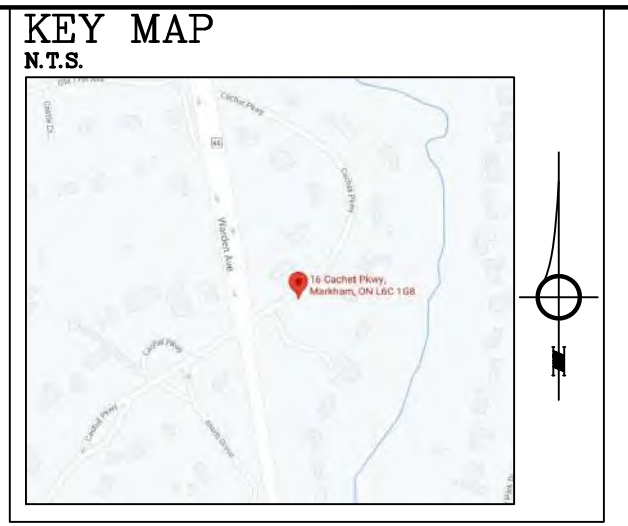
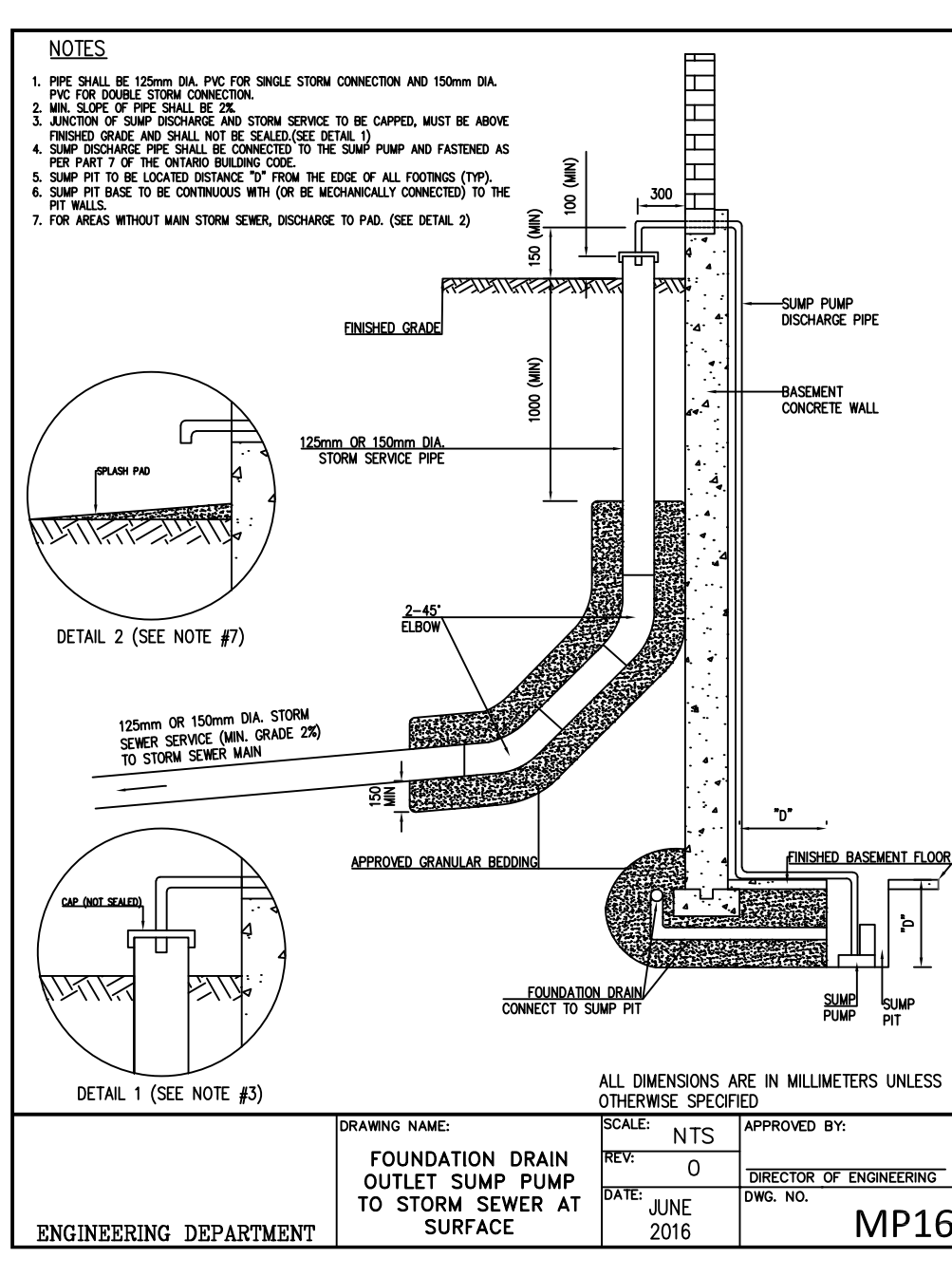
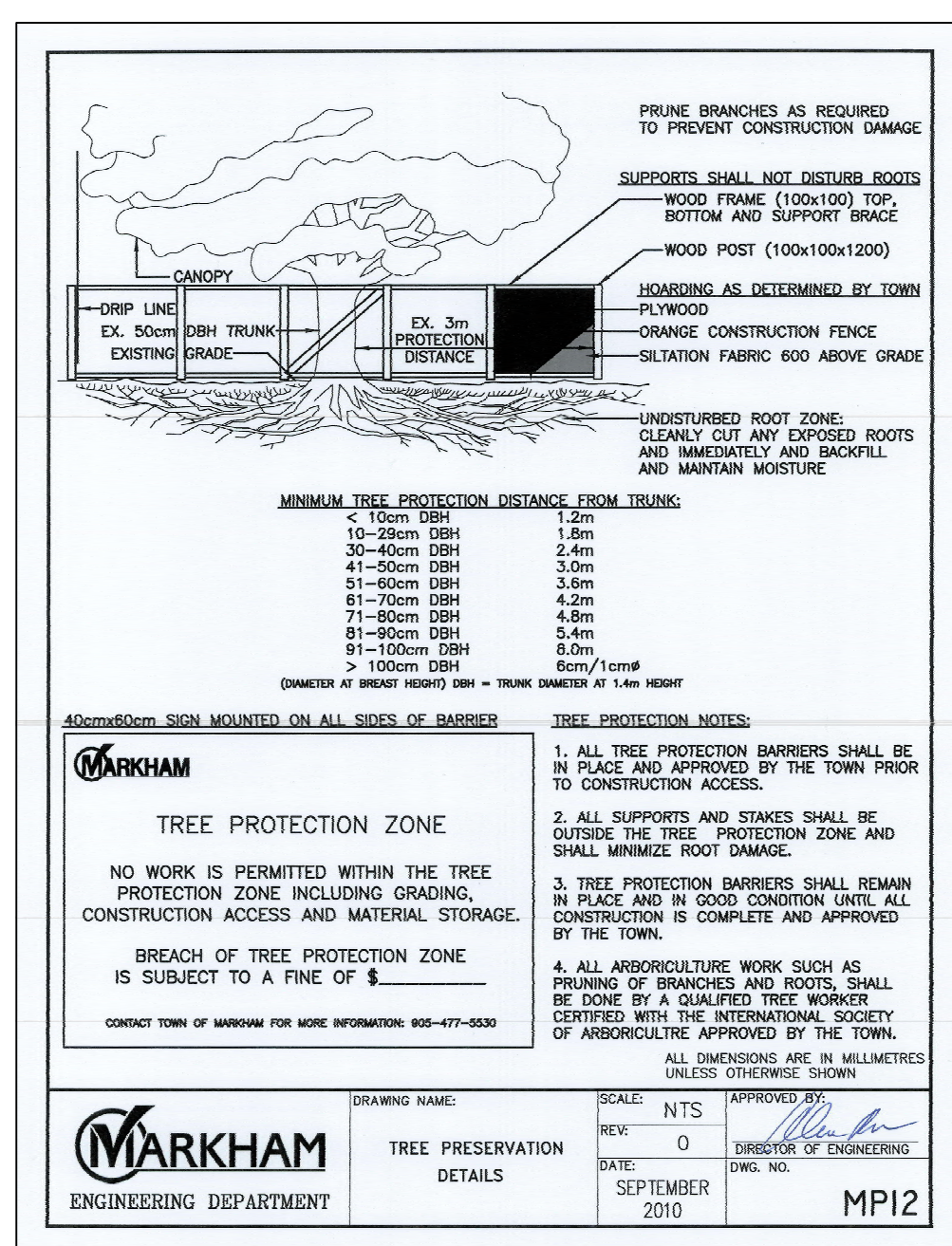
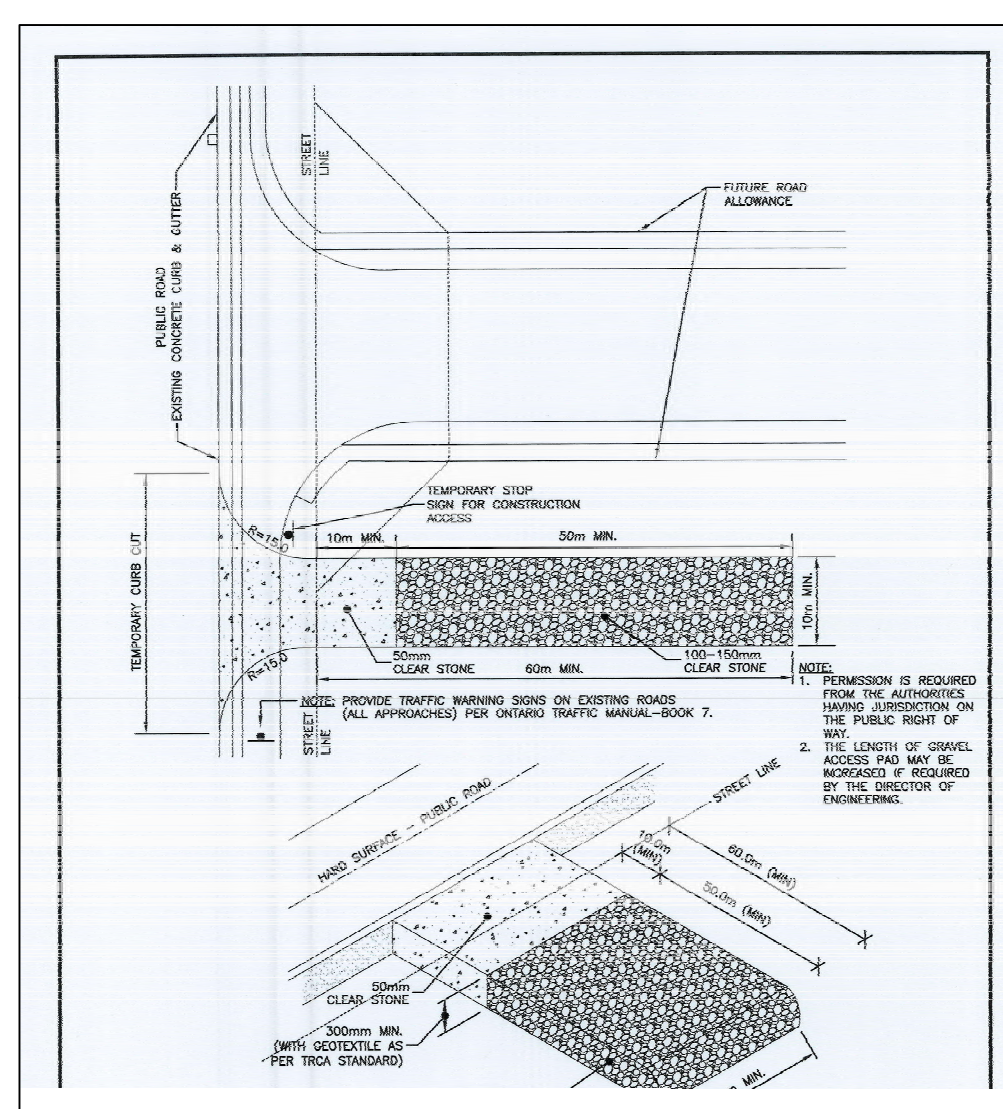
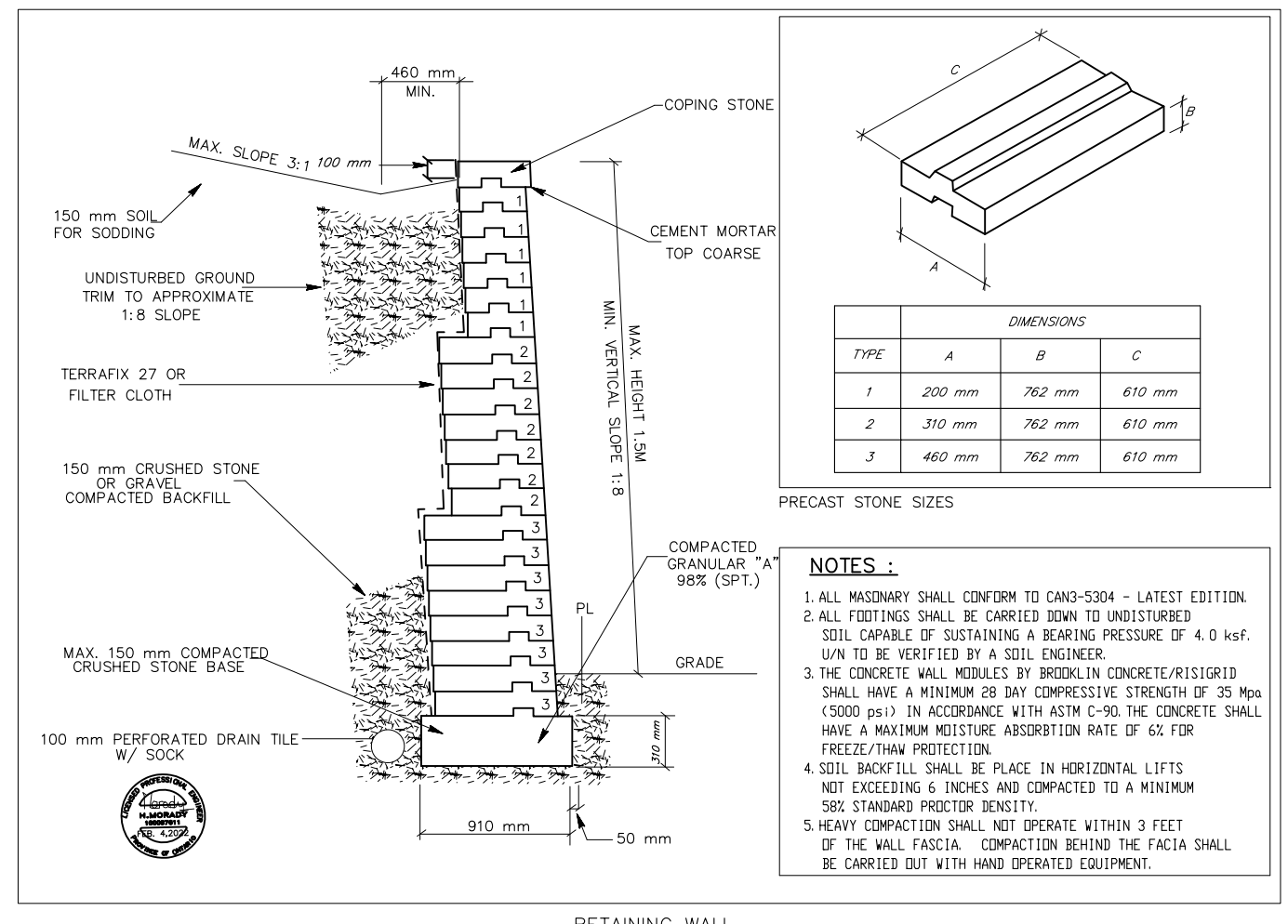


PROJECT PROPOSED:
 PRIVATE TWO STOREY MASONRY DWELLING
 FOR: MR & MRS NAV NIJHAVAN
 AT: 16 CACHET PARKWAY

DRAWING TITLE:
 ELEVATIONS

SCALE	3/16" = 1'-0"	PROJECT No.	21039
DATE	MAY 2021	DRAWN BY:	SS
CHECKED BY:		PRICE No.	A7

Revision Note
 SEPTEMBER 14, 2021 TRCA COMMENTS
 NOVEMBER 15, 2021 TRCA COMMENTS
 JANUARY 18, 2022 CITY COMMENTS
 FEBRUARY 16, 2022 ARBORIST REPORT
 JUNE 21, 2022 CITY COMMENTS
 OCTOBER 13, 2022 CITY COMMENTS



LOT GRADING PLAN
 (NO. 16 CACHET PARKWAY)
LOT 38
REGISTERED PLAN 6037
CITY OF MARKHAM
 REGIONAL MUNICIPALITY OF YORK
 SCALE: 1:250

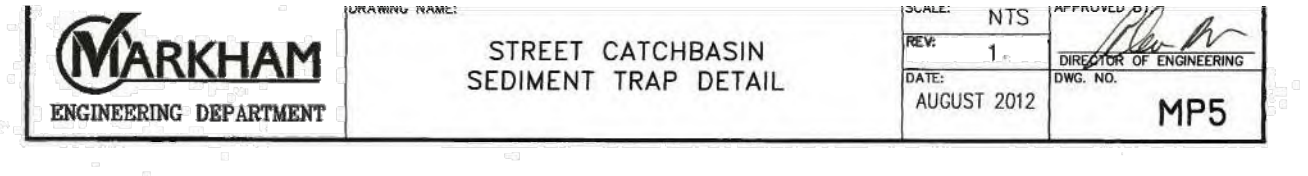
PEARSON & PEARSON SURVEYING LTD. 2021
 Ontario Land Surveyors
Metric
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Benchmark
 ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE CITY OF MARKHAM BENCHMARK.
 BENCHMARK: 092901597 ELEVATION = 211.20m

Note
 TREE CALIPERS ARE NOT TO ARBORIST STANDARDS AND FOR ARBORIST CALIPER REFER TO ARBORIST REPORT.

Legend

999.99	DENOTES	EXISTING ELEVATION
999.99	DENOTES	PROPOSED ELEVATION
FFE	DENOTES	FINISHED FLOOR ELEVATION
TW	DENOTES	TOP OF WALL ELEVATION
BS	DENOTES	BASEMENT SLAB ELEVATION
USF	DENOTES	UNDERSIDE FOOTING ELEVATION
TC	DENOTES	TOP OF CURB
CLF	DENOTES	CHAIN LINK FENCE
IF	DENOTES	IRON FENCE
FDN	DENOTES	TIES TO CONCRETE FOUNDATION
BR	DENOTES	TIES TO BRICK
OHW	DENOTES	OVERHEAD WIRES
UP	DENOTES	UTILITY POLE
GW	DENOTES	GUY WIRE
MH	DENOTES	MANHOLE
OS	DENOTES	DIAMETER (ROUND)
OS	DENOTES	DOOR SILL ELEVATION
OS	DENOTES	DECIDUOUS TREE WITH TRUNK DIAMETER
OS	DENOTES	CONIFEROUS TREE WITH TRUNK DIAMETER
OS	DENOTES	TREE TO BE REMOVED
OS	DENOTES	HIGH POINT
OS	DENOTES	RAINWATER LEADER TO DISCHARGE AT GRADE TO CONCRETE SPLASH PAD
OS	DENOTES	TREE PROTECTION FENCE PER MP12
OS	DENOTES	SILT FENCE (0.6m FROM PROPERTY LINE) PER MP11
OS	DENOTES	WATER VALVE & BOX



No.	City Comments	Date
2.	City Comments	June 21, 2022
1.	City Comments	February 2, 2022

Revision

No.	Description	Date
	No. 16 CACHET PARKWAY	
	OWNER: MONICA NIHWAN	
	APPLICATION: 21142356000 00 RGS	

NOTES

- ALL FOOTING FORMWORK ELEVATIONS AND SETBACKS ARE TO BE CONFIRMED BY A REGISTERED PROFESSIONAL ENGINEER OR REGISTERED ONTARIO LAND SURVEYOR PRIOR TO THE PLACING OF ANY CONCRETE.
- PRIOR TO THE SUPERSTRUCTURE WORKS PROCEEDING AND THE RELEASE OF THE COMPLETION STAGE PERMIT, THE OWNERS CONSULTANT MUST CERTIFY THAT THE TOP OF FOUNDATIONS ARE IN CONFORMITY WITH THE GRADING PLAN REVIEWED BY THE TOWN.
- ALL RAINWATER LEADERS SHALL DISCHARGE ONTO SPLASH PADS AT GROUND LEVEL AT THE LOCATIONS INDICATED ON THIS PLAN AS 4. EXISTING BOUNDARY ELEVATIONS ALONG THE SITE PERIMETER SHALL REMAIN UNDISTURBED. DRAINAGE RECEIVED FROM ADJACENT PROPERTIES SHALL BE ACCOMMODATED AND DRAINAGE FROM THE SUBJECT LANDS SHALL BE SELF CONTAINED.
- ALL YARD AREAS SHALL RECEIVE A MINIMUM OF 100mm OF TOPSOIL PLUS SOD.
- THE APPLICANT SHALL CONTACT THE OPERATIONS SECTION OF THE ENGINEERING & PUBLIC WORKS DEPARTMENT AND MAKE ALL ARRANGEMENTS NECESSARY FOR DRIVEWAY ACCESS AND SITE SERVICE CONNECTIONS.
- THE APPLICANT SHALL CONTACT THE TOWN'S ARBORIST FOR CONSENT PRIOR TO ANY TREE BEING REMOVED.
- THE APPLICANT SHALL CONTACT THE TOWN'S BUILDING SERVICES DIVISION A MINIMUM OF 48hrs. IN ADVANCE OF CONSTRUCTION OF ANY RETAINING WALL DEEMED TO BE A "DESIGNATED STRUCTURE" IN ORDER TO ARRANGE FOR ANY NECESSARY INSPECTIONS.
- THE APPLICANT IS RESPONSIBLE TO ENSURE THAT ALL CONSTRUCTION ACTIVITY AND FINAL PRODUCT CONFORMS TO ALL TOWN BYLAWS.

CERTIFICATION

"I HAVE REVIEWED THE PLANS FOR THE CONSTRUCTION OF A DETACHED DWELLING LOCATED AT NO. 16 CACHET PARKWAY AND HAVE PREPARED THIS PLAN TO INDICATE THE COMPATIBILITY OF THE PROPOSAL WITH ALL ADJACENT PROPERTIES. IT IS MY BELIEF THAT ADHERENCE TO THE PROPOSED ELEVATIONS AND GRADIENTS AS SHOWN WILL PRODUCE ADEQUATE SURFACE DRAINAGE WITHOUT DETRIMENTAL EFFECT TO THE EXISTING DRAINAGE PATTERNS OR ADJACENT PROPERTIES."

May 27, 2021
 Date
 Michele Pearson
 Ontario Land Surveyor

10933 JANE STREET, SECOND FLOOR, MAPLE ONTARIO, L6A 1S1
 O.: (289) 553-5453
 E.: michele@pearsonandpearson.com

DRAWING: 2015-CacheParkway16-GP.DWG PROJECT: 10
 CALC. BY: JM DRAWN BY: RS CHECKED BY: MP

APPENDIX C: EXTERNAL AGENCY COMMENTS FOR FILE A/215/22

Toronto and Region Conservation Authority

We understand the proposal involves the construction of a two-storey detached dwelling with rear deck, septic system, and driveway. The site is located south of Major Mackenzie Drive East and east of Warden Avenue in the City of Markham.

Policies and Regulations:

TRCA Regulation and Policy:

The subject property (16 Cachet Parkway) is partially located within a TRCA Regulated Area of the Rouge River Watershed as it contains a top of slope associated with a valley corridor and stream corridor and a Regulatory (Regional Storm) flood plain. In accordance with Ontario Regulation 166/06 (Development, Interference with Wetlands and Alterations to Shoreline and Watercourse Regulation), a permit is required from the TRCA prior to any new development taking place within this Regulated Area.

'Development' is defined as:

- I. the construction, reconstruction, erection or placing of a building or structure of any kind,
- II. any change to a building or structure that would have the effect of altering the use or potential
- III. use of the building or structure, increasing the size of the building or structure or increasing the number of dwelling units in the building or structure,
- IV. site grading, the temporary or permanent placing, dumping or removal of any material originating on the site or elsewhere.

TRCA staff were involved with the review of this proposal through the permit application CFN 65629 and have issued TRCA permit number C-211438 which is valid until **December 13, 2023**. TRCA staff note that the proposed detached dwelling and driveway are not consistent with TRCA's approved drawings, however, they appear to not be within TRCA's Regulated Area as per the related TRCA permit application. TRCA staff note that there appears to be new grading proposed around the proposed septic system as part of Minor Variance Application A/215/22. The additional grading will require a revision to Permit C-211438. TRCA staff recommends the proponent contact the undersigned for next steps with the Permit Revision – Minor application. Nevertheless, the proposed development (septic system and related grading) appears to be sufficiently setback from the top of slope. Therefore, TRCA has **no objection** to the proposed works.

Application Review Fee

As per TRCA's role as a commenting agency for *Planning Act* application circulated by member municipalities to assess whether a proposed development

may be impacted by TRCA, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. The submitted application is subject to a review fee in the amount of \$120 (2022 TRCA Planning Fee Schedule – Screening Letter). This fee can be submitted via Checkfront Online Payment System. I have not copied the Agent/Owner to provide the City of Markham the opportunity to review. Please forward this letter to the Agent/Owner upon completion of review.

Recommendation

In light of the above, TRCA staff have **no objection** to Minor Variance Application A/215/22, subject to the following conditions:

1. That the outstanding planning screening/review fee (\$120) be remitted to TRCA.
2. That the applicant obtains a Permit Revision for C-211438 from the TRCA under Ontario Regulation 166/06, as amended, for the proposed works.