

Memorandum to the City of Markham Committee of Adjustment
November 08, 2023

File: A/182/23
Address: 10950 Woodbine Avenue, Unit 16, Markham
Applicant: Studio Forma Interior Design Inc. (Stephanie Uprichard)
Hearing Date: Wednesday, November 15, 2023

The following comments are provided on behalf of the West Team:

The applicant is requesting relief from the following requirements of the Business Park (BP) zone in By-law 177-96, as amended, to permit:

a) Parking Standards By-law 28-97, Section 3.0 Table B, Industrial Uses:

a parking rate of 1 parking space per 62 m² of Gross Floor Area (GFA) for industrial uses; whereas, the By-law requires a parking rate of 1 parking space per 40 m² of net floor area of each premises up to 1,200 m², 1 parking space for each 100 m² of net floor area of each premises between 1,200 m² and 6,000 m², and 1 parking space for each 200 m² of net floor area of each premises in excess of 6,000 m²;

as it relates to the construction of a mezzanine within an existing unit.

BACKGROUND

Property Description

The subject property is approximately 2.56 ha (6.33 ac) in size and is located on the west side of Woodbine Avenue, south of Mobis Drive and west of Honda Boulevard. The subject property is currently developed with two industrial warehouse buildings. A previous Minor Variance application was approved in 2020 for the subject property (File A/024/20), which included a variance for a reduction in parking. It should be noted this Minor Variance application proposes a further reduction to the parking requirement for the subject property.

Proposal

The applicant is proposing to construct a 202.8 m² (2,183 ft²) mezzanine addition to the existing industrial unit. No exterior changes are proposed to the building.

Official Plan and Zoning

Official Plan 2014 (partially approved on November 24/17, and updated on April 9/18)

The subject property is designated "Business Park Employment" in the 2014 Official Plan. This designation is intended to provide for prestige, larger scale, industrial and office development in business park settings with high visibility and access to 400 series highways, arterial roads, and transit services. Uses provided for in the "Business Park Employment" designation include: office, manufacturing, warehousing, hotel, and trade and convention centre. These lands are also subject to the Highway 404 North (Employment) Area and Site Specific Policies under Section 9.10 of the Official Plan. These policies state, until an updated secondary plan is approved for the Highway 404

North (Employment) lands, the provisions of the Official Plan (Revised 1987), and the current Highway 404 North Secondary Plan, shall apply to the lands.

1987 Official Plan and Highway 404 North Secondary Plan

The 1987 Official Plan designates the subject property Industrial – “Business Park Area” under the 1987 Official Plan and Highway 404 North Secondary Plan. The intended function of these designations are for the development of office/industrial business parks characterized by high design standards including corporate head offices and research facilities. The visual attractiveness is of prime importance. Retail and service uses are strictly controlled.

The objective of the Highway 404 North Secondary Plan is to develop a significant employment area while accommodating a minor extension of the planned residential development. The Business Park Area designation provides for uses such as office, light industrial, accessory retail uses, hotels, institution uses, banks, and trade and conventions centres.

Zoning By-Law 177-96

The subject property is zoned Business Park (BP) under By-law 177-96, as amended, which permits uses such as banquet halls, business offices, financial institutions, hotels, industrial uses, medical offices, and trade and convention centres.

Parking Standards By-law 28-97

The proposed development does not comply with the standards of Parking By-law 28-97 with respect to minimum parking space requirements. Further discussion relating to the proposed parking variance is provided in the comments below.

Zoning Preliminary Review (ZPR) Not Undertaken

The Owner has confirmed that a Zoning Preliminary Review (ZPR) has not been conducted. However, the applicant has received comments from the Building Department through their permit process to confirm the variances required for the proposed development.

COMMENTS

The Planning Act states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained;
- d) The general intent and purpose of the Official Plan must be maintained.

Reduced Parking Rate Variance

The subject property currently provides for a total of 152 parking spaces. The proposed mezzanine addition will increase the parking requirement to 156 parking spaces, resulting in a deficiency of 4 parking spaces.

Transportation Staff have reviewed the parking letter submitted in support of the proposed parking reduction and are of the opinion that the requested variance is minor and unlikely to result in any significant impact on the parking supply. It should be noted the proposed reduction in parking requirements will apply only to industrial uses on the property. The current parking standards set out in Parking By-law 28-97, as they apply to all other permitted uses on the site will continue to apply.

Staff have no objections to the approval of the proposed parking reduction.

PUBLIC INPUT SUMMARY

No written submissions were received as of November 8, 2023. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

CONCLUSION

Planning Staff have reviewed the application with respect to Section 45(1) of The Planning Act, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variance request meets the four tests of the Planning Act and have no objection. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Please refer to Appendix "A" for conditions to be attached to any approval of this application.

PREPARED BY:



Hailey Miller, Planner II, West District

REVIEWED BY:



Rick Cefaratti, MCIP, RPP, Senior Planner, West District

APPENDIX "A"

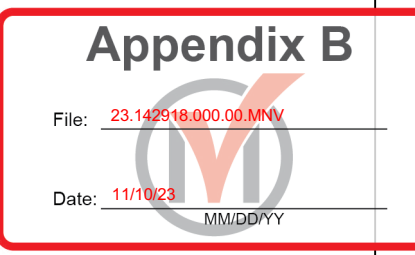
CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/182/23

1. The variances apply only to the proposed development as long as it remains;
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as 'Appendix B' to this Staff Report, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction.

CONDITIONS PREPARED BY:



Hailey Miller, Planner II, West District



SITE STATISTICS - LOT 2

TOTAL SITE AREA	25,600.9M (2,56 HA)
TOTAL NET AREA	23,790.6M (2,379 HA)
TOTAL GROUND FLOOR AREA (m ²)	6,291.29
LOT COVERAGE	32%
TOTAL LANDSCAPE AREA (m ²)	3,388.40
LANDSCAPE %	13%

LOT 2	
CONDO 1 & 2	
	Required / Proposed
LANDSCAPE BUFFER AREA	
EAST BUFFER (m)	6.00 / 6.00
WEST BUFFER (m)	3.00 / 0.00
SOUTH BUFFER (m)	6.00 / 6.00
NORTH BUFFER (m)	6.00 / 4.50
REQUIRED FRONT YARD BUILDING SETBACK (m)	6.00 / 14.85
REQUIRED EXTERIOR SIDE YARD BUILDING SETBACK (m)	3.00 / 19.25
REQUIRED INTERIOR SIDE YARD BUILDING SETBACK (m)	3.00 / 7.66
REQUIRED REAR YARD BUILDING SETBACK (m)	NA / NA
MTO SETBACK	NA / NA

LOT INFORMATION	CONDO 1	CONDO 2
	PHASE 1	
OFFICE (m ²)	1,933.54	934.51
INDUSTRIAL AREA (m ²)	3,952.47	2,250.77
TOTAL BUILDING GFA (m ²)	5,105.01	3,185.28
MECH/ELEC ROOM (m ²)	21.08	21.08
STAGING AREA (m ²)	NA	NA
NET FLOOR AREA (m ²)	5,084.93	3,164.20

City of Markham Parking Standards Bylaw 28-97
 Parking is calculated for each individual industrial premises as follows:
Industrial:
 - Net floor area up to 1200 sq. m: 1 parking space per 40 sq. m or portion thereof of net floor area
 - Net floor area between 1200 sq. m and 6000 sq. m: 1 parking space per 100 sq. m or portion thereof of net floor area
 - Net floor area exceeds 6000 sq. m: 1 parking space per 200 sq. m or portion thereof of net floor area
 - Accessible: 5% of total parking stalls
 - Committee of Adjustment Minor Variance Application A024/20
 - 1 space per 60 m² of Gross Floor Area (GFA)

"Floor Area, Net" means the aggregate of the gross floor areas of a building above or below established grade, but excluding:
 - motor vehicle parking areas within the building;
 - elevator shafts and other service and mechanical shafts;
 - waste/recycling rooms and penthouses;
 - warehouses;
 - waste/recycling rooms;
 - air conditioning and roof rooms;
 - loading areas;
 - any space within a floor to ceiling height of less than 1.8 metres, and;
 - any part of a basement that is unfinished, is used solely for storage purposes and is not accessible to the public.

PARKING CALCULATION	CONDO 1	CONDO 2
	TOTAL PARKING REQUIRED FOR EACH BUILDING (1 SPACE PER 60 SQ. M)	85
TOTAL PARKING PROVIDED ON SITE	138	71
Total Parking Provided	138	71

NO. OF PARKING SPACES PROVIDED PER BUILDING	CONDO 1	CONDO 2
	TOTAL NO. OF PARKING SPACES PROVIDED: BARRIER FREE PARKING SPACES:	83
	71	42

PARKING STALL DIMENSIONS	STANDARD	ACCESSIBLE
		2.75m x 5.5m
	2.5m x 6.7m	2.5m x 6.7m

WARE MALCOMB
 Leading Design for Commercial Real Estate

180 base pre mills drive, suite 103
 Vaughan, Ontario, L4K 5W4
 p 905.880.1211
 f 905.248.3344
 a business name of WMA Inc.

**BERKSHIRE AXIS
 MARKHAM**

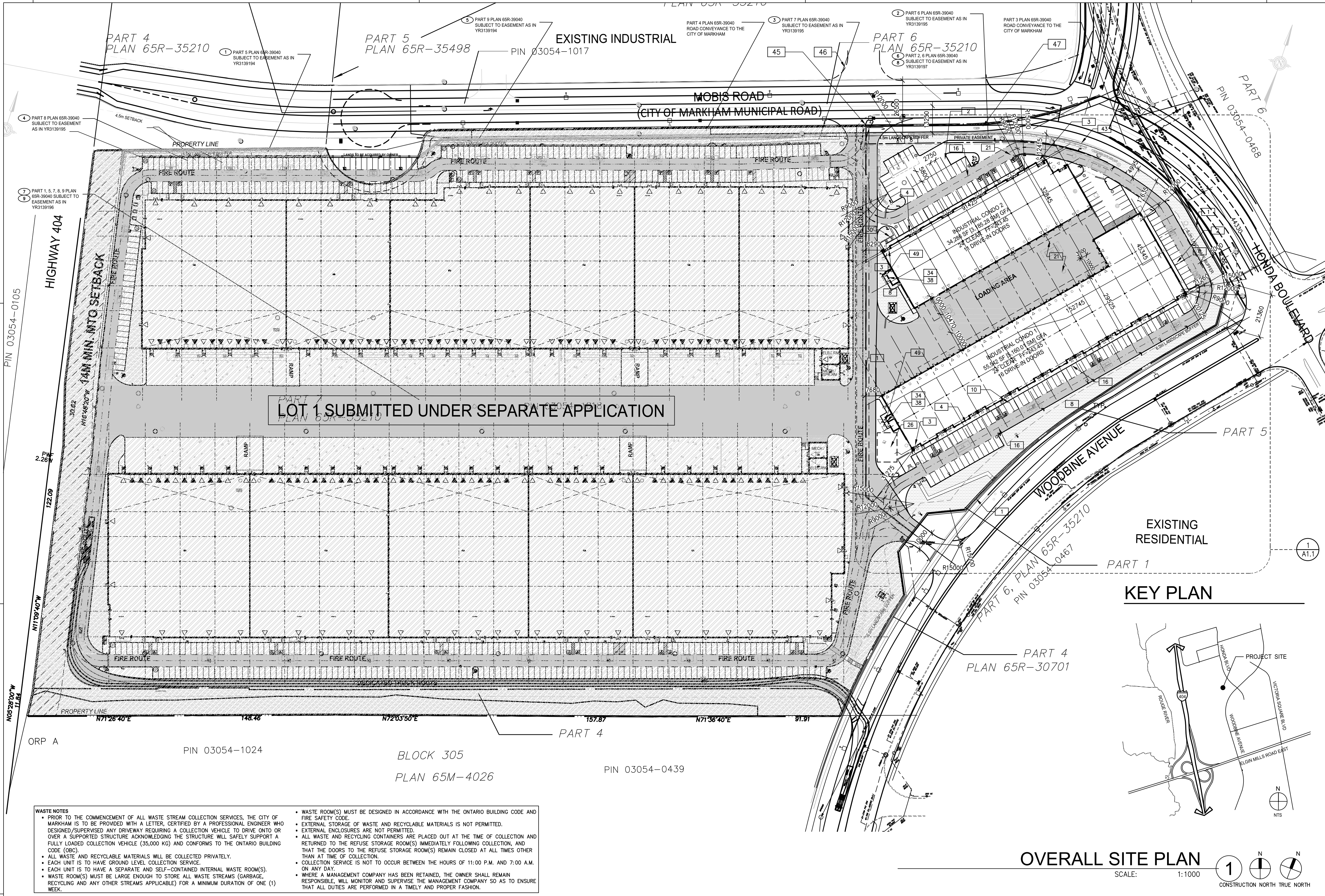
**MOBIS ROAD
 MARKHAM, ONTARIO**

OVERALL SITE PLAN

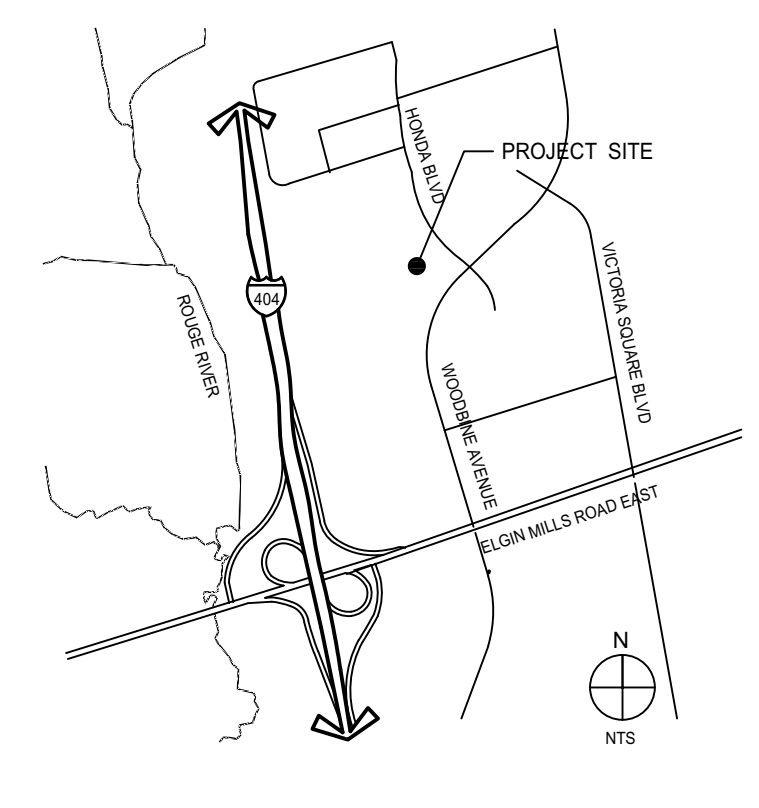
DATE	REMARKS
2021-04-28	ISSUED FOR PERMIT
2021-06-10	ISSUED FOR TENDER

PA/PM:	CA/LN
DRAWN BY.:	NM
JOB NO.:	TOR19-0077-00

SHEET
A1.0
 CITY FILE #: SPC.20.119174 REGION FILE #: SP.20.M.0138



KEY PLAN



OVERALL SITE PLAN

SCALE: 1:1000

SITE PLAN NOTES

- EXISTING PROPERTY LINE
- 2750x5800 PARKING STALL, PAINTED PARKING STRIPPING PER CITY MARKHAM MUNICIPAL STANDARDS.
- PRINCIPLE ENTRY - TENANT FIT-UP SUBJECT TO INTERIOR ALTERATION PERMIT
- 1800mm MIN. WIDE SIDEWALK TYPICAL U.N.O
- DRIVE-IN RAMP, WITH GALVANIZED GUARDRAIL. SEE CIVIL DRAWING FOR SLOPE %
- ACCESSIBLE EXTERIOR CONCRETE RAMP.
- CONCRETE APRON
- LANDSCAPE AREA - SEE LANDSCAPE DWGS.
- EXTERIOR STEEL STAIRS W/ TUBE STEEL GUARDRAIL, TYP.
- TYPICAL SHARED ACCESSIBLE PARKING STALLS, PAINTED PARKING STRIPING PER CITY OF MARKHAM MUNICIPAL STANDARDS. EACH PAIR OF SHARED STALL TO HAVE (2) 2600X5800 LONG WITH A 1500mm WIDE PAINTED BARRIER FREE AISLE AND SIGNAGE REFER TO ONTARIO INTEGRATED ACCESSIBILITY STANDARDS.
- 150mm WIDE CURB TYPICAL
- EMPLOYEE AMENITY AREA - SEE LANDSCAPE DWGS.
- FIRE DEPARTMENT CONNECTION / SIAMSE
- TRUCK LOADING DOCK (TYPICAL)
- LOADING SPACE, TYP.
- FIRE ACCESS ROUTE W/ 12.0M TURNING RADIUS () PROVIDE FIRE ROUTE SIGNAGE AS REQUIRED BY CITY OF MARKHAM - SPACED 30m APART ON BOTH SIDES AND MAX. 15m FROM STREET CURB
- RETAINING WALL. SEE CIVIL DWNG.
- LINE OF CANOPY ABOVE
- PROPOSED LOCATION OF MECHANICAL ROOM
- PROPOSED LOCATION OF ELECTRICAL ROOM
- HATCHED AREA DENOTES HEAVY DUTY ASPHALT. TYPICAL FOR ALL AREAS REQUIRING FIRE TRUCK OR TRACTOR TRUCK ACCESS
- PAINTED PEDESTRIAN PATH
- ROAD CURB AND SIDEWALK TO BE CONTINUOUS THROUGH THE DRIVEWAY. DRIVEWAY GRADE TO BE COMPATIBLE WITH EXIST. SIDEWALK AND A CURB DEPRESSION WILL BE PROVIDED AT EACH ENTRANCE. SITE ENTRANCE PER CITY STANDARD.
- PROPOSED LOCATION OF GAS METER
- CURB RADII AT ENTRANCES WITHIN MUNICIPAL SIDEWALK LIMITS TO - SEE CIVIL DWGS.
- TEMPORARY SNOW STORAGE AREA
- TRCA DRIP LINE STAKING AS OF DECEMBER 9TH, 2019.
- REDI ROCK RETAINING WALL. REFER TO CIVIL DWGS.
- BIKE RACKS. SEE LANDSCAPE DWG.
- 10700mm HEIGHT GUARDRAIL AND HANDRAIL
- CONCRETE TOE WALL SYSTEM - SEE CIVIL DWGS.
- GUARDRAIL OPSD 912.140 - SEE CIVIL DWGS.
- TYPICAL LOADING SPACE 18280 X 2845
- FIRE ALARM SYSTEM ANNUNCIATION PANEL OUTSIDE OF ELECTRICAL ROOM

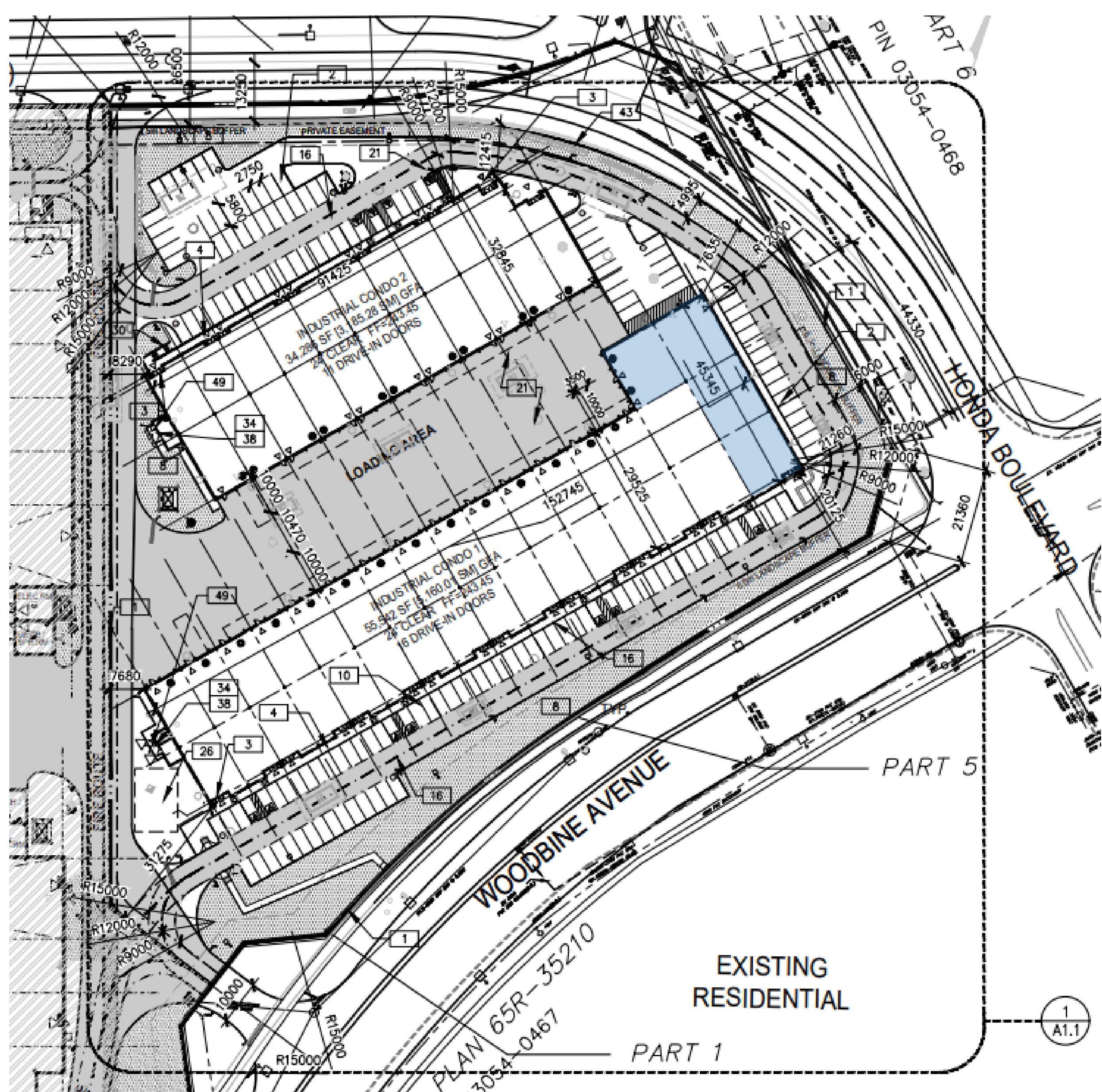
SITE LEGEND

- CARPOOL PARKING SPACE WITH TYP. SIGNAGE.
- ALL LANDSCAPING WITHIN 14m MTO SETBACK IS NON-ESSENTIAL AND SHOULD MTO REQUIRE THESE FEATURES BE REMOVED, THEY WILL BE REMOVED AT THE SOLE COST OF THE PROPERTY OWNER, AT NO COST OR LIABILITY TO MTO
- PROPOSED REVISED PROPERTY LINE
- PROVIDE RAPID ENTRY KEY BOX TO BE LOCATED ADJACENT TO THE EXTERIOR DOOR OF THE SPRINKLER ROOM
- WASTE COLLECTION AREA AND TENANT FIT-UPS SUBJECT TO INTERIOR ALTERATION PERMIT
- CONCRETE STAIRS. PROVIDE GUARDRAIL AND HANDRAIL AS PER OBC REQUIREMENTS
- EXISTING LIGHT POLE TO BE RELOCATED-SEE ELECTRICAL DWGS.
- NEW LIGHT POLE LOCATION-SEE ELECTRICAL DWGS.
- PROPOSED WOODBINE CENTRE MEDIAN
- NEW PROPERTY LINE
- PROPOSED LOCATION OF TRANSFORMER-SEE ELECTRICAL DWGS.
- MODIFICATION TO THE ACCESS INCLUDING THE CONCRETE MEDIAN TO BE CONSTRUCTED BY THE REGION/CITY AT THE TIME OF THE FUTURE MIDBLOCK CROSSING CONSTRUCTION AT NO COST TO THE OWNER
- EXISTING ACCESS OF 10 MOBIS DRIVE TO BE REMOVED AND RELOCATED.
- 30000mm WIDE MULTI-USE PATHWAY TYING INTO EXISTING HONDA BLVD SIDEWALK
- GUARD RAIL SYSTEM. REFER TO CIVIL DRAWINGS FOR EXTENT AND CONSTRUCTION
- FIRE SERVICES RAPID ENTRY KEY BOX.

EASEMENT DESCRIPTION

- INSTRUMENT YR3139194 PART 5 ON PLAN 65R-39040 FLYOVER EMBANKMENT EASEMENT IN FAVOR OF THE REGION OF YORK.
- INSTRUMENT YR3139195 PART 6 ON PLAN 65R-39040 TEMPORARY EASEMENT IN FAVOR OF THE REGION OF YORK.
- INSTRUMENT YR3139195 PART 7 ON PLAN 65R-39040 TEMPORARY EASEMENT IN FAVOR OF THE REGION OF YORK.
- INSTRUMENT YR3139195 PART 8 ON PLAN 65R-39040 TEMPORARY EASEMENT IN FAVOR OF THE REGION OF YORK.
- INSTRUMENT YR3139194 PART 9 ON PLAN 65R-39040 FLYOVER EMBANKMENT EASEMENT IN FAVOR OF THE REGION OF YORK.
- INSTRUMENT YR3139197 PART 2, 6 ON PLAN 65R-39040 ACCESS AND PASSAGE EASEMENT IN FAVOR OF PIN 03054-1201 (LT)
- INSTRUMENT YR3139196 PART 1, 5, 7, 8, 9 ON PLAN 65R-39040 ACCESS AND PASSAGE EASEMENT IN FAVOR OF PIN 03054-1202 (LT)
- INSTRUMENT YR3139197 PART 2, 6 ON PLAN 65R-39040 SERVING EASEMENT IN FAVOR OF PIN 03054-1201 (LT)
- INSTRUMENT YR3139196 PART 1, 5, 7, 8, 9 ON PLAN 65R-39040 SERVING EASEMENT IN FAVOR OF PIN 03054-1202 (LT)

ITEM	ONTARIO BUILDING CODE DATA MATRIX PARTS 3&9		OBC REFERENCE	
PROJECT: INDUSTRIAL BUILDING 1, UNIT 16 10950 WOODBINE AVE, MARKHAM, ON				
1	PROJECT DESCRIPTION: <input type="checkbox"/> UNIT FINISH OF 1ST FLOOR UNIT #16 (F2) & ADDITION OF AN OPEN MEZZANINE FOR STORAGE (F2)	<input type="checkbox"/> PART 11 2.1.1 [A]	<input checked="" type="checkbox"/> PART 3 2.1.1 [A]	<input type="checkbox"/> PART 9 2.1.1 [A] 9.10.1.3
2	MAJOR OCCUPANCY(S): GROUP F2 (OFFICES ON FIRST FLOOR IS SUBSIDIARY OCCUPANCY)		3.1.2.1.(1)	9.10.2
3	BUILDING AREA (m ²) EXISTING 5,157.87m ² NEW N/A TOTAL 5,157.87m ²		1.4.1.2 [A]	1.4.1.2 [A]
4	GROSS AREA EXISTING 5,157.87m ² NEW 202.8m ² TOTAL 5,360.67m ²		1.4.1.2 [A]	1.4.1.2 [A]
4A	UNIT AREA (m ²): 700.4 m ² PERMIT SCOPE OF WORK (1ST FLOOR + MEZZANINE) EXISTING 700.4 m ² + NEW 202.8m ² = 903.2m ²		-	-
5	NUMBER OF STOREYS ABOVE GRADE 1 BELOW GRADE 0		3.2.2.10 & 3.2.5	9.10.20
6	HEIGHT OF BUILDING (m) 8.82- m		-	2.1.1.3
7	NUMBER OF STREETS/ACCESS ROUTES 2		3.2.2.20&3.2.5.5	-
8	BUILDING CLASSIFICATION GROUP F-2 3.2.2.70B (OFFICES AREA ON 1ST FLOOR IS SUBSIDIARY OCCUPANCY TO THE F-2)		3.2.2.20-83	9.10.2
9	SPRINKLER SYSTEM PROPOSED <input checked="" type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> BASEMENT ONLY <input type="checkbox"/> IN LIEU OF ROOF RATING <input type="checkbox"/> NOT REQUIRED - EXISTING BUILDING		3.2.2.20-83 3.2.1.5 3.2.2.17 INDEX	9.10.8.2 INDEX
10	STANDPIPE REQUIRED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		3.2.9	-
11	FIRE ALARM REQUIRED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		3.2.4	9.10.18
12	WATER SERVICE/ SUPPLY IS ADEQUATE <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO		3.2.5.7	-
13	HIGH BUILDING <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		3.2.6	-
14	PERMITTED CONSTRUCTION <input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input checked="" type="checkbox"/> BOTH ACTUAL CONSTRUCTION <input type="checkbox"/> COMBUSTIBLE <input checked="" type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH		3.2.2.20-83	9.10.6
15	MEZZANINE(S) AREA m ² 202.80 m ² STORAGE		3.2.1.1.(3)-(8)	9.10.4.1
16	OCCUPANT LOAD BASED ON <input type="checkbox"/> m ² /PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING 1st FLOOR OCCUPANCY F-2 LOAD 20 PERSONS (15 FRONT AREA 5 WAREHOUSE) MEZZANINE LEVEL OCCUPANCY F-2 LOAD 0 PERSONS		3.1.17 3.4.3.4	9.9.1.3
17	BARRIER-FREE DESIGN <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (NOT REQUIRED)		3.8	9.5.2
18	HAZARDOUS SUBSTANCES <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO		3.3.1.2. & 3.3.1.10	9.10.1.3(4)
19	REQUIRED FIRE RESISTANCE RATING (FRR)	HORIZONTAL ASSEMBLIES FRR (HOURS)	LISTED DESIGN NO. OR DESCRIPTION (SG-2)	9.10.8 9.10.9
		FLOORS N/A	-	
		ROOF 0	-	
		MEZZANINE 0	NON-COMB. 3.2.2.70B	
		FRR OF SUPPORTING MEMBERS	LISTED DESIGN NO. OR DESCRIPTION (SG-2)	
		FLOORS 45 MINS	-	
		ROOF - MINS	-	
		MEZZANINE 0 MINS	-	
20	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS		3.2.3	9.10.14
	WALL	AREA OF EBF (m ²)	LD (m)	L/H OR H/L (m)
		EXISTING TO REMAIN		
	NORTH			
	NORTH			
21	PLUMBING FIXTURES REQUIREMENTS			
	MALE/FEMALE COUNT @ 50%-50%	OCCUPANT LOAD	TABLE NUMBER	FIXTURES REQUIRED
	OCCUPANT LOAD AS PER DESIGN 3.1.17.1(1)(C)	10M	T.3.7.4.7	2
	1ST FLOOR OCCUPANCY 20 PERSONS	10F	T.3.7.4.7	2
	MEZZANINE OCCUPANT LOAD 0 PERSONS	0M	T.3.7.4.7(2)	0
	0F	T.3.7.4.7(2)	0	
A BARRIER FREE UNISEX WASHROOM IS PROVIDED FOR THE 1ST FLOOR				



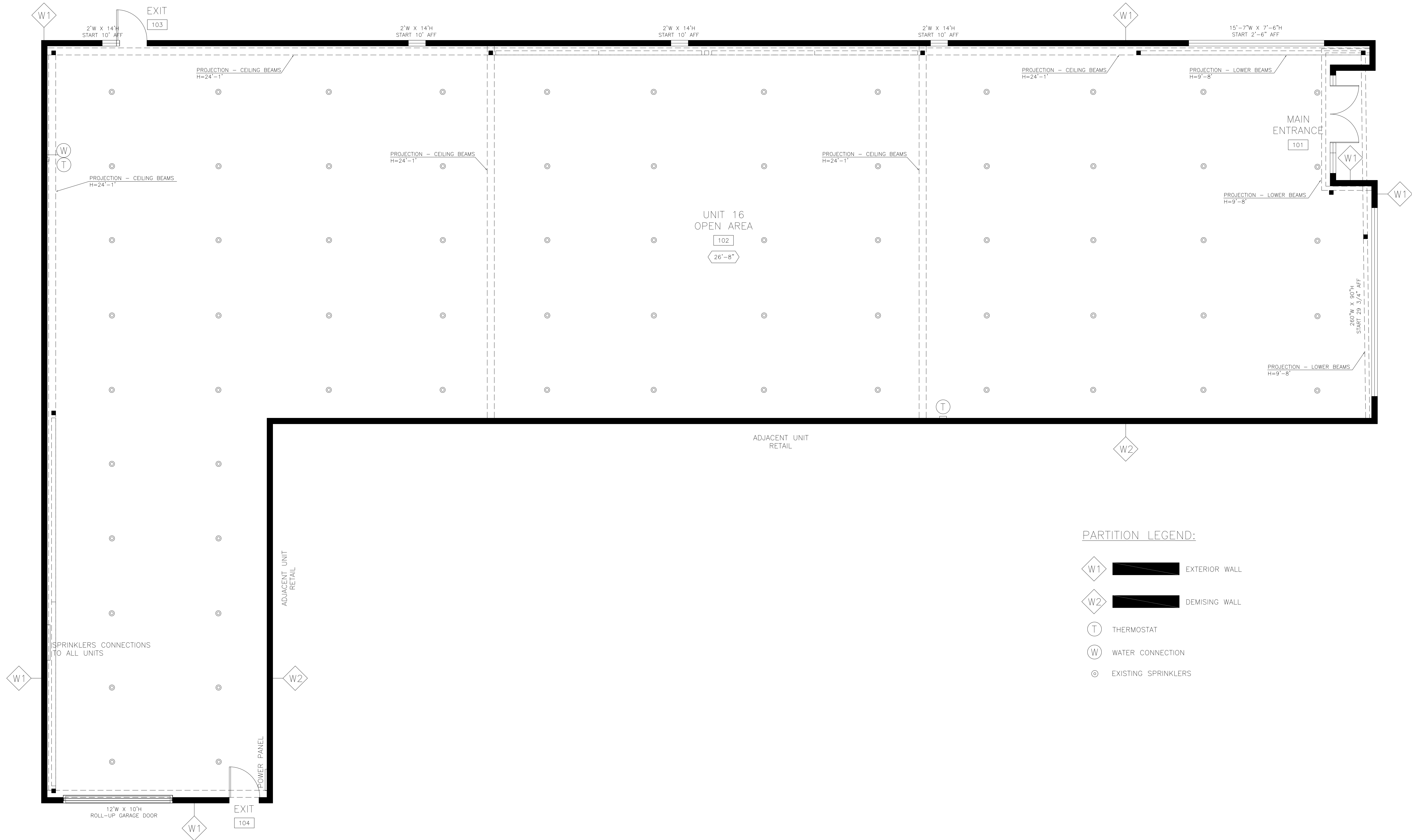
FOR QUESTIONS ABOUT THESE DRAWINGS PLEASE CONTACT:
 STUDIO FORMA INTERIOR DESIGN INC.
 1100 GORHAM ST. UNIT #18,
 NEWMARKET ON L3Y 8Y8
 DESIGN@STUDIOFORMA.CA
 WWW.STUDIOFORMA.CA
 905-252-0947

DATE: JUNE 16, 2023






PROJECT:
 DEAN CLEAN
 INDUSTRIAL BUILDING 1, UNIT 16
 10950 WOODBINE AVE, MARKHAM, ON

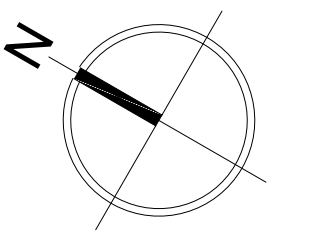
SHEET TITLE:
 TABLE - ONTARIO BUILDING CODE DATA MATRIX

SHEET NUMBER:
 A



PARTITION LEGEND:

-  EXTERIOR WALL
-  DEMISING WALL
-  THERMOSTAT
-  WATER CONNECTION
-  EXISTING SPRINKLERS



FOR QUESTIONS ABOUT THESE DRAWINGS PLEASE CONTACT:
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SHEET TITLE:

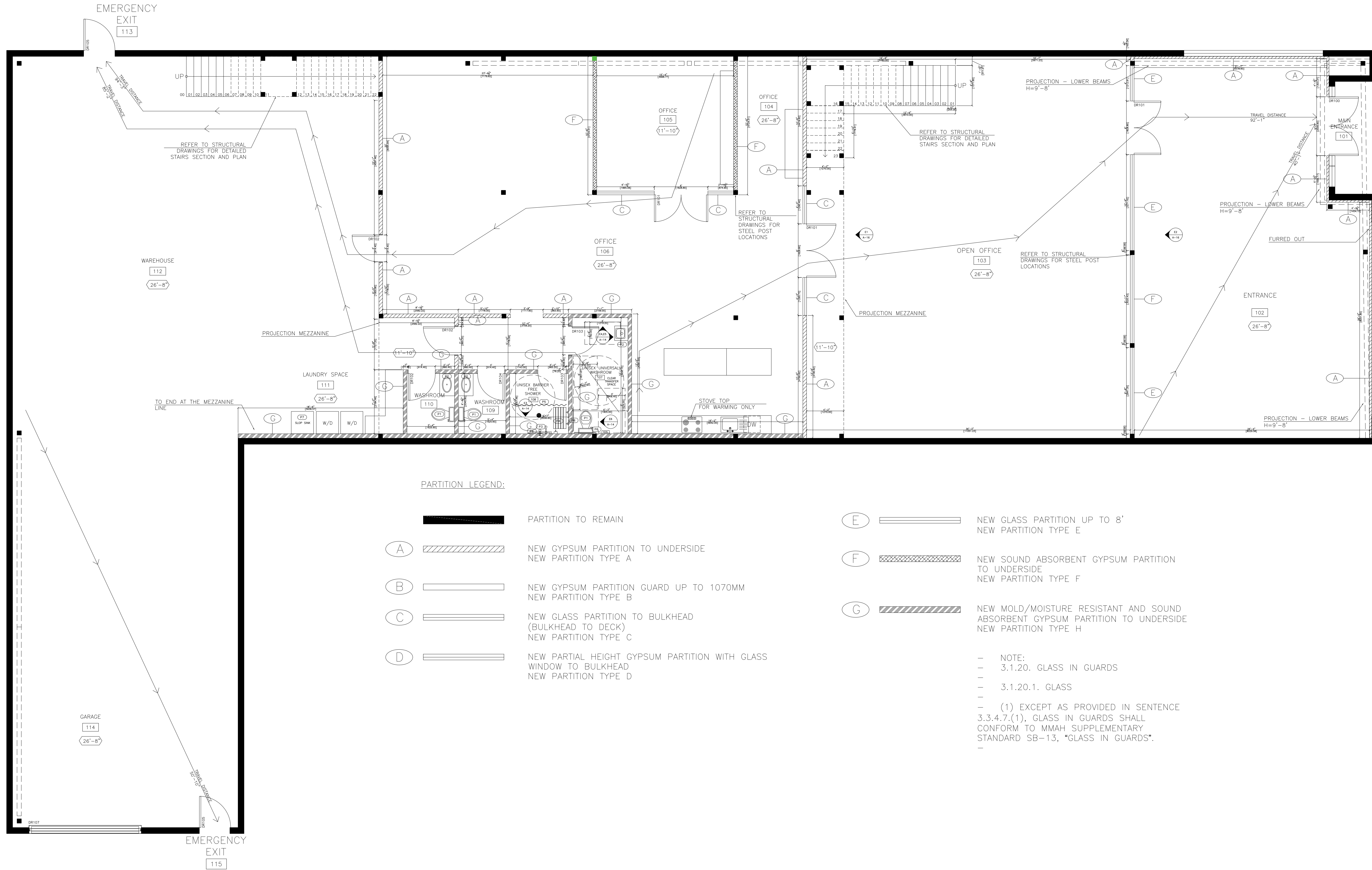
BASE BUILDING
 PLAN

SHEET NUMBER:

A-0

P1 BASE BUILDING PLAN

A-0 3/16"=1'0"



FOR QUESTIONS ABOUT THESE DRAWINGS PLEASE CONTACT:
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 NEWMARKET ON L3Y 8Y8
 DESIGN@STUDIOFORMA.CA
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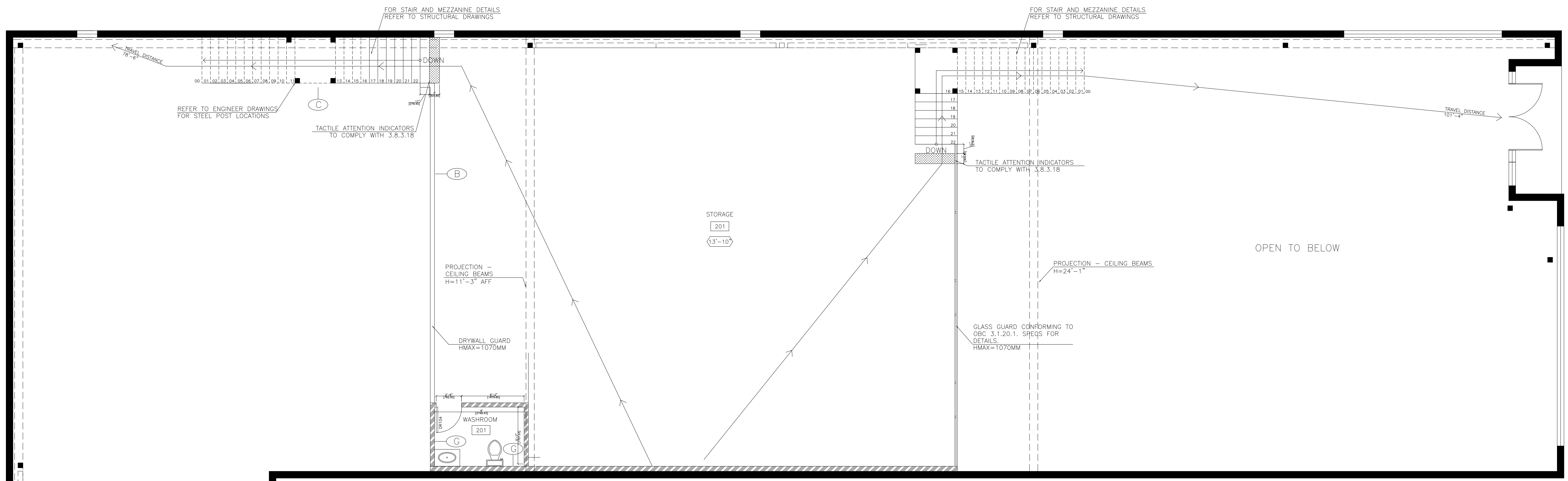
DATE: JUNE 16, 2023

PROJECT:
 DEAN CLEAN
 INDUSTRIAL BUILDING 1, UNIT 16
 10950 WOODBINE AVE, MARKHAM, ON

SHEET TITLE:
 PARTITION AND MILLWORK PLAN
 MAIN FLOOR

SHEET NUMBER:
 A-1

P1 PARTITION AND MILLWORK PLAN – MAIN FLOOR
 A-1 3/16"=1'0"



PARTITION LEGEND:

- | | | | |
|--|--|--|--|
| | PARTITION TO REMAIN | | NEW GLASS PARTITION UP TO 8'
NEW PARTITION TYPE E |
| | NEW GYPSUM PARTITION TO UNDERSIDE
NEW PARTITION TYPE A | | NEW SOUND ABSORBENT GYPSUM PARTITION
TO UNDERSIDE
NEW PARTITION TYPE F |
| | NEW GYPSUM PARTITION GUARD UP TO 1070MM
NEW PARTITION TYPE B | | NEW MOLD/MOISTURE RESISTANT AND SOUND
ABSORBENT GYPSUM PARTITION TO UNDERSIDE
NEW PARTITION TYPE H |
| | NEW GLASS PARTITION TO BULKHEAD
(BULKHEAD TO DECK)
NEW PARTITION TYPE C | | |
| | NEW PARTIAL HEIGHT GYPSUM PARTITION WITH GLASS
WINDOW TO BULKHEAD
NEW PARTITION TYPE D | | |

NOTE:
 - 3.1.20. GLASS IN GUARDS
 - 3.1.20.1. GLASS
 - (1) EXCEPT AS PROVIDED IN SENTENCE 3.3.4.7.(1), GLASS IN GUARDS SHALL CONFORM TO MMAH SUPPLEMENTARY STANDARD SB-13, "GLASS IN GUARDS".

FOR QUESTIONS ABOUT THESE DRAWINGS PLEASE CONTACT:
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 1100 GORHAM ST. UNIT #18,
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PROJECT:
 DEAN CLEAN
 INDUSTRIAL BUILDING 1, UNIT 16
 10950 WOODBINE AVE, MARKHAM, ON

SHEET TITLE:
 PARTITION AND
 MILLWORK PLAN
 MEZZANINE

SHEET NUMBER:
 A-2

P1 PARTITION AND MILLWORK PLAN – MEZZANINE
 A-2 3/16"=1'0"