

Memorandum to the City of Markham Committee of Adjustment

October 10, 2023

File: A/128/23
Address: 16 Forest Park Crescent, Markham (Thornhill)
Applicant: Elsa Corsetti
Agent: Napa Design Group Inc. (Lou Parente)
Hearing Date: Wednesday, October 18, 2023

The following comments are provided on behalf of the West District Team.

The Applicant is requesting relief from the following “Third Density Single Family Residential (R3)” zone requirements of By-law 2237, as amended, as it relates to a proposed two-storey single detached dwelling with a front covered porch, entrance addition, raised sloped roof, and rear covered porch and stairs. The variance requested is to permit:

a) By-law 2237, Section 6.1:

a maximum lot coverage of 41.67 percent (3,331 ft²), whereas the by-law permits a maximum lot coverage of 33.33 percent (2,664 ft²).

BACKGROUND

Property Description

The 742.69 m² (7,994.25 ft²) Subject Lands are located on the south side of Forest Park Crescent, north of Pomona Mills Park, and generally east of Henderson Avenue (refer to Appendix “A” – Aerial Photo). The Subject Lands are located within an established residential neighbourhood comprised of a mix of one and two-storey detached dwellings. The surrounding area is undergoing a transition with newer dwellings being developed as infill developments. Mature vegetation exists across the property with two mature trees in the front yard.

There is an existing 301.40 m² (3,244.34 ft²) one-storey detached dwelling on the Subject Lands which was constructed in 1976, according to assessment records. The rear portion of the Subject Lands is traversed by a valley corridor associated with the Don River Watershed, and therefore it is partially located within the regulated area of the Toronto and Region Conservation Authority (TRCA).

Proposal

The Applicant is proposing to construct a two-storey single detached dwelling with a gross floor area of 309.44 m² (3,330.92 ft²), which includes an 8.043 m² (86.58 ft²) front covered porch, a 10.994 m² (118.34 ft²) main entrance addition over existing covered porch, a new raised sloped roof (2.74 metres or 9 feet), and a new 26.203 m² (282.05 ft²) rear covered porch and stairs to replace the previously existing rear covered porch and stairs due to recent fire damage, as shown in Appendix “B”.

Official Plan and Zoning

Official Plan 2014 (partially approved on November 24/17, and updated on April 9/18)

The Subject Lands are designated “Residential Low Rise”, which permits low rise housing forms including single detached dwellings. Section 8.2.3.5 of the Official

Plan outlines development criteria for the “Residential Low Rise” designation with respect to height, massing and setbacks. The purpose of this development criteria is to ensure that the development is appropriate for the site and generally consistent with the zoning requirements for adjacent properties and properties along the same street. In considering applications for development approval in a “Residential Low Rise” area, which includes variances, infill development is required to meet the general intent of these development criteria. Regard shall also be had for retention of existing trees and vegetation, the width of proposed garages and driveways. Planning staff have had regard for the requirements of the infill development criteria in the preparation of the comments provided below.

Zoning By-Law 2237, as amended

The Subject Lands are zoned “Third Density Single Family Residential (R3)” under By-law 2237, as amended, which permits a single detached dwelling. The proposed development does not comply with the By-law requirements with respect to maximum lot coverage.

Applicant’s Stated Reason(s) for Not Complying with Zoning

According to the information provided by the Applicant, the reason for not complying with Zoning is “It is not possible to comply because the existing house has an original coverage of 40.58% and we are proposing a New Front Addition, a Second Floor Loft Bedroom, a New Rear Covered Porch to replace "Fire Damaged" Existing Rear Porch and A New Front Covered Porch required for accessibility requirements as the homeowners are seniors and one has mobility issues.”

Zoning Preliminary Review (ZPR) Not Undertaken

The Applicant has confirmed that a Zoning Preliminary Review (ZPR) has not been conducted. However, the Applicant has received comments from the building department through their permit process (HP 22 266431) to confirm the variances required for the proposed development.

COMMENTS

The *Planning Act* states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained;
- d) The general intent and purpose of the Official Plan must be maintained.

Increased Maximum Lot Coverage Variance

The Applicant is requesting relief for a maximum lot coverage of 41.67 percent (3,331 ft² or 309 m²), whereas the By-law permits a maximum lot coverage of 33 1/3 percent (2,664ft² or 247 m²). The proposed lot coverage includes the front covered porch which adds approximately 8.043 m² (86.58 ft²) to the overall building area. Excluding the front covered porch, the proposed development has a lot coverage of 40.58 percent which is 1.09 percent more than the existing lot coverage.

Staff are of the opinion that the proposed increase in lot coverage will not significantly add to the scale and massing of the dwelling and the proposed dwelling addition is minor in nature.

Heritage Markham Comments

As the Subject Lands are located *adjacent* (within 60m) to a *cultural heritage resource* (the *Thornhill Heritage Conservation District*), *Heritage Markham Committee review is required*. At its closest point, the southern edge of the subject lands is approximately 15m from the northern boundary of the District within Pomona Mills Park. The 2014 Official Plan directs that the municipality will review applications for *development approval* and *site alteration* on *adjacent lands* to an individually designated property or a heritage conservation district to require mitigative measures and/or alternative development approaches in order to conserve the *heritage attributes* affected. This review may include measures to ensure compatibility with the characteristics, context and appearance of the *heritage attributes* affected”.

Heritage Markham Committee reviewed this application on October 11, 2023 and indicated no comment from a heritage perspective. Heritage Planning Staff commented that they had no objections to the requested variances from a heritage perspective due to the fact that the subject lands are located on the opposite side of the Pomona Valley from the Heritage District in a modern subdivision and do not believe that this application has any negative visual or physical impact on the heritage attributes of the Heritage District.

TRCA Comments

The TRCA provided comments via email dated October 10, 2023 indicating that they have no objections to the proposed minor variance application subject to conditions as detailed in Appendix “D”.

PUBLIC INPUT SUMMARY

No written submissions were received as of October 10, 2023. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

CONCLUSION

Planning Staff have reviewed the application with respect to Section 45(1) of the *Planning Act*, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variance request meets the four tests of the *Planning Act* and have no objection. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the *Planning Act* required for the granting of minor variances.

Please refer to Appendix “C” for conditions to be attached to any approval of this application.

PREPARED BY:



Hussnain Mohammad, Planner 1, Development Facilitation Office

REVIEWED BY:



Rick Cefaratti, MCIP RPP, Senior Planner II, West District

APPENDICES

Appendix "A" – Aerial Context Photo

Appendix "B" – Plans

Appendix "C" – A/128/23 Conditions of Approval

Appendix "D" – TRCA Comments



Legend

 Subject Lands

1: 1,128 

57.3 0 28.65 57.3 Meters

Notes

SURVEYOR'S REAL PROPERTY REPORT
 PLAN OF
 LOT 65
 REGISTERED PLAN M-1325
 TOWN OF MARKHAM
 (REGIONAL MUNICIPALITY OF YORK)

SCALE 1" = 15'
 0 5 10 15 20 30 40 Feet

IMPERIAL
 DISTANCES SHOWN HEREON ARE IN FEET
 AND CAN BE CONVERTED TO METRES BY
 MULTIPLYING BY 0.3048.

NOTE
 1) THIS PLAN MUST BE READ IN
 CONJUNCTION WITH SURVEY REPORT
 DATED JUNE 27th, 2002.
 2) THIS PLAN AND REPORT WERE PREPARED
 FOR MAURO & ELSA CORSETTI
 AND THE UNDERSIGNED ACCEPTS NO
 RESPONSIBILITY FOR USE BY OTHER
 PARTIES.

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 WRITTEN PERMISSION FROM RABIDEAU & CZERWINSKI,
 ONTARIO LAND SURVEYORS.

BEARING NOTE

BEARINGS ARE ASTRONOMIC AND ARE REFERRED
 TO THE WESTERLY LIMIT OF FOREST PARK CRESCENT
 HAVING A BEARING OF N 38° 00' 00" W
 AS SHOWN ON REGISTERED PLAN M-1325.

LEGEND

□	DENOTES	MONUMENT PLANTED
■	DENOTES	MONUMENT FOUND
— —		WITNESS
CC		CUT CROSS
IB		IRON BAR
RP		REGISTERED PLAN M-1325
PJ/1137		P. JAYSON, O.L.S.
ET		E. TAYLOR, O.L.S.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT :

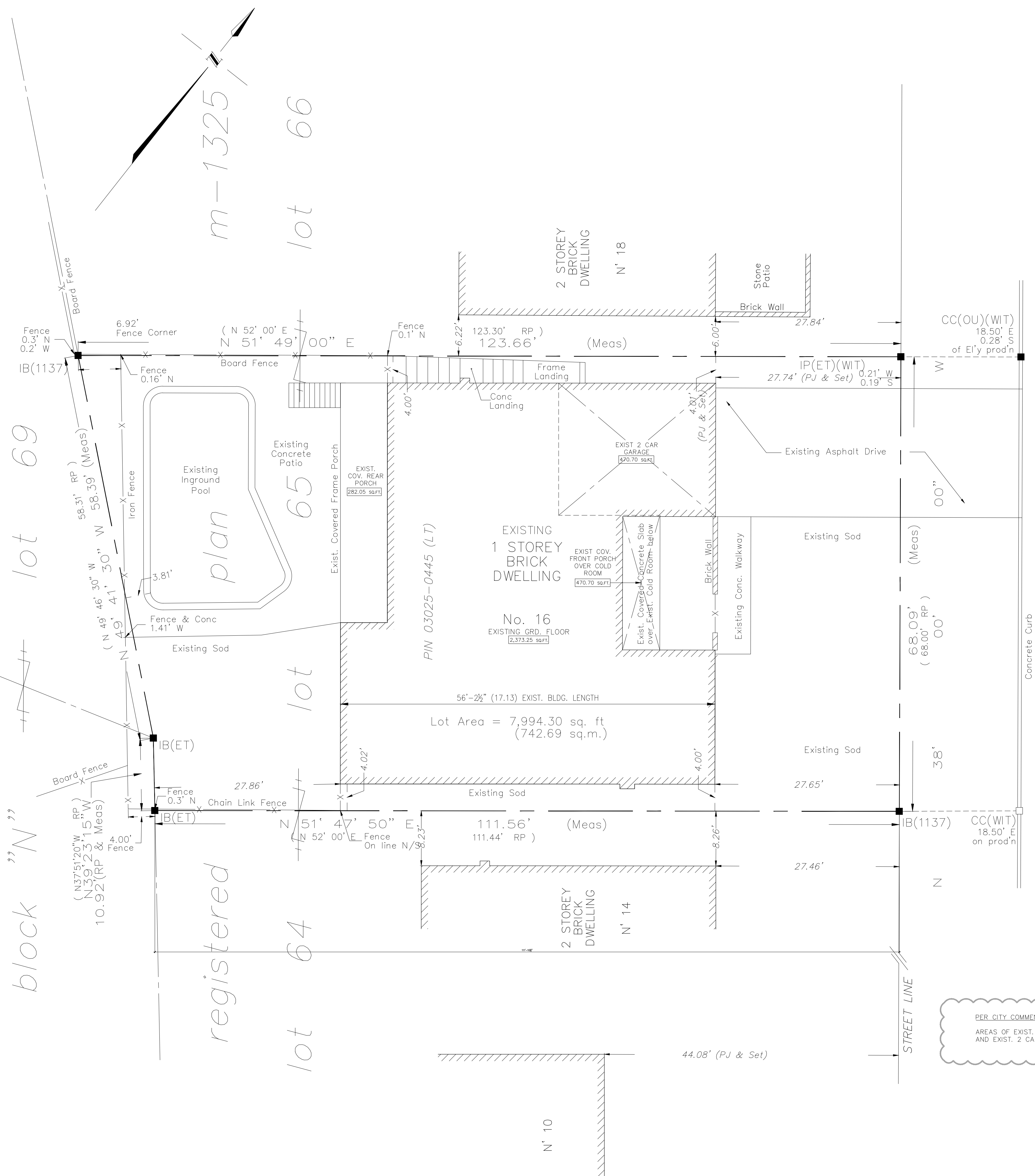
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON MAY 24th, 2002.

DATE _____ TOM CZERWINSKI
 Ontario Land Surveyor

R&C
RABIDEAU & CZERWINSKI
 ONTARIO LAND SURVEYORS
 777 THE QUEENSWAY, UNIT E, TORONTO, ONTARIO
 M8Z 1N4 (416) 252-2511

DRAWN : A.W. SEPP CHECKED BY : TCZ PLAN N : RC5444

PER CITY COMMENTS
 AREAS OF EXIST. GRD. FLOOR, EXIST. COVERED PORCHES
 AND EXIST. 2 CAR GARAGE ADDED



FOREST PARK CRESCENT
 (by Registered Plan M-1325)
 PIN 03025-0622

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer

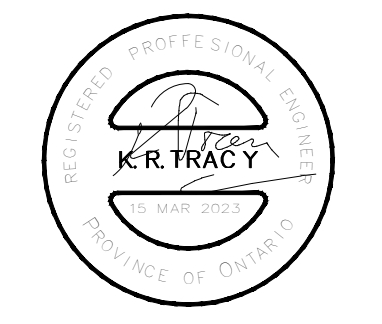
QUALIFICATION INFORMATION	
Required unless design is exempt under 2.17.5.1 of the Building Code	REGISTRATION INFORMATION
NAME: RABIDEAU & CZERWINSKI	REG. NO.: 33346
COMPANY: RABIDEAU & CZERWINSKI	REG. DATE: 2002

ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM THE DESIGNER.

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE DESIGNER.

DO NOT SCALE DRAWINGS.

ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE.



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2	CITY COMMENTS	MAR 15 2023
1	CONST./PERMIT PLANS	DEC 01 2022
No.	REVISION / ISSUE	DATE

NAPA design
 Napa Design Group Inc.
 47 Loweswater Ave.
 Unionville, Ontario, L3R7W8
 lou@napadg.com
 HO 905 477-3833 C 416 930-6337

Project
 PROPOSED ADDITION FOR
Elsa & Mauro Corsetti
 16 Forest Park Crescent
 Markham, Ontario
 L3T 2M6
 416 587 5222

Drawing Name ORIGINAL SURVEY	
Drawing by LP	Project No. 22-000
Date APRIL 2022	Drawing No.
Scale 1/8" = 1'-0"	A-1a
Checked LP	

Original Survey
 SCALE 1/8" = 1'-0"

INFORMATION SHOWN TAKEN FROM
SURVEYOR'S REAL PROPERTY REPORT
PLAN OF

LOT 65
REGISTERED PLAN M-1325
TOWN OF MARKHAM
(REGIONAL MUNICIPALITY OF YORK)

SCALE 1" = 15'
0 5 10 15 20 30 40 Feet

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AS SHOWN ON REGISTERED PLAN M-1325.

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- MONUMENT FOUND
- WIT WITNESS
- CC CUT CROSS
- IB IRON BAR
- RP REGISTERED PLAN M-1325
- PJ/1137 P. JAYSON, O.L.S.
- ET E. TAYLOR, O.L.S.

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DATE _____ TOM CZERWINSKI
Ontario Land Surveyor

RABIDEAU & CZERWINSKI
ONTARIO LAND SURVEYORS
777 THE QUEENSWAY, UNIT E, TORONTO, ONTARIO
M8Z 1N4 (416) 252-2511
DRAWN BY: A.W. SEPP CHECKED BY: TCZ PLAN N°: RC5444

SITE ANALYSIS EXISTING

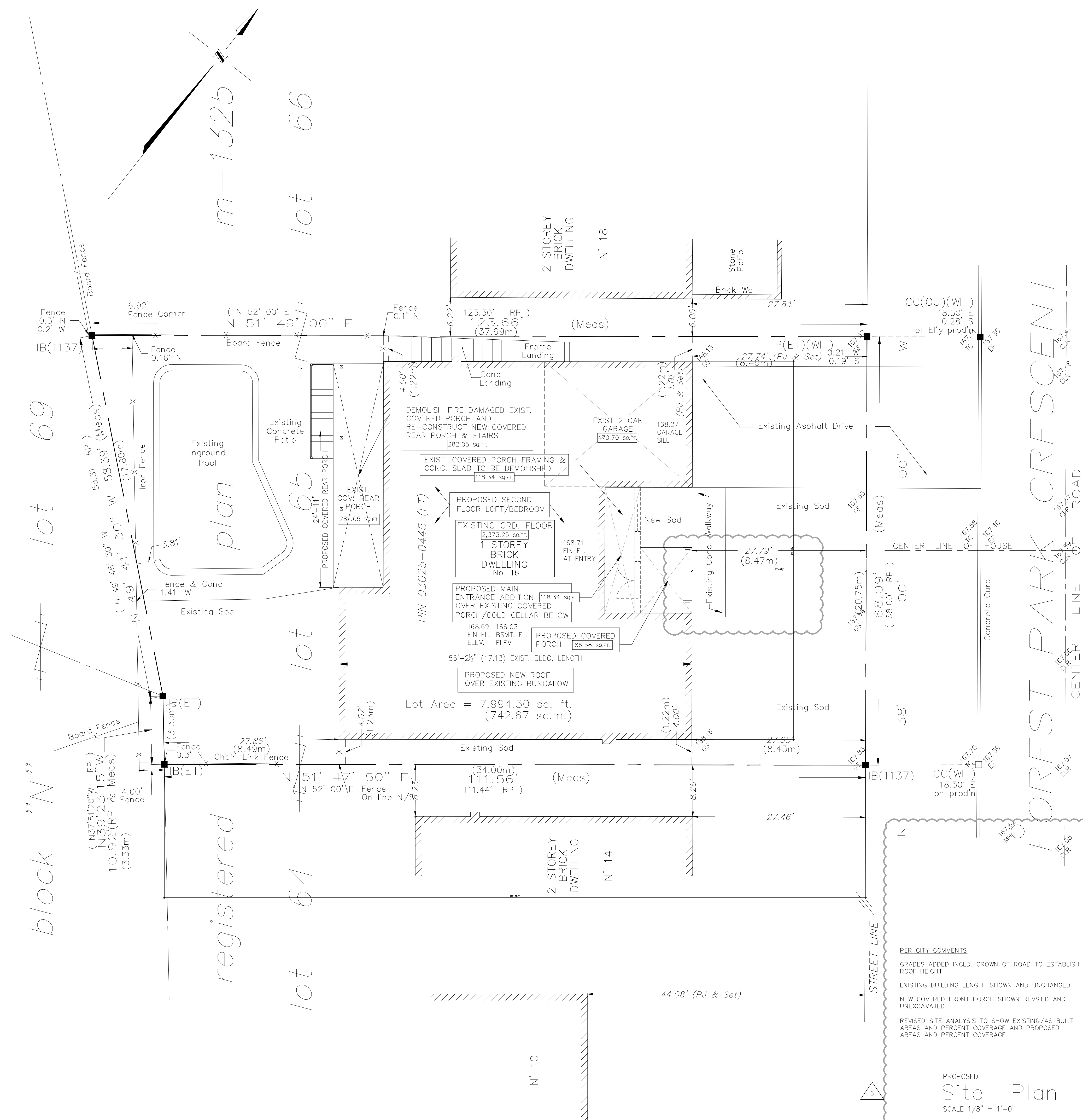
LOT AREA	742.69 SQ.M.	7,994.30 SQ.FT.
AREA OF EXISTING GROUND FLOOR	220.48 SQ.M.	2,373.25 SQ.FT.
AREA OF EXISTING 2 CAR GARAGE	43.73 SQ.M.	470.70 SQ.FT.
AREA OF EXISTING REAR COVERED PORCH	26.20 SQ.M.	282.05 SQ.FT.
AREA OF EXISTING FRONT COVERED PORCH	10.99 SQ.M.	118.34 SQ.FT.
AREA OF TOTAL EXISTING FOOTPRINT	301.40 SQ.M.	3,244.34 SQ.FT.
EXISTING PERCENTAGE LOT COVERAGE	40.58 %	

SITE ANALYSIS PROPOSED

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PROPOSED ENTRANCE ADDITION OVER EXISTING COLD RM. AND EXIST. FRONT COVERED PORCH	10.99 SQ.M.	118.34 SQ.FT.
PROPOSED FRONT COVERED PORCH	8.04 SQ.M.	86.58 SQ.FT.
AREA OF TOTAL PROPOSED FOOTPRINT	309.44 SQ.M.	3,330.92 SQ.FT.
PROPOSED PERCENTAGE LOT COVERAGE	41.67 %	

PROPOSED
Site Plan
SCALE 1/8" = 1'-0"

PER CITY COMMENTS
GRADES ADDED INCLD. CROWN OF ROAD TO ESTABLISH
ROOF HEIGHT
EXISTING BUILDING LENGTH SHOWN AND UNCHANGED
NEW COVERED FRONT PORCH SHOWN REVISED AND
UNEXCAVATED
REVISED SITE ANALYSIS TO SHOW EXISTING/AS BUILT
AREAS AND PERCENT COVERAGE AND PROPOSED
AREAS AND PERCENT COVERAGE



The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer
Required unless design is exempt under 2.17.5.1 of the Building Code
QUALIFICATION INFORMATION
NAME: MAURO & ELSA CORSETTI
REGISTRATION INFORMATION
Required unless design is exempt under 2.17.4.1 of the Building Code
TRACON Services Inc. 33346
COMPANY: TRACON

ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM THE DESIGNER.
CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE DESIGNER.
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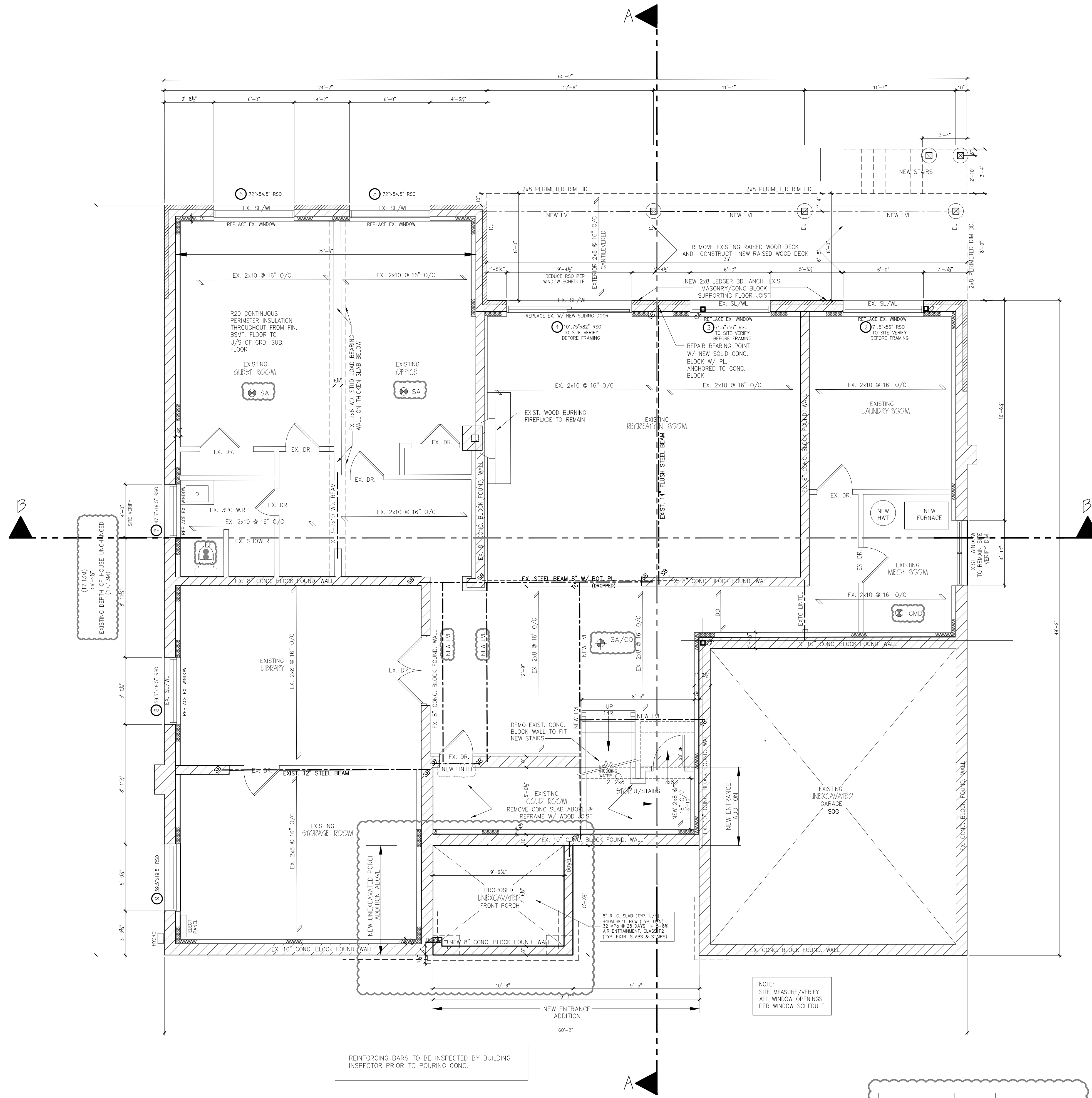
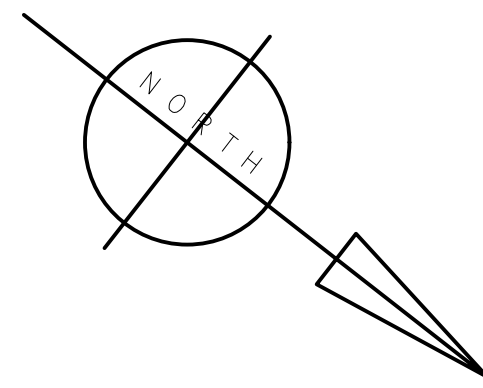


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3	CITY COMMENTS	JUN 01 2023
2	CITY COMMENTS	MAR 15 2023
1	CONST/PERMIT PLANS	DEC 01 2022
No.	REVISION / ISSUE	DATE

NAPA design
Napa Design Group Inc. 47 Loweswater Ave.
Unionville, Ontario, L3R7W8
lou@napadg.com
HO 905 477-3633 c 416 930-6337

Project
PROPOSED ADDITION FOR
Elsa & Mauro Corsetti
16 Forest Park Crescent
Markham, Ontario
L3T 2M6
416 587 5222

Drawing Name
PROPOSED SITE PLAN
Drawing By
LP
Project No.
22-000
Date
APRIL 2022
Drawing No.
A-1
Scale
1/8" = 1'-0"
Checked
LP



SCOPE OF WORK

BASEMENT

- REMOVE AND REPAIR FIRE DAMAGED AREAS AND MAKE GOOD PER NEW PLANS
- INSULATE EXISTING PERIMETER WALLS
- INSTALL NEW DRYWALL TO EXISTING WALLS AND CLOS.
- INSTALL NEW FLOORING
- INSTALL NEW WINDOWS & DOORS
- INSTALL NEW HVAC SYSTEM THROUGH-OUT EXISTING & PROPOSED

GROUND FLOOR

- REMOVE AND REPAIR FIRE DAMAGED AREAS AND MAKE GOOD PER NEW PLANS
- REMOVE EXISTING FLAT ROOF AND INSTALL PROPOSED NEW SLOPED ROOF AT CLG. HT. OF 9'-0" AFF PER PROPOSED PLANS
- FURR OUT AND INSULATE EXISTING PERIMETER WALLS TO NEW 9'-0" AFF
- NEW PERIMETER STUD WALLS AT 9'-0" AFF TO SUPPORT NEW ROOF
- INSTALL NEW PERIMETER MASONRY AT RAISED AREAS OF EXTERIOR WALL
- INSTALL NEW INTERIOR WALLS PER PROPOSED PLANS
- INSTALL NEW FLOORING
- INSTALL NEW WINDOWS & DOORS
- INSTALL NEW HVAC SYSTEM THROUGH-OUT EXISTING & PROPOSED

LOFT FLOOR

- CONSTRUCT NEW FLOOR, BALCONY AND ROOF PER PROPOSED PLANS
- INSTALL NEW HVAC SYSTEM THROUGHOUT

NOTE: SEE STRUCTURAL DRAWINGS S1-S4 FOR SIZES OF NEW LINTEL, JOISTS AND BEAMS

WALL LEGEND

- EXISTING WALL
- NEW INTERIOR PARTITION
1/2" DRYWALL BOTH SIDES
2x4 WOOD STUDS @ 16" OC
- NEW LOFT EXTERIOR WALL
1/2" DRYWALL & VAPOUR BARRIER
ON 2x6 WOOD STUDS @ 16" OC &
R22 BATT INSULATION WITH
1/2" PLYWOOD SHEATHING &
1" CONTINUOUS INSULATION (RS)
- EXISTING EXTERIOR MASONRY WALL
NEW 1/2" DRYWALL & VAPOUR BARRIER
ON NEW 2x4 WOOD STUDS
@ 16" OC WITH R22 CLOSE CELL
SPRAY-FOAM INSULATION ON
EXISTING 8" BLOCK & BRICK WALL
- NEW FRONT EXTERIOR MASONRY WALL
NEW 1/2" DRYWALL & VAPOUR BARRIER
ON NEW 2x6 WOOD STUDS @ 16" OC
WITH R24 BATT INSULATION, 1/2"
SHEATHING, BLUESKIN AIR BARRIER,
1/2" AIR SPACE AND 3 1/2" MASONRY
(SEE W2 WALL TYPE ON DRAWING S-4
FOR TALL WALL SPECS)
- EXISTING BASEMENT WALL
NEW 1/2" DRYWALL ON 2x4 WOOD
STUDS @ 16" OC FILLED WITH R22
CLOSE CELL SPRAY-FOAM
INSULATION ON EXISTING 10"
CONCRETE BLOCK FOUNDATION WALL
- SA SMOKE ALARM
- CMD CARBON MONOXIDE DETECTOR
- SA/CO SMOKE & CO2 ALARM
- EF EXHAUST FAN

REINFORCING BARS TO BE INSPECTED BY BUILDING INSPECTOR PRIOR TO POURING CONC.

NOTE: SITE MEASURE/VERIFY ALL WINDOW OPENINGS PER WINDOW SCHEDULE

NOTE: SEE STRUCTURAL DRAWINGS FOR BEAMS LINTELS COLUMNS FRAMING AND CONC. REINFORCEMENT

NOTE: COORDINATE AND SITE VERIFY ALL RSO WITH CARPENTER CONTRACTOR WINDOW CONTRACTOR & ARCHITECT PRIOR TO CONSTRUCTION

PROPOSED
Basement Plan
SCALE 1/4" = 1'-0"

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer

QUALIFICATION INFORMATION
Required unless design is exempt under 2.17.5.1 of the Building Code

REGISTRATION INFORMATION
Required unless design is exempt under 2.17.4.1 of the Building Code

NAME: **K.R. TRACY** 30962
PROF. DESIGNER
TRACON SERVICES INC. 33346
COMPANY

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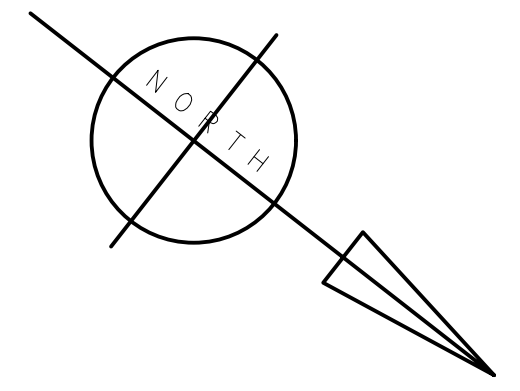
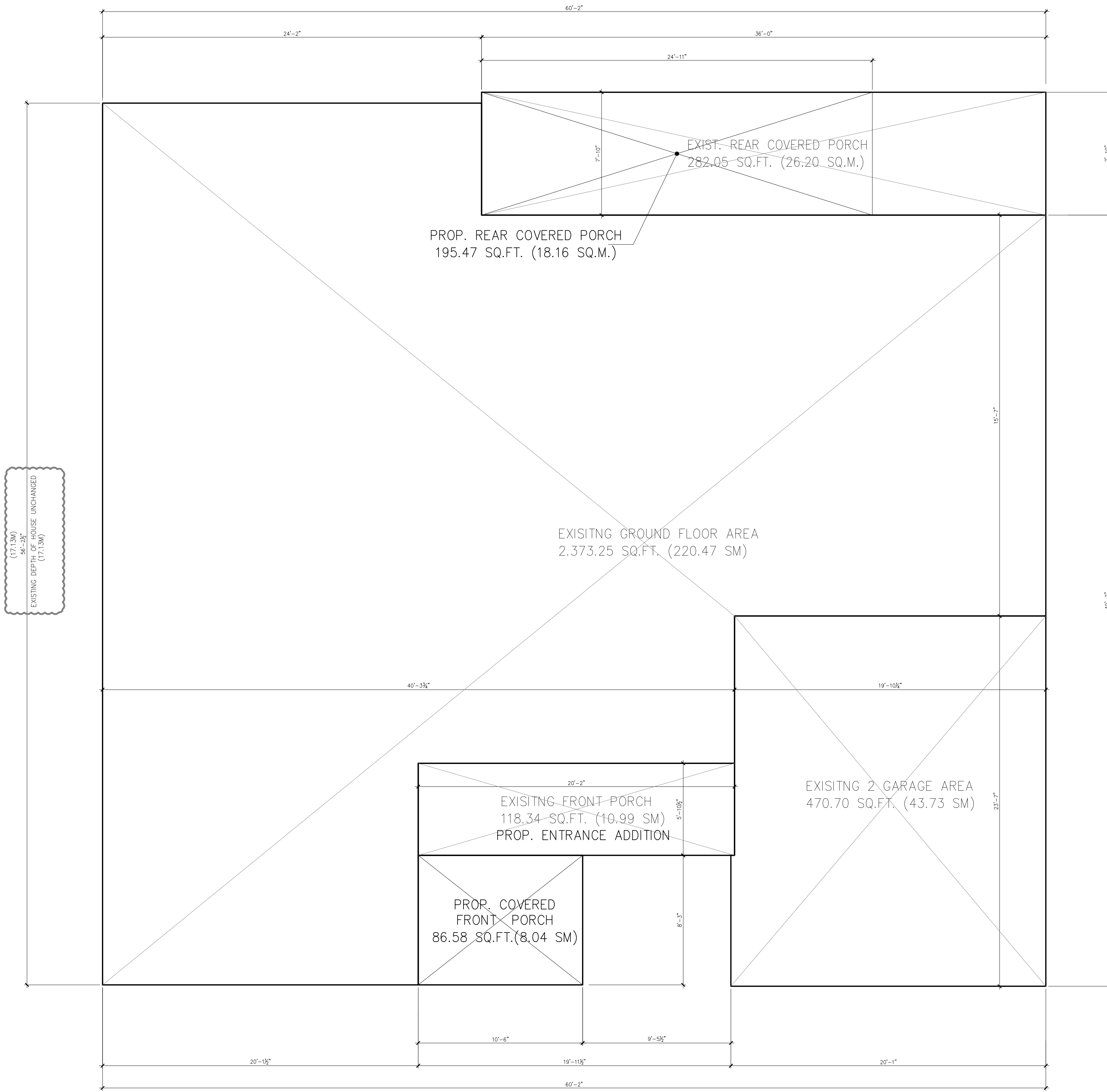
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4	CITY COMMENTS	MAR 15 2023
3	WINDOW HEIGHTS REVISED (RAISED)	MAR 03 2023
2	REV PER PLAN DROPOUT COMMENTS	JAN 24 2023
1	CONST/PERMIT PLANS	DEC 01 2022
No.	REVISION / ISSUE	DATE

NAPA design

Napa Design Group Inc.
47 Loweswater Ave.
Unionville, Ontario, L3R7W8
lou@napadg.com
HO 905 477-3833 C 416 930-6337

Project
PROPOSED ADDITION FOR
Elsa & Mauro Corsetti
16 Forest Park Crescent
Markham, Ontario L3T 2M6
416 587 5222

Drawing Name PROPOSED BASEMENT PLAN	
Drawing by LP	Project No. 22-000
Date APRIL 2022	Drawing No. A-2
Scale 1/4" = 1'-0"	
Checked LP	



SITE ANALYSIS EXISTING

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EXISTING PERCENTAGE LOT COVERAGE	40.58 %	

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AREA OF EXISTING 2 CAR GARAGE	43.73 SQ.M.	470.70 SQ.FT.
PROPOSED REAR COVERED PORCH EXISTING REAR COV. PORCH DEMOLISHED AND AREA REDUCED	18.16 SQ.M.	195.47 SQ.FT.
PROPOSED ENTRANCE ADDITION OVER EXISTING COLD RM. AND FRONT COVERED PORCH	10.99 SQ.M.	118.34 SQ.FT.
PROPOSED FRONT COVERED PORCH	8.04 SQ.M.	86.58 SQ.FT.
AREA OF TOTAL PROPOSED FOOTPRINT	301.40 SQ.M.	3,244.34 SQ.FT.
PROPOSED PERCENTAGE LOT COVERAGE SAME AS EXISTING PERCENTAGE LOT COVERAGE	40.58 %	

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NAME: 30962 SIGNATURE: _____ SON: _____
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TRACON Services Inc. 33346
COMPANY: _____ SON: _____

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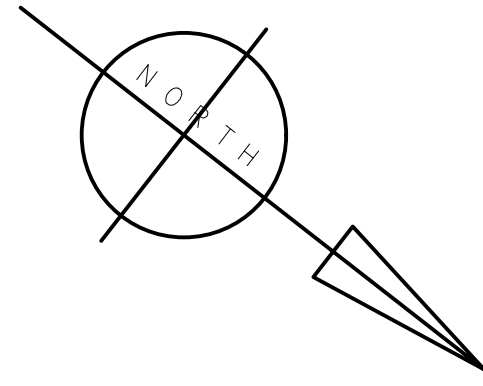
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NAPA design

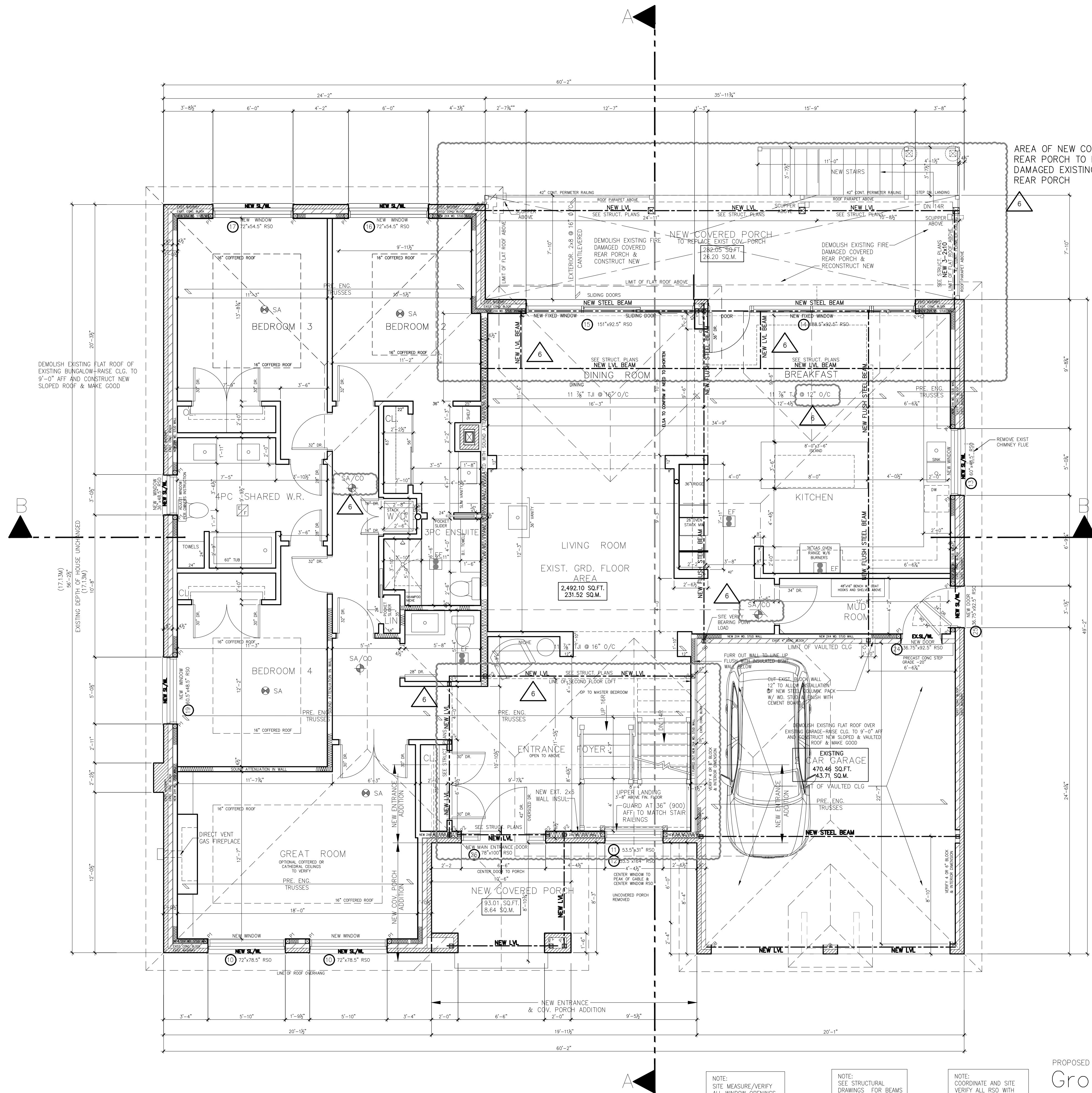
Napa Design Group Inc.
47 Loweswater Ave.
Unionville, Ontario, L3R7W8
lou@napadg.com
HO: 905 477-3633 C: 416 930-6337

Project
PROPOSED ADDITION FOR
Elsa & Mauro Corsetti
16 Forest Park Crescent
Markham, Ontario
L3T 2M6
416 587 5222

Drawing Name PROPOSED GROUND FLOOR PLAN AREA CALCS & SITE ANALYSIS	
Drawing by LP	Project No. 22 - 000
Date APRIL 2022	Drawing No. A-3a
Scale 1/4" = 1' - 0"	
Checked LP	



382.04 SQ.FT.
26.20 SQ.M.



SCOPE OF WORK

- BASEMENT**
- REMOVE AND REPAIR FIRE DAMAGED AREAS AND MAKE GOOD PER NEW PLANS
 - INSULATE EXISTING PERIMETER WALLS
 - INSTALL NEW DRYWALL TO EXISTING WALLS AND CLOS.
 - INSTALL NEW FLOORING
 - INSTALL NEW WINDOWS & DOORS
 - INSTALL NEW HVAC SYSTEM THROUGH-OUT EXISTING & PROPOSED

- GROUND FLOOR**
- REMOVE AND REPAIR FIRE DAMAGED AREAS AND MAKE GOOD PER NEW PLANS
 - REMOVE EXISTING FLAT ROOF AND INSTALL PROPOSED NEW SLOPED ROOF AT CLG. HT. OF 9'-0" AFF PER PROPOSED PLANS
 - FURR OUT AND INSULATE EXISTING PERIMETER WALLS TO NEW 9'-0" AFF
 - NEW PERIMETER STUD WALLS AT 9'-0" AFF TO SUPPORT NEW ROOF
 - INSTALL NEW PERIMETER MASONRY AT RAISED AREAS OF EXTERIOR WALL
 - INSTALL NEW INTERIOR WALLS PER PROPOSED PLANS
 - INSTALL NEW FLOORING
 - INSTALL NEW WINDOWS & DOORS
 - INSTALL NEW HVAC SYSTEM THROUGH-OUT EXISTING & PROPOSED

- LOFT FLOOR**
- CONSTRUCT NEW FLOOR, BALCONY AND ROOF PER PROPOSED PLANS
 - INSTALL NEW HVAC SYSTEM THROUGHOUT

NOTE: SEE STRUCTURAL DRAWINGS S1-S4 FOR SIZES OF NEW INTEL, JOISTS AND BEAMS

NOTE: SEE WALL LEGEND ON DRAWING A-2

- SA SMOKE ALARM
- CMD CARBON MONOXIDE DETECTOR
- SA/CO SMOKE & CO2 ALARM
- EF EXHAUST FAN

AREA OF WORK FOR THE INTERIOR ALTERATION = 2845 SQ.FT. (264.31 SM)

AREA OF WORK FOR THE GRD. FLOOR ADDITION AND SECOND FLOOR LOFT ADDITION = 1,227 SQ.FT. (114.00 SM)

AREA OF EXISTING GROSS FLOOR AREA = 3,130.66 SQ.FT. (290.85 SM)
 AREA OF INCREASED NEW GROSS FLOOR AREA GROUND FLOOR ADDITION = 210 SQ.FT. (19.51 SM)
 2ND FLOOR ADDITION = 731 SQ.FT. (67.91 SM)
 TOTAL INCREASED NEW GROSS FLOOR AREA = 941 SQ.FT. (87.42 SM) 30.06% MORE THAN EXIST.

PROPOSED
Ground Floor Plan
 SCALE 1/4" = 1'-0"
 TOTAL GRD. FLOOR AREA = 2,611.64 SQ.FT. 242.63 SQ.M.
 TOTAL GRD. & LOFT FLOOR AREA = 3,387.27 SQ.FT. 314.69 SQ.M.

- NOTE: SITE MEASURE/VERIFY ALL WINDOW OPENINGS PER WINDOW SCHEDULE
- NOTE: SEE STRUCTURAL DRAWINGS FOR BEAMS UNITS, COLUMNS, FRAMING AND CONC. REINFORCEMENT
- NOTE: COORDINATE AND SITE VERIFY ALL RSO WITH CARPENTER CONTRACTOR WINDOW CONTRACTOR & ARCHITECT PRIOR TO CONSTRUCTION

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer

QUALIFICATION INFORMATION
 Required unless design is exempt under 2.17.5.1 of the Building Code

NAME: K.R. TRACY
 SIGNATURE: [Signature]
 REGISTRATION INFORMATION: 33346
 COMPANY: TRACON Services Inc.

ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM THE DESIGNER.

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE DESIGNER.

DO NOT SCALE DRAWINGS.

ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE.



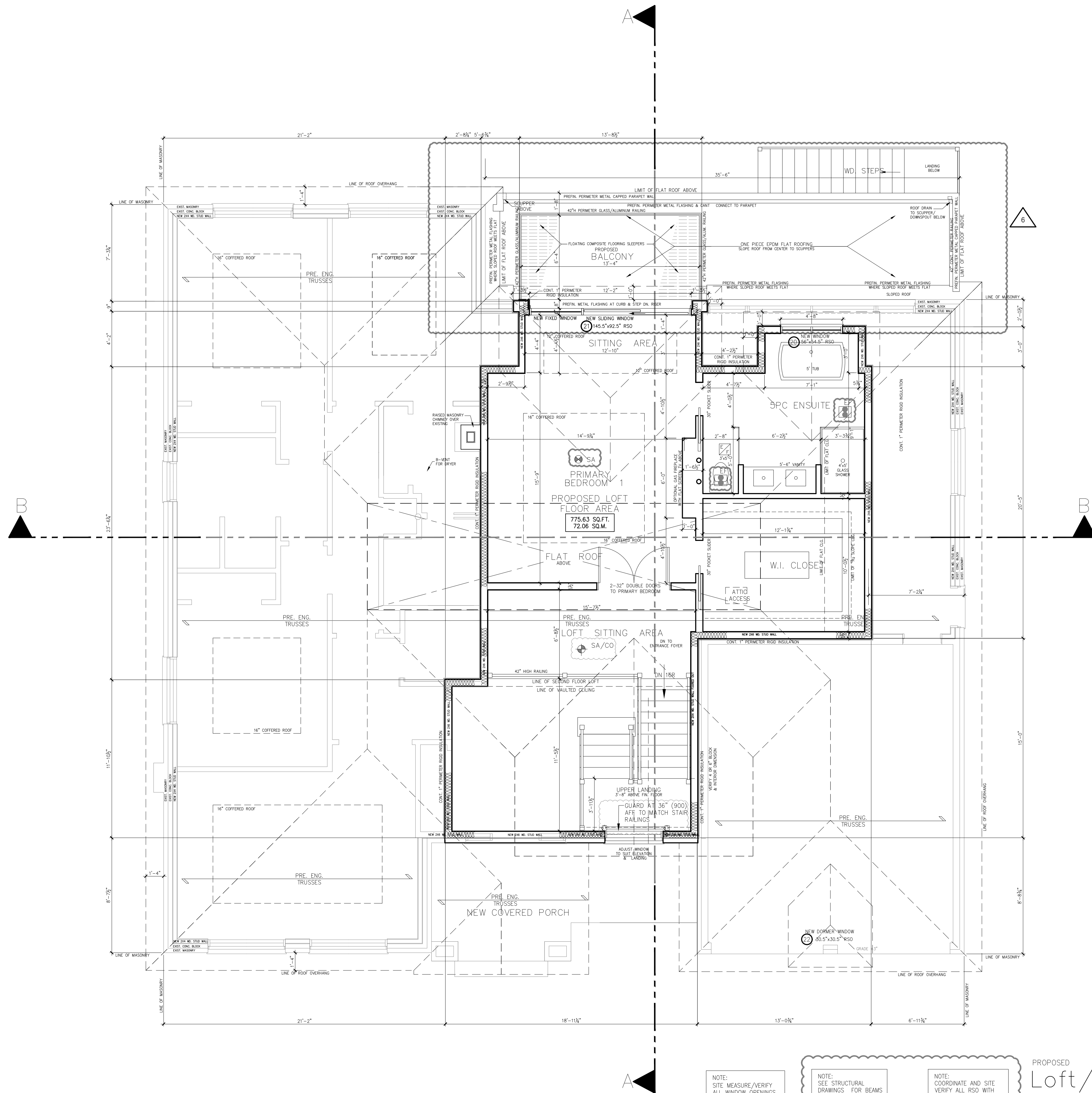
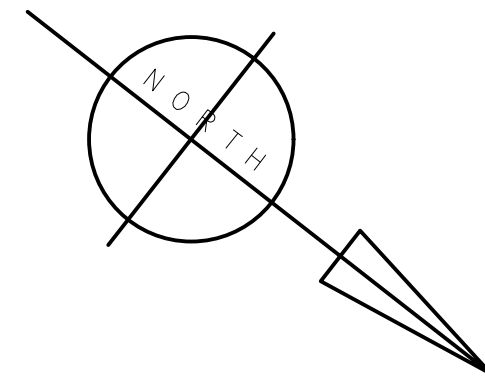
No.	REVISION / ISSUE	DATE
8		
7		
6	CITY COMMENTS	JUN 01 2023
5	REV. PER SITE CONDITIONS AT CHIMNEY	MAR 22 2023
4	CITY COMMENTS	MAR 15 2023
3	WINDOW HEIGHTS REVISED (RAISED)	MAR 03 2023
2	REV PER PLAN DROPOUT COMMENTS	JAN 24 2023
1	CONST / PERMIT PLANS	DEC 01 2022

NAPA design

Napa Design Group Inc.
 47 Loweswater Ave.
 Unionville, Ontario, L3R7W8
 lou@napadg.com
 HO 905 477-3633 C 416 930-6337

Project
 PROPOSED ADDITION FOR
Elsa & Mauro Corsetti
 16 Forest Park Crescent
 Markham, Ontario
 L3T 2M6
 416 587 5222

Drawing Name PROPOSED GROUND FLOOR PLAN	
Drawing by LP	Project No. 22-000
Date APRIL 2022	Drawing No. A-3
Scale 1/4" = 1'-0"	
Checked LP	



NOTE: SEE STRUCTURAL DRAWINGS S1-S4 FOR SIZES OF NEW LITEL, JOISTS AND BEAMS

NOTE: SEE WALL LEGEND ON DRAWING A-2

- SA SMOKE ALARM
- CMD CARBON MONOXIDE DETECTOR
- SA/CO SMOKE & CO2 ALARM
- EF EXHAUST FAN

NOTE: SITE MEASURE/VERIFY ALL WINDOW OPENINGS PER WINDOW SCHEDULE

NOTE: SEE STRUCTURAL DRAWINGS FOR BEAMS, LITELS, COLUMNS, FRAMING AND CONC. REINFORCEMENT

NOTE: COORDINATE AND SITE VERIFY ALL PSD WITH CARPENTER CONTRACTOR, WINDOW CONTRACTOR & ARCHITECT PRIOR TO CONSTRUCTION

PROPOSED
Loft/2nd Floor Plan
 SCALE 1/4" = 1'-0"
 AREA = 731.00 SQ.FT.
 67.91 SQ.M.

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer

QUALIFICATION INFORMATION
 Required unless design is exempt under 2.17.5.1 of the Building Code

NAME: TRACON SERVICES INC. REGISTRATION NUMBER: 33346
 SIGNATURE: [Blank] BOB COMPANY: TRACON SERVICES INC. BOB

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CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE DESIGNER.

DO NOT SCALE DRAWINGS.

ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE.



No.	REVISION / ISSUE	DATE
8		
7		
6	CITY COMMENTS	JUN 01 2023
5	CITY COMMENTS	MAR 15 2023
4	WINDOW HEIGHTS REVISED (RAISED)	MAR 03 2023
3	REV PER EPLAN DROPBOX COMMENTS	JAN 24 2023
2	DIMENSIONS ADDED	JAN 18 2023
1	CONST / PERMIT PLANS	DEC 01 2022

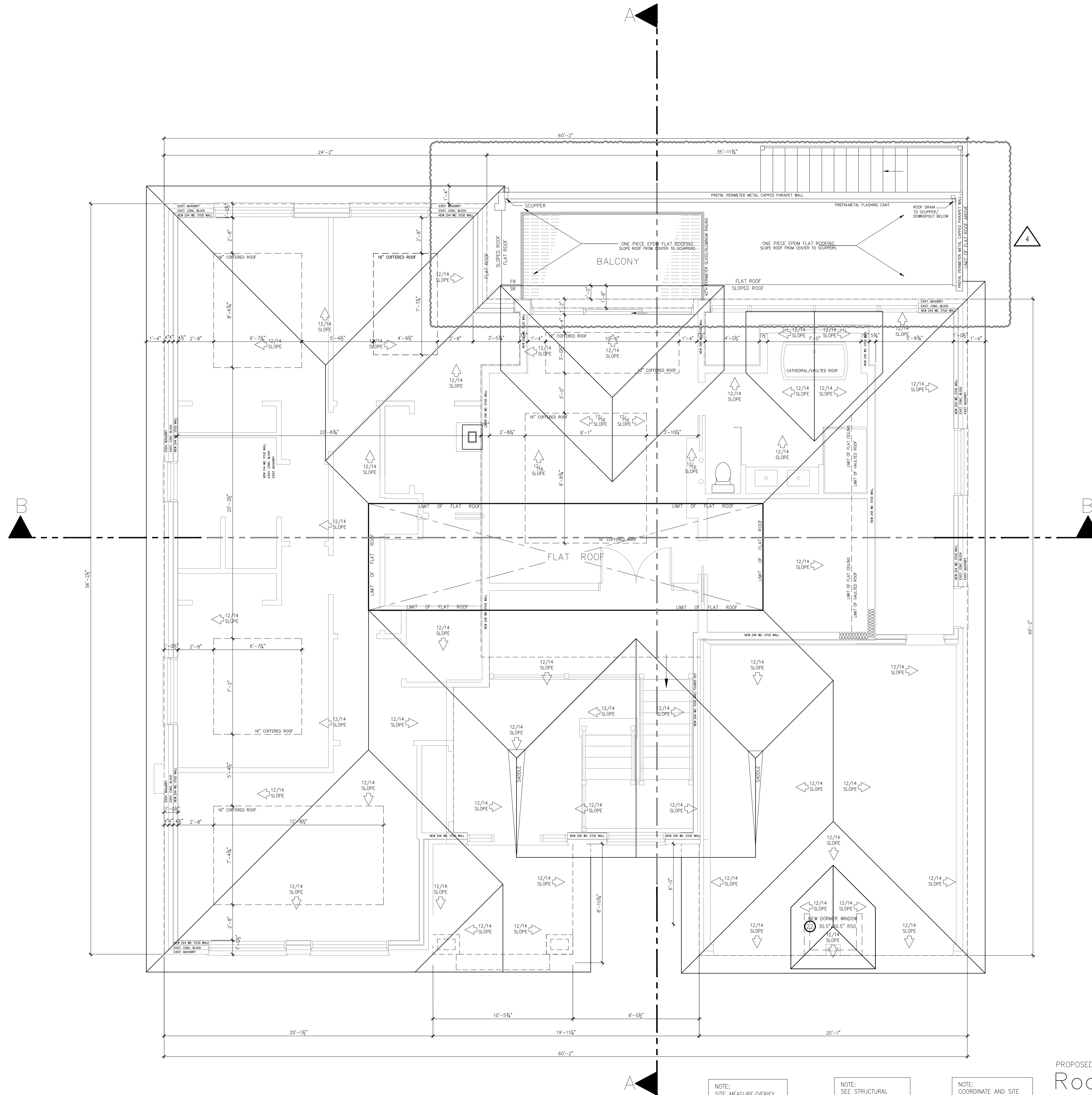
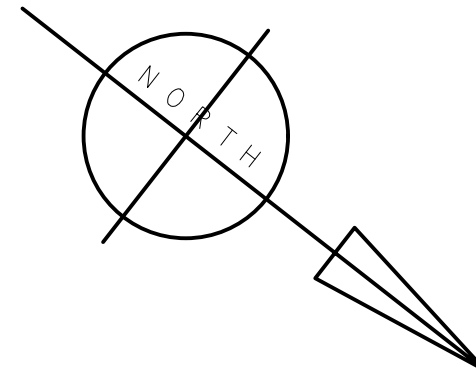
NAPA design

Napa Design Group Inc. 47 Loweswater Ave.
 Unionville, Ontario, L3R7W8
 HO 905 477-3633 c 416 930-6337
 lou@napadg.com

Project
 PROPOSED ADDITION FOR
Elsa & Mauro Corsetti
 16 Forest Park Crescent
 Markham, Ontario
 L3T 2M6
 416 587 5222

Drawing Name
 PROPOSED
LOFT / 2ND FLOOR PLAN

Drawing by LP	Project No. 22-000
Date APRIL 2022	Drawing No. A-4
Scale 1/4" = 1'-0"	
Checked LP	



NOTE:
SITE MEASURE/VERIFY
ALL WINDOW OPENINGS
PER WINDOW SCHEDULE

NOTE:
SEE STRUCTURAL
DRAWINGS FOR BEAMS
LINTELS COLUMNS
FRAMING AND CONC.
REINFORCEMENT

NOTE:
COORDINATE AND SITE
VERIFY ALL RSD WITH
CARPENTER CONTRACTOR
WINDOW CONTRACTOR &
ARCHITECT PRIOR TO
CONSTRUCTION

PROPOSED
Roof Plan
SCALE 1/4" = 1'-0"

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer

QUALIFICATION INFORMATION
Required unless design is exempt under 2.17.5.1 of the Building Code

REGISTRATION INFORMATION
Required unless design is exempt under 2.17.4.1 of the Building Code

NAME: **K.R. TRACY** REG. NO. 30962
FIRM: **TRACON Services Inc.** REG. NO. 33346
COMPANY: **TRACON**

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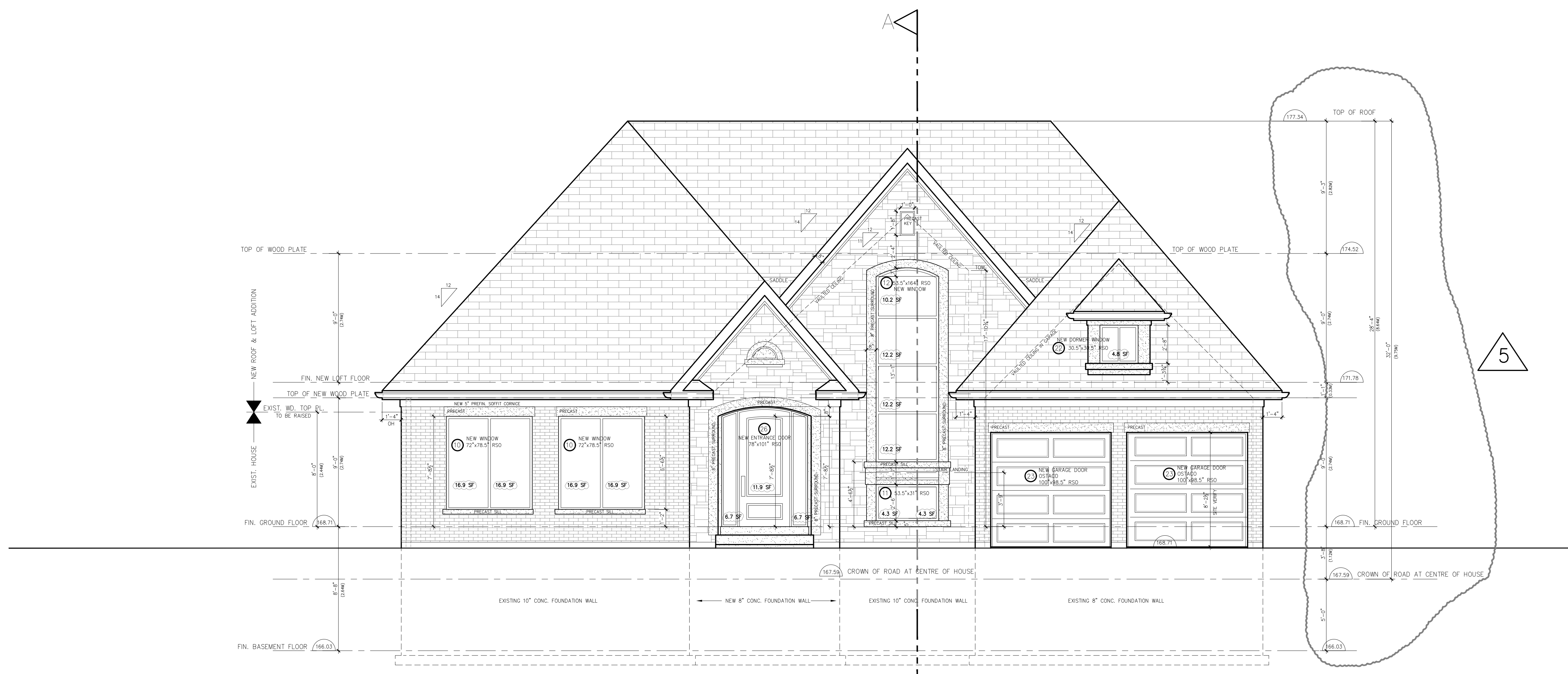
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5		
4	CITY COMMENTS	JUN 01 2023
3	CITY COMMENTS	MAR 15 2023
2	WINDOW HEIGHTS REVISED (RAISED)	MAR 03 2023
1	CONST./PERMIT PLANS	DEC 01 2022
No.	REVISION / ISSUE	DATE

NAPA design

Napa Design Group Inc. 47 Loweswater Ave.
Unionville, Ontario, L3R7W8
lou@napadg.com
HO 905 477-3633 c 416 930-6337

Project
PROPOSED ADDITION
FOR
Elsa & Mauro Corsetti
16 Forest Park Crescent
Markham, Ontario
L3T 2M6
416 587 5222

Drawing Name PROPOSED ROOF PLAN	
Drawing by LP	Project No. 22-000
Date APRIL 2022	Drawing No. A-5
Scale 1/4" = 1'-0"	
Checked LP	



WINDOW AREA = 155.3 SF
 WALL AREA = 998.5 SF
 GLAZING PERCENTAGE = 15.6%
 LIMITING DISTANCE = 27.65 FT (8.43M)
 GLAZING ALLOWANCE = 56%

PROPOSED
 North East Elevation
 SCALE 1/4" = 1'-0"

NOTE:
 COORDINATE AND SITE
 VERIFY ALL RSD WITH
 CARPENTER, CONTRACTOR,
 WINDOW CONTRACTOR &
 ARCHITECT PRIOR TO
 CONSTRUCTION

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QUALIFICATION INFORMATION
 Required unless design is exempt under 2.17.5.1 of the Building Code

REGISTRATION INFORMATION
 Required unless design is exempt under 2.17.4.1 of the Building Code

NAME: **TRACON SERVICES INC.**
 REG. NO.: 33346
 COMPANY: TRACON

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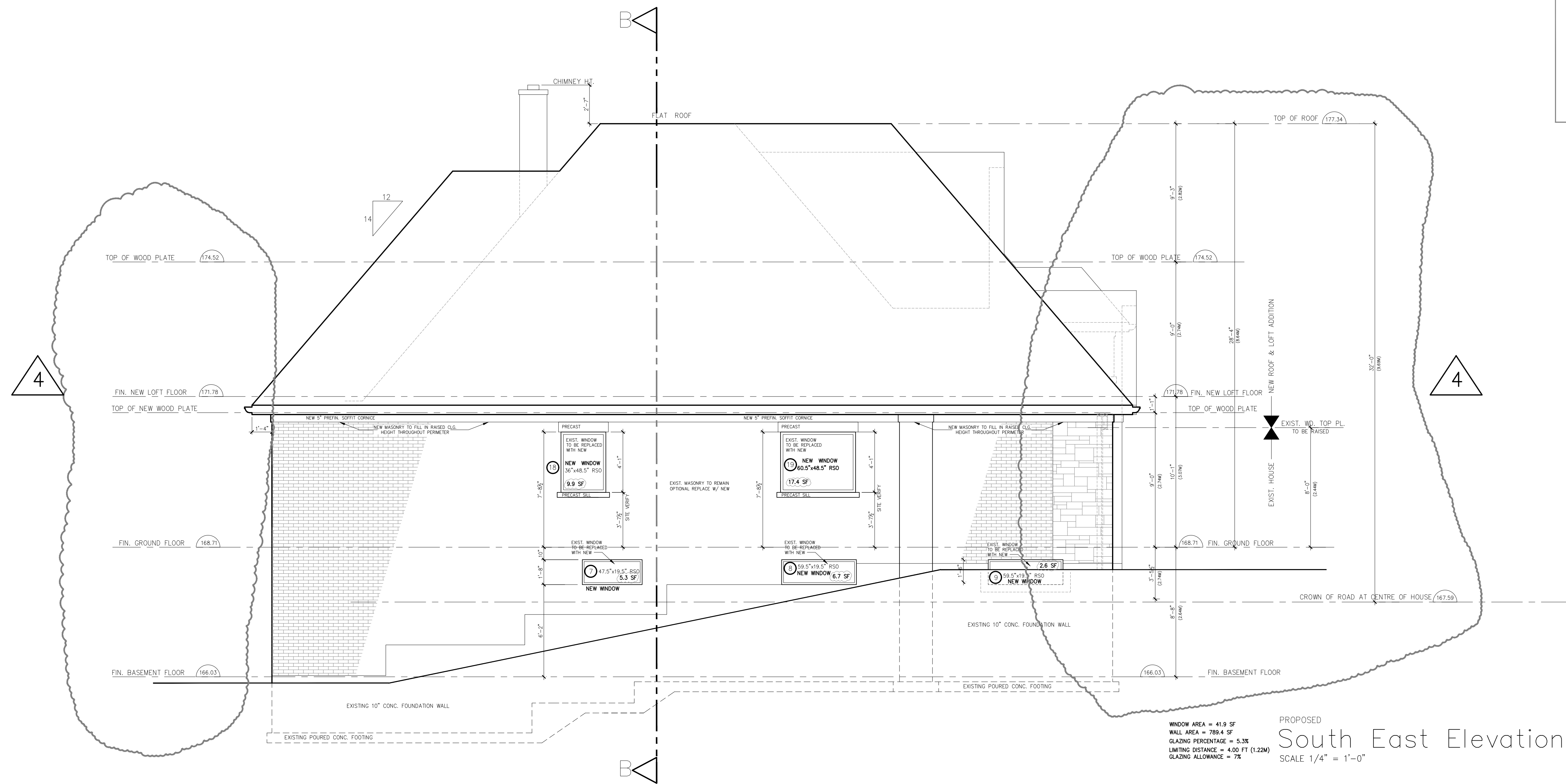
No.	REVISION / ISSUE	DATE
8		
7		
6		
5	CITY COMMENTS	JULY 26 2023
4	CITY COMMENTS	JUN 01 2023
3	CITY COMMENTS	MAR 15 2023
2	WINDOW HEIGHTS REVISED (RAISED)	MAR 03 2023
1	CONST / PERMIT PLANS	DEC 01 2022

NAPA design

Napa Design Group Inc.
 47 Loweswater Ave.
 Unionville, Ontario, L3R7W8
 HO: 905 477-3633 c: 416 930-6537
 lou@napadg.com

Project
 PROPOSED ADDITION FOR
Elsa & Mauro Corsetti
 16 Forest Park Crescent
 Markham, Ontario
 L3T 2M6
 416 587 5222

Drawing Name PROPOSED NORTH EAST ELEVATION	
Drawing by LP	Project No. 22-000
Date APRIL 2022	Drawing No. A-6
Scale 1/4" = 1'-0"	
Checked LP	



WINDOW AREA = 41.9 SF
 WALL AREA = 789.4 SF
 GLAZING PERCENTAGE = 5.3%
 LIMITING DISTANCE = 4.00 FT (1.22M)
 GLAZING ALLOWANCE = 7%

PROPOSED
South East Elevation
 SCALE 1/4" = 1'-0"

NOTE:
 COORDINATE AND SITE
 VERIFY ALL RSO WITH
 CARPENTER CONTRACTOR
 WINDOW CONTRACTOR &
 ARCHITECT PRIOR TO
 CONSTRUCTION

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QUALIFICATION INFORMATION
 Required unless design is exempt under 2.17.5.1 of the Building Code

REGISTRATION INFORMATION
 Required unless design is exempt under 2.17.4.1 of the Building Code

NAME: **TRACON SERVICES INC.**
 COMPANY: **TRACON SERVICES INC.**
 REG. NO.: **33346**
 RSO NO.: **33346**

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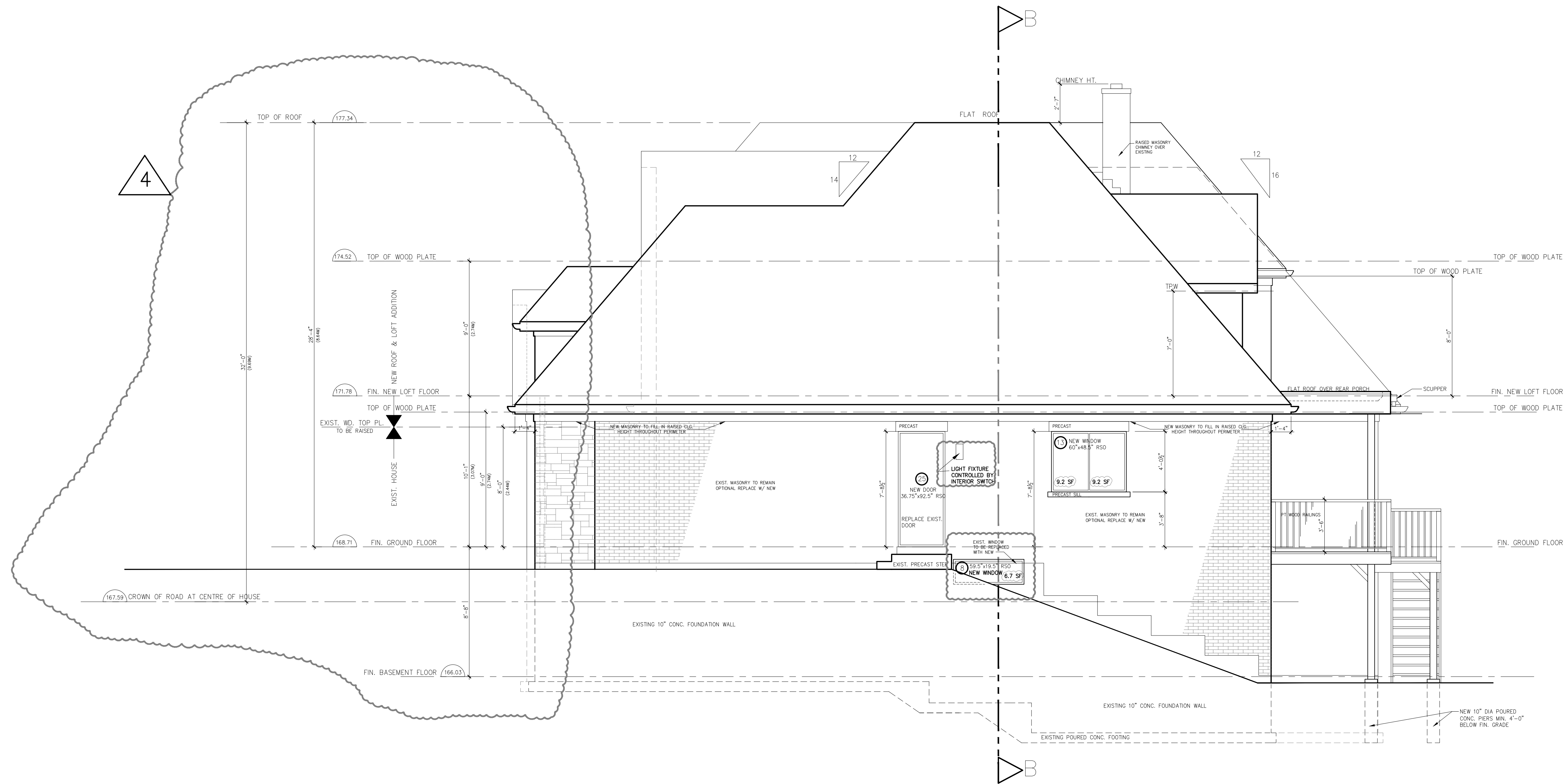
No.	REVISION / ISSUE	DATE
8		
7		
6		
5		
4	CITY COMMENTS	JULY 28 2023
3	CITY COMMENTS	MAR 15 2023
2	WINDOW HEIGHTS REVISED (RAISED)	MAR 03 2023
1	CONST / PERMIT PLANS	DEC 01 2022

NAPA design

Napa Design Group Inc.
 47 Loweswater Ave.
 Unionville, Ontario, L3R7W8
 HO: 905 477-3633 c: 416 930-6537
 lou@napadg.com

Project
 PROPOSED ADDITION
 FOR
Elsa & Mauro Corsetti
 16 Forest Park Crescent
 Markham, Ontario
 L3T 2M6
 416 587 5222

Drawing Name PROPOSED SOUTH EAST ELEVATION	
Drawing by LP	Project No. 22 - 000
Date APRIL 2022	Drawing No. A-7
Scale 1/4" = 1' - 0"	
Checked LP	



WINDOW AREA = 25.1 SF
 WALL AREA = 1042.4 SF
 GLAZING PERCENTAGE = 2.41%
 LIMITING DISTANCE = 4.00 FT (1.22M)
 GLAZING ALLOWANCE = 7%

PROPOSED
 North West Elevation
 SCALE 1/4" = 1'-0"

NOTE:
 COORDINATE AND SITE
 VERIFY ALL RSD WITH
 CARPENTER CONTRACTOR
 WINDOW CONTRACTOR &
 ARCHITECT PRIOR TO
 CONSTRUCTION

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QUALIFICATION INFORMATION
 Required unless design is exempt under 2.17.5.1 of the Building Code

REGISTRATION INFORMATION
 Required unless design is exempt under 2.17.4.1 of the Building Code

30962
 33346
 TRACON Services Inc
 COMPANY

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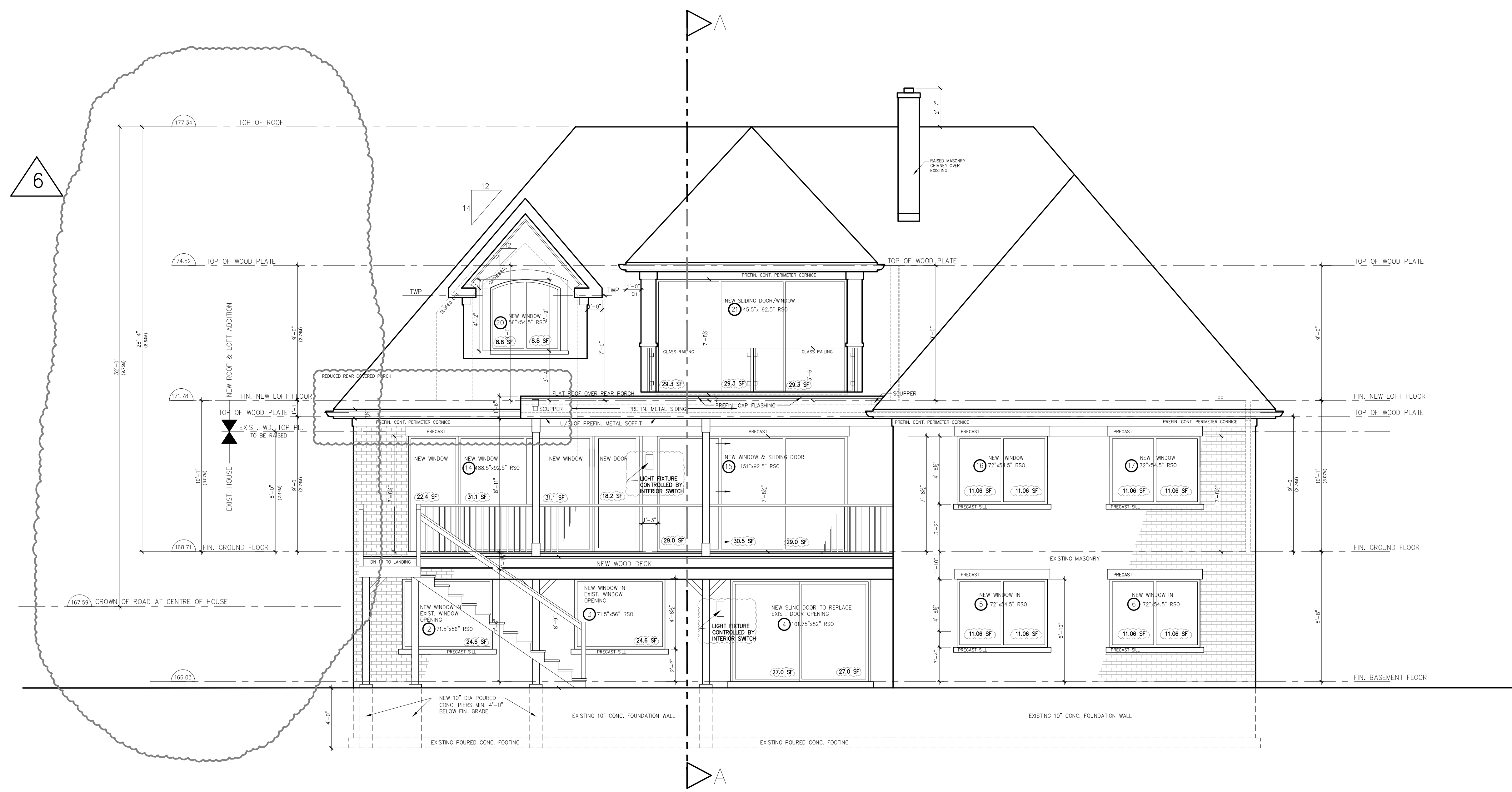
8		
7		
6		
5		
4	CITY COMMENTS	JULY 28 2023
3	CITY COMMENTS	MAR 15 2023
2	WINDOW HEIGHTS REVISED (RAISED)	MAR 03 2023
1	CONST / PERMIT PLANS	DEC 01 2022
No.	REVISION / ISSUE	DATE

NAPA design

Napa Design Group Inc.
 47 Loweswater Ave.
 Unionville, Ontario, L3R7W8
 lou@napadg.com
 HO: 905 477-3633 c: 416 930-6537

Project
 PROPOSED ADDITION FOR
Elsa & Mauro Corsetti
 16 Forest Park Crescent
 Markham, Ontario
 L3T 2M6
 416 587 5222

Drawing Name PROPOSED NORTH WEST ELEVATION	
Drawing by LP	Project No. 22-000
Date APRIL 2022	Drawing No. A-8
Scale 1/4" = 1'-0"	
Checked LP	



WINDOW AREA = 477.42.60 SF
 WALL AREA = 1427.5 SF
 GLAZING PERCENTAGE = 33.4%
 LIMITING DISTANCE = 27.86 FT (8.49M)
 GLAZING ALLOWANCE = 34%

PROPOSED
South West Elevation
 SCALE 1/4" = 1'-0"

NOTE:
 COORDINATE AND SITE
 VERIFY ALL RSD WITH
 CARPENTER CONTRACTOR
 WINDOW CONTRACTOR &
 ARCHITECT PRIOR TO
 CONSTRUCTION

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QUALIFICATION INFORMATION
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REGISTRATION INFORMATION
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NAME: **TRACON SERVICES INC.**
 REG. NO.: 33346
 COMPANY: **TRACON SERVICES INC.**

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No.	REVISION / ISSUE	DATE
8		
7		
6	CITY COMMENTS	JULY 26 2023
5	CITY COMMENTS	JUN 01 2023
4	CITY COMMENTS	MAR 15 2023
3	WINDOW HEIGHTS REVISED (RAISED)	MAR 08 2023
2	WINDOW HEIGHTS REVISED (RAISED)	MAR 03 2023
1	CONST / PERMIT PLANS	DEC 01 2022

NAPA design

Napa Design Group Inc.
 47 Loweswater Ave.
 Unionville, Ontario, L3R7W8
 HO: 905 477-3633 c: 416 930-6537
 lou@napadg.com

Project
 PROPOSED ADDITION FOR
Elsa & Mauro Corsetti
 16 Forest Park Crescent
 Markham, Ontario
 L3T 2M6
 416 587 5222

Drawing Name	
PROPOSED SOUTH WEST ELEVATION	
Drawing by LP	Project No. 22 - 000
Date APRIL 2022	Drawing No. A-9
Scale 1/4" = 1' - 0"	
Checked LP	

APPENDIX “C” – A/128/23 Conditions of Approval

CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/128/23

1. The variances apply only to the proposed development as long as it remains.
2. That the variance apply only to the subject development, in substantial conformity with the plan(s) attached as Appendix “B” to this Staff Report, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction.
3. Submission of a Tree Assessment and Preservation Plan, prepared by a qualified arborist in accordance with the City’s Streetscape Manual (2009), as amended, to be reviewed and approved by the City, and that the Secretary-Treasurer receive written confirmation from Tree Preservation Technician or Director of Operations that this condition has been fulfilled to his/her satisfaction, and that any detailed Siting, Lot Grading and Servicing Plan required as a condition of approval reflects the Tree Assessment and Preservation Plan.
4. That prior to the commencement of construction or demolition, tree protection be erected and maintained around all trees on site in accordance with the City’s Streetscape Manual, including street trees, in accordance with the City’s Streetscape Manual (2009) as amended, and inspected by City Staff to the satisfaction of the Tree Preservation Technician or Director of Operations; and
5. That tree replacements be provided and/or tree replacement fees be paid to the City if required in accordance with the Tree Assessment and Preservation Plan, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the Tree Preservation Technician or Director of Operations.
6. That the applicant satisfies the requirements of the TRCA, financial or otherwise, as indicated in their letter to the Secretary-Treasurer attached as Appendix “D” to this Staff Report, to the satisfaction of the TRCA, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the TRCA.

CONDITIONS PREPARED BY:

A handwritten signature in black ink, appearing to read "Hussnain Mohammad". The signature is fluid and cursive, with the first letter of each word being capitalized and prominent.

Hussnain Mohammad, Planner 1, Development Facilitation Office

From: [Rameez Sadafal](#)
To: [Mohammad, Hussnain](#)
Subject: TRCA Comments - CFN 68438.13 - S1 - 16 Forest Park Crescent (MV A/128/23)
Date: October 10, 2023 11:35:00 AM
Attachments: [image002.png](#)

Hello Hussnain,

Sorry for the delay in getting comments back to you on time.

Thank you for circulating this Minor Variance Application (A/128/23) to TRCA for comments/requirements.

The following comments and submission requirements are based on our mandatory programs and services in accordance with Section 21(1) Conservation Authorities Act, Ontario Regulation 686/21, and Ontario Regulation 596/22, and do not include non-mandatory comments outside of our core planning mandate, such as provincial or municipal natural heritage matters.

Purpose of the Application

The applicant is requesting relief from the requirements of By-law 2237 as amended, as it relates to a front porch addition at **16 Forest Park Crescent, Markham**, to permit:

- i. A maximum coverage of 41.67 percent (3,331 square feet), whereas the by-law permits a maximum coverage of 33.33 percent (2,662 square feet).

It is our understanding that the purpose of noted variance is to facilitate the construction of a new front addition, a second-floor loft bedroom, a new front covered porch, and replacing the existing rear porch.

TRCA Permit Requirements

Based on the available information and mapping at this time, there is a steep slope feature located in the rear portion of the property.

Due to the presence of the above noted natural hazards, the rear portion of the subject property is located within TRCA's Regulated Area of the Don River Watershed. As such, the issuance of a TRCA permit pursuant to the Conservation Authorities Act and its regulations, is required prior to any development or site alteration within the regulated portion of the property.

Please note that the front portion of the subject property is outside of TRCA's Regulated Area, therefore, the proposed covered front porch does not require a TRCA permit. However, a TRCA permit will be required for the proposed rear covered porch and second-floor loft bedroom associated with this Minor Variance Application.

Recommendation

Based on our comments outlined above, TRCA staff have **no objection** to the approval of Minor Variance Application A/128/23 subject to the following conditions:

1. That the applicant submits the TRCA plan review fee of \$660 within 60 days of the committee hearing date.
2. The applicant obtains a permit pursuant to Ontario Regulation 166/06 from TRCA for the proposed works within TRCA's Regulated Area.

I trust these comments are of assistance. Should you have any questions or comments, please contact the undersigned.

Best regards,

Rameez Sadafal, M.Sc.PI
Planner I - York East Review Area
Development Planning and Permits | Development and Engineering Services

T: (437) 880-2163
E: rameez.sadafal@trca.ca
A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](#) | trca.ca



From: DoNotReplyMHON@avolvecloud.com <DoNotReplyMHON@avolvecloud.com>
Sent: Monday, September 18, 2023 11:29 AM
To: York Plan <yorkplan@trca.ca>
Subject: _EXT_ TRCA Department Review cycle #1 Assignment for 23.131663.000.00.MNV

EXT_ TRCA Department Review cycle #1 Assignment



Attention TRCA:

You have been assigned a task on Project: **23.131663.000.00.MNV**

The due date for this task is: **10/2/2023 11:28:00 AM**

Task Instructions: