

# Memorandum to the City of Markham Committee of Adjustment

April 26, 2023

**File:** A/110/22  
**Address:** 19 Grenfell Crescent – Markham, ON  
**Applicant:** Kevin Cribari  
**Agent:** Joseph N. Campitelli Architect Inc.  
**Hearing Date:** May 3, 2023

## BACKGROUND

Staff had met with the applicant to discuss concerns with the Proposed Development and the cumulative effect of the requested variances. The applicant has made revisions to their plans on two separate instances for staff's review, after receiving accompanying zoning comments relating to each submission. *Table 1* provides a summary of the requested variances and changes:

*Table 1, Summary of Revised Submissions*

Permitted Development Standards	Requested Variances		
	1 <sup>st</sup> Submission to Staff	2 <sup>nd</sup> Submission to Staff	Current Submission to Staff
Maximum eaves encroachment into required front yard 0.45 m (18.0 in.)	1.04 m (41.0 in.)		
Maximum eaves encroachment into required flankage yard 0.45 m (18.0 in.)	Not requested		0.61 m (24.0 in.)
Minimum Flankage Yard Setback 3.05 m (10.0 ft)	Not Requested		2.44 m (8.0 ft)
Maximum Lot Coverage 35.0%	43.12%	42.70%	42.20%
Maximum Height 9.8 m (32.15 ft)	11.0 m (36.09 ft)	10.8 m (35.43 ft)	11.0 m (36.09 ft)
Maximum Depth 16.80 m (55.12 ft)	23.2 m (76.12 ft)	22.90 m (75.13 ft)	22.42 m (73.56 ft)
Maximum Floor Area Ratio 45.0%	56.35%	55.65%	52.40%

## PROPOSAL

The applicant is proposing to demolish the existing one-storey detached dwelling and construct a two-storey detached dwelling with a three car garage and accessory structure in the rear yard. Vehicular access for the dwelling would be provided from Grenfell Crescent via a new driveway, and the existing driveway would be removed. Including the garage area, the proposed dwelling would have a ground floor area of approximately 309.83 m<sup>2</sup> (3,335.0 ft<sup>2</sup>), and excluding the identified unfinished attic area a second floor area of approximately 99.31 m<sup>2</sup> (1,069.0 ft<sup>2</sup>), for a total gross floor area of 409.14 m<sup>2</sup> (4,403.95 ft<sup>2</sup>).

The applicant is requesting relief from the following “Residential One (R1)” zone requirements under Zoning By-law 1229, as amended (the “Zoning By-law”), as they relate to a two-storey detached dwelling. The variances requested are to permit:

- a) By-law 1229, Section 11.2 (c) (i):  
eaves to encroach a maximum of 41.0 inches (1.04 m) into the required front yard, whereas the Zoning By-law permits a maximum encroachment of 18 inches (0.46 m) into a required yard;
- b) By-law 1229, Section 11.2 (c) (i):  
eaves to encroach a maximum of 24.0 inches (0.61 m) into the required flankage side yard, whereas the Zoning By-law permits a maximum encroachment of 18 inches (0.46 m) into a required yard;
- c) By-law 1229, Table 11.1:  
a flankage side yard of 2.44 m (8.0 ft), whereas the Zoning By-law requires a minimum flankage side yard of 3.05 m (10.0 ft);
- d) By-law 1229, Table 11.1:  
a maximum lot coverage of 42.20%, whereas the Zoning By-law allows a maximum lot coverage of 35.0%;
- e) Amending By-law 99-90, Section 1.2 (i):  
a maximum height of 11.0 m (36.09 ft), whereas the Zoning By-law permits a maximum height of 9.80 m (32.15 ft);
- f) Amending By-law 99-90, Section 1.2 (ii):  
a maximum depth of 22.42 m (73.56 ft), whereas the Zoning By-law permits a maximum depth of 16.80 m (55.12 ft); and
- g) Amending By-law 99-90, Section 1.2 (vi):  
a maximum floor area ratio of 52.40%, whereas the Zoning By-law permits a maximum floor area ratio of 45.0% (the “Proposed Development”).

**Note:** Should the Committee resolve to approve the application, staff recommend that the wording of variance e) be amended upon further confirmation with the Applicant to be consistent with the plans attached as Appendix “A”, and for the reasons later described under the Zoning Preliminary Review section of this report:

- e) Amending By-law 99-90, Section 1.2 (i):  
a maximum height of 10.80 m (35.43 ft), whereas the Zoning By-law permits a maximum height of 9.80 m (ft).

The following comments are provided on behalf of the East District Team.

### **PROPERTY DESCRIPTION**

The 948.64 m<sup>2</sup> (10,211.0 ft<sup>2</sup>) Subject Property is located at the southeast corner of Grenfell Crescent and Abercorn Road, north of Highway 7 East, and west of Hawkridge Avenue, within an established residential neighbourhood that is predominantly comprised of a mix of one and two-storey single detached and semi-detached dwellings. The surrounding area is undergoing a transition with larger two-storey dwellings being developed as infill development. The Subject Property is currently developed with a one-storey single detached dwelling, and contains mature vegetation towards the rear of the lot.

### **OFFICIAL PLAN AND ZONING**

Official Plan 2014 (partially approved on November 24/17, and updated on April 9/18)

The Subject Property is designated “Residential Low Rise”, which provides for low rise housing forms including single detached dwellings. Infill development is required to meet the general intent of the [Official Plan](#) with respect to height, massing, and setbacks to ensure that the development is appropriate for the site and generally consistent with the zoning requirements for adjacent properties and properties along the street, while accommodating diverse building styles and having regard for the retention of existing trees and vegetation.

The intent of the Official Plan is to provide for a set of development standards in the Zoning By-law that will limit the size and massing of new dwellings or additions to existing dwellings to ensure that infill development is complementary to the existing pattern and character of adjacent development.

Zoning By-Law 1229, as amended

The Subject Property is zoned “Residential One (R1)” under the Zoning By-law, which permits one single detached dwelling per lot. The Proposed Development does not comply with the Zoning By-law with respect to the minimum flankage yard, maximum lot coverage, and maximum eaves encroachment requirements.

Residential Infill Zoning By-law 99-90 (the “Infill By-law”)

The Subject Property is also subject to the Residential Infill Zoning By-law 99-90. The intent of this By-law is to ensure the built form of new residential construction will maintain the character of existing neighbourhoods. It specifies development standards for building depth, garage projection, garage width, floor area ratio, height, and number of storeys. The Proposed Development does not comply with the Infill By-law with respect to the maximum building depth, maximum building height, and maximum floor area ratio requirements.

### **ZONING PRELIMINARY REVIEW (ZPR) UNDERTAKEN**

The Owner completed a ZPR on February 28, 2023, and received subsequent zoning comments on March 2, 2023 to confirm the variances required for the Proposed Development. Zoning staff identified that a height of 10.80 m (35.43 ft) is required.

As part of Planning staff’s detailed review, it was further confirmed that an eaves encroachment into the required flankage yard greater than the current request of 24.0 in (0.61 m) would be required to allow for the proposed one-storey eaves projection. Should

the applicant be looking to proceed with a request for a greater projection, a new Notice of Hearing would be required to account for this increase.

## **COMMENTS**

The *Planning Act, R.S.O. 1990, c. P.13, as amended* (the “*Planning Act*”) states that all four tests must be met in order for a variance to be granted by the Committee of Adjustment (the “Committee”):

- a) The variance must be minor in nature
- b) The variance must be desirable, in the opinion of the Committee, for the appropriate development or use of land, building or structure
- c) The general intent and purpose of the Zoning By-law must be maintained
- d) The general intent and purpose of the Official Plan must be maintained

In 1990, Council amended Zoning By-law 1229, by implementing more restrictive standards in Infill By-law 99-90 with the purpose of ensuring that infill development is complementary to the existing pattern and character of adjacent development. The Proposed Development does not meet the general intent and purpose of the Zoning By-law as a number of development standards which ensure that new development is compatible with existing development are not being complied with. The Proposed Development is not appropriate because the larger house with more lot coverage will result in an overdevelopment of the lot. The Proposed Development will not be minor in nature as the combined variances will impact the streetscape and adjacent neighbours. It is the intent of the Official Plan to limit the size and massing of infill development in existing residential neighbourhoods to ensure it has a complementary relationship with existing dwellings. The Proposed Development does not maintain the general intent and purpose of the Official Plan as the size and scale of the house would not be complementary to the adjacent dwelling.

Staff are not in support of the Proposed Development (refer to plans in Appendix “A”), and are of the opinion that the cumulative impact of the requested variances will result in a development that does not meet the four tests.

### Tree Protection and Compensation

Staff have regard for tree protection and direct property owners to the City’s [Tree Permit](#) process for any on-site trees, including City street trees in accordance with the City’s Tree Preservation By-law. Tree Preservation staff has expressed concerns with the location of the accessory structure and pergola as it relates to encroachments into the minimum tree protection zones for those trees located on site, and recommend that the minimum tree protection zones be maintained. Planning staff note that the accessory structure is permitted by the Zoning By-law provided that it meets specific criteria, including that it does not occupy more than 10.0% of the lot area, is located in the rear yard, and also noting the maximum lot coverage request of 42.20% includes and is partially attributable to the proposed accessory building.

Construction of a new detached dwelling would be subject to a [Residential Infill Grading and Servicing Application](#). Property owners are required to obtain a Tree Permit from the City for any proposed injury to, or removal of trees located on the Subject Property or adjacent lands that have a diameter of 20.0 cm (7.87 in) or more, measured at 1.37 m (4.50 ft) above the ground at the base of the tree.

### Metrolinx Requirements

Metrolinx provided comments on August 2, 2022 as the Subject Property is located within 300.0 m of Metrolinx's Uxbridge GO rail corridor, and requests that an environmental easement for operation emissions be registered on title in order to ensure that clear notification to those who may acquire an interest in the Subject Property and reduce the potential for future land use conflicts in any event of approval.

### **PUBLIC INPUT SUMMARY**

No written submissions were received as of April 26, 2023. Additional information may be received after the writing of this report, and the Secretary-Treasurer will provide information on this at the meeting.

### **CONCLUSION**


Planning staff have reviewed the application with respect to Section 45(1) of the *Planning Act*. While the area is in transition and staff acknowledge that there is an infill trend to construct larger two-storey dwellings, staff are of the opinion that the cumulative impact from the requested variances would result in an overdevelopment of the lot, and adversely impact the streetscape.

Staff are of the opinion that the Proposed Development does not meet the four tests, and recommend that the application be denied. Notwithstanding the foregoing, staff are willing to work with the applicant to address concerns should the Committee see merit in deferring the application. Staff recommend that the Committee consider public input in reaching a decision. The onus is ultimately on the applicant to demonstrate how they satisfy the tests of the *Planning Act* required for the granting of minor variances.

### **APPENDICES**

Appendix "A" – Plans

PREPARED BY:



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Aleks Todorovski, MCIP, RPP  
Planner II, East District

REVIEWED BY:



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Stacia Muradali, MCIP, RPP  
Development Manager, East District

**APPENDIX "A"**  
**PLANS TO BE ATTACHED TO ANY APPROVAL OF FILE A/110/22**



DWELLING STATISTICS			
	BY-LAW 1229	EXISTING	PROPOSED
1. ZONING	R1 - RESIDENTIAL	DETACHED SINGLE FAMILY RESIDENCE TO BE DEMOLISHED	DETACHED SINGLE FAMILY RESIDENCE
2. LOT FRONTAGE	MIN. 60' (18.29m)	61.7' (18.81m)	N/C
3. SITE AREA	MIN. 6,600sf (613sm)	10,211sf (948.64sm)	N/C
4. SETBACKS	FRONT YARD = MIN. 25'-0" (7.62m) SIDE YARD (ONE STRY.) = MIN. 4'-0" (1.2m) SIDE YARD (2 STRY.) = MIN. 6'-0" (1.83m) FALNKAGE YARD = MIN. 10'-0" (3.0m) REAR YARD = MIN. 25'-0" (7.62m)	N/A	FRONT YARD = 26'-2" SOUTH SIDE YARD 1ST FLR. = 6'-0" SOUTH SIDE 2ND FLR. = 9'-4" NORTH SIDE YARD = 8'-0" REAR YARD = 58'-7"
5. BUILDING HEIGHT	MAX. 9.8m* (T/O RIDGE OF SLOPED ROOF) MAX. 8.0m* (T/O PARAPET OF FLAT ROOF) *FROM C/L OF ROAD ELEV. (E.L. = 190.32) MAX. 2 STOREYS (EXCL. CELLAR)	N/A	PROP. HEIGHT = 10.8m (35'-4.5")
6. COVERAGE	MAX. 35% (3,111sf)	N/A	GROUND FLOOR: 2,628sf 3 CAR GARAGE: 707sf PROP. BLDG. FOOTPRINT: 3,335sf FRONT PORCH: 132sf ROOF ATTIC OVER GARAGE: 31sf GARAGE CANOPY: 81sf FRONT CANOPY OVER PLANTER: 129sf COVERED REAR DECK: 42sf <b>TOTAL: 3,750sf (36.7%)</b> <b>ACCESSORY BLDG.: 558sf (5.5%)</b> <b>TOTAL COVERAGE: 4,308sf (42.2%)</b>  NOTE: CANOPY OVER PLANTER MEASURED TO EXTENT OF SUPPORT. COLUMNS
7. BUILDING DEPTH	MAX. 16.8 m (+2.1m ONE-STORY BLDG. EXTN. OVER 16.8m, MAX. WIDTH 1/2 BLDG. WIDTH, MAX. HEIGHT 4.6m)	N/A	22.42m (73'-7")
8. NET FLOOR AREA RATIO	MAX. 45% (3,782sf/351.4sm)-INCL. GARAGE NET AREA = 8,405sf (780.8sm) NET AREA CALC: 6,600 + ((10,211 - 6,600) / 2) = 8,405sf (780.8sm)	N/A	GROUND FLOOR - 2,628sf GARAGE - 707sf TOTAL GROUND FLR. - 3,335sf 2ND FLOOR AREA - 2,425sf TOTAL GFA - 5,760sf  DEDUCTIONS: STAIR WELL - 93sf ELEVATOR SHAFT - 25sf ATTIC AREA - 1,090sf REAR STAIR SHAFT - 148sf TOTAL DEDUCTIONS - 1,356sf <b>TOTAL NET AREA: 4,404sf (52.4%)</b> <b>NET RATIO: 52.4%</b>  BSMNT. AREA (NOT INCL.) - 3,467sf GARAGE ROOF PROJECTION = 41' (3'-5")
9. PERMITTED PROJECTIONS	UNENCLOSED PORCH = 18' (0.46m) UNCOVERED PLATFORMS = 18' (0.46m)	N/A	

LANDSCAPE STATISTICS	
BY-LAW 27-97	PROPOSED
FRONT YARD LANDSCAPE REQ. MIN. 40%	TOTAL FRONT YARD AREA: 1,690sf EXCLUDED HARD SURFACE AREAS: PROP. DRIVEWAY: 879sf PROP. WALKWAY: 104sf PROP. PLANTER WALL: 27sf TOTAL SOFT LANDSC. AREA: 680sf (40.2%)

**SURVEY INFORMATION**

PLAN OF SURVEY  
PART 1, LOT 74,  
REGISTERED PLAN 4949  
CITY OF MARKHAM,  
REGIONAL MUNICIPALITY OF YORK

DATED: MARCH 12, 2021  
E. W. BOWYER INC.  
ONTARIO LAND SURVEYORS  
LAND DEVELOPMENT CONSULTANTS

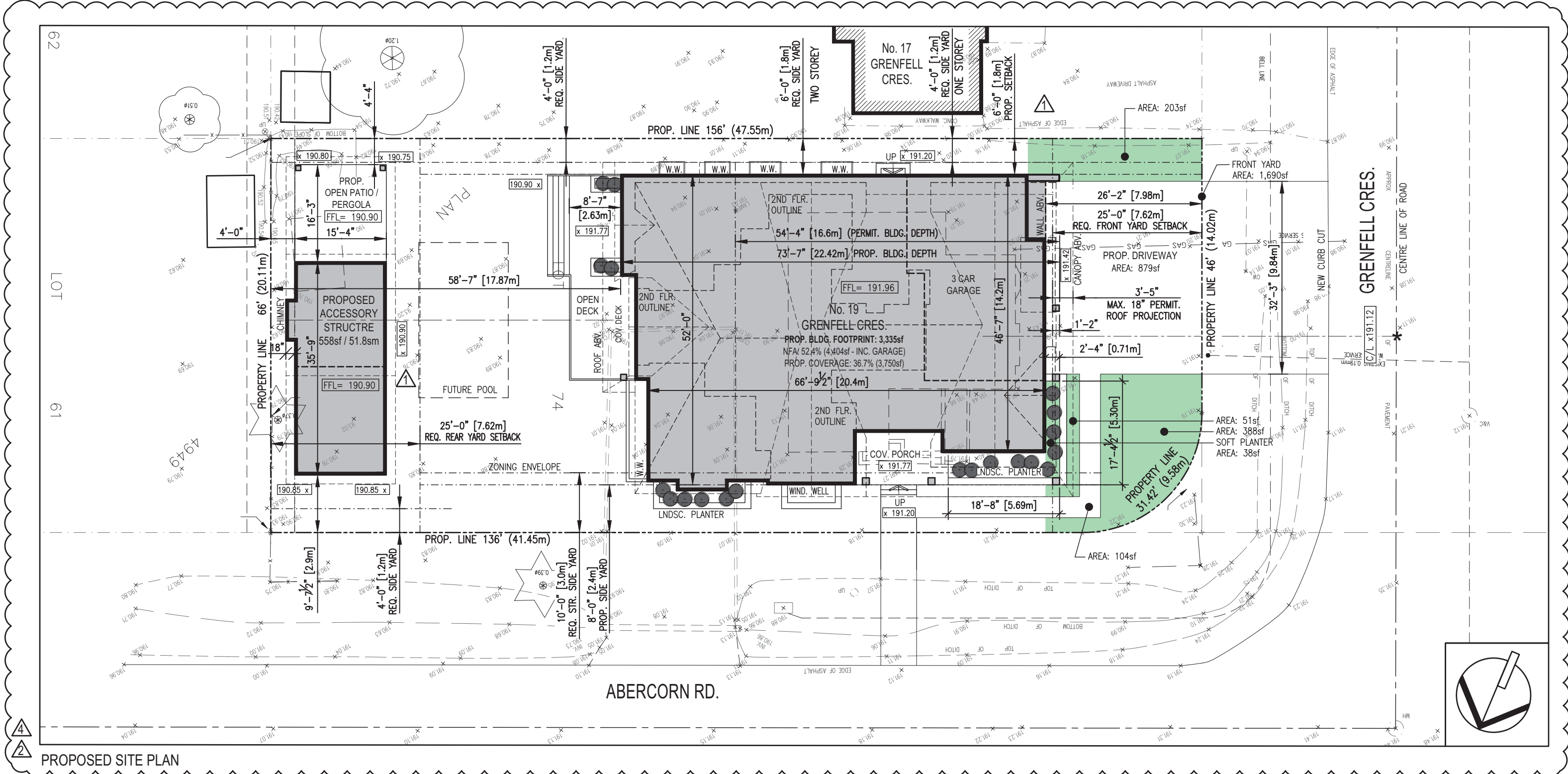
9275 MARKHAM ROAD., SUITE 201A  
MARKHAM, ONTARIO L6E 1A3  
TEL. (905) 294-8093  
FAX. (905) 294-8349

LEGEND	
	PROPERTY LINE
	ZONING ENVELOPE
	PROPOSED BUILDING ENVELOPE (NFA)
	PROPOSED FRONT YARD SOFT LANDSCAPE AREA
	EXISTING GRADE ELEVATION
	PROP. ELEVATION



ACCESSORY BUILDING STATISTICS			
	BY-LAW 1229	EXISTING	PROPOSED
1. LOCATION	PERMITTED IN REAR YARD	EXISTING TO BE REMOVED	REAR YARD
2. SETBACKS	REAR/ SIDE YARD = 4'-0" (1.2m)		REAR SY = 4'-0" SOUTH SY = 4'-4" NORTH SY = 9'-7.5"
3. BUILDING HEIGHT	12'-0" (3.66m) TO ROOF MID-POINT		12'-0" (3.66m) TO ROOF MID-POINT
4. COVERAGE	MAX. 10% OF LOT AREA (INCLUDED IN OVERALL LOT COVERAGE)		ENCLOSED STRUCTURE - 558sf / 5.5% (INCLUDED IN OVERALL LOT COVERAGE)

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PROJECT: PROPOSED CUSTOM HOME SINGLE FAMILY RESIDENCE

CLIENT: MRS. KRISTEN & MR. KEVIN CRIBARI

CONSULTANTS:

ARCHITECT: **JOSEPH N. CAMPITELLI ARCHITECT INC.**  
10 Bur Oak Avenue, Unit 3, Markham, ON L6C 0A2  
tel: 905-887-8800 fax: 905-887-9400  
e-mail: info@jnc-architect.com

LEGAL: This drawing, as an instrument of service, is provided by, and is the property of, Joseph N. Campitelli, Architect Inc. (the "Architect"). The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify the Architect, of any variations from the supplied information. The Architect is not responsible for the accuracy of survey, structural, mechanical, electrical, engineering information, etc., which is shown on this drawing. Refer to the appropriate engineering drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of the authorities having jurisdiction. Unless otherwise noted, no investigation has been undertaken or reported on by the Architect, in regards to the environmental condition of the site to which this drawing relates. This drawing is not to be used for construction purposes until countersigned by the Architect.

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COUNTERSIGNED: Joseph N. Campitelli, Architect B.A.R.C.H., O.A.A., M.R.A.I.C.

DATE:

DWG. ISSUES	DESCRIPTION	DATE	BY
1. NOV.12.2021	ISSUED FOR ZONING REVIEW	RD	
2. APR.14.2022	RE-ISSUED FOR ZONING REVIEW	RD	
3. JUN.01.2022	ISSUED FOR MINOR VARIANCE APPR.	RD	
4. NOV.02.2022	ISSUED FOR ZONING REVIEW	RD	
5. DEC.09.2022	RE-ISSUED FOR ZONING REVIEW	RD	
6. FEB.14.2023	ISSUED FOR ZONING REVIEW	RD	

LEGAL: PROJECT ARCHITECT: J. CAMPITELLI  
ASSISTANT DESIGNER: RD  
DRAWN BY: RD  
CHECKED BY: J.C.

DWG. TITLE: PROPOSED SITE PLAN SITE STATISTICS

SCALE: 1/16"=1'-0" DATE PRINTED: FEB.14.2023 PROJECT NO: 284.21.D

SHEET NO: **A.100**

**Appendix A**

File: 22.243791.000.00.MNV

Date: 04/28/23

LEGEND	
■	PROP. WALLS
CH	CEILING HEIGHT
FFL	FINISH FLOOR LEVEL
FD	FLOOR DRAIN
AD	AREA DRAIN
FP	FIREPLACE
OV	OVEN
B	BENCH
MW	MILLWORK
CL	CLOSET
BIC	BUILT-IN CLOSET

ARCHITECT

**JOSEPH N. CAMPITELLI**  
ARCHITECT INC.

10 Bur Oak Avenue, Unit 3, Markham, ON L6C 0A2  
tel: 905-887-8800 fax: 905-887-9400  
e-mail: info@jnc-architect.com

CLIENT

CONSULTANTS

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DESCRIPTION

PROJECT ARCHITECT:  
J. CAMPITELLI  
ASSISTANT DESIGNER:  
RD  
DRAWN BY:  
RD  
CHECKED BY:  
J.C.

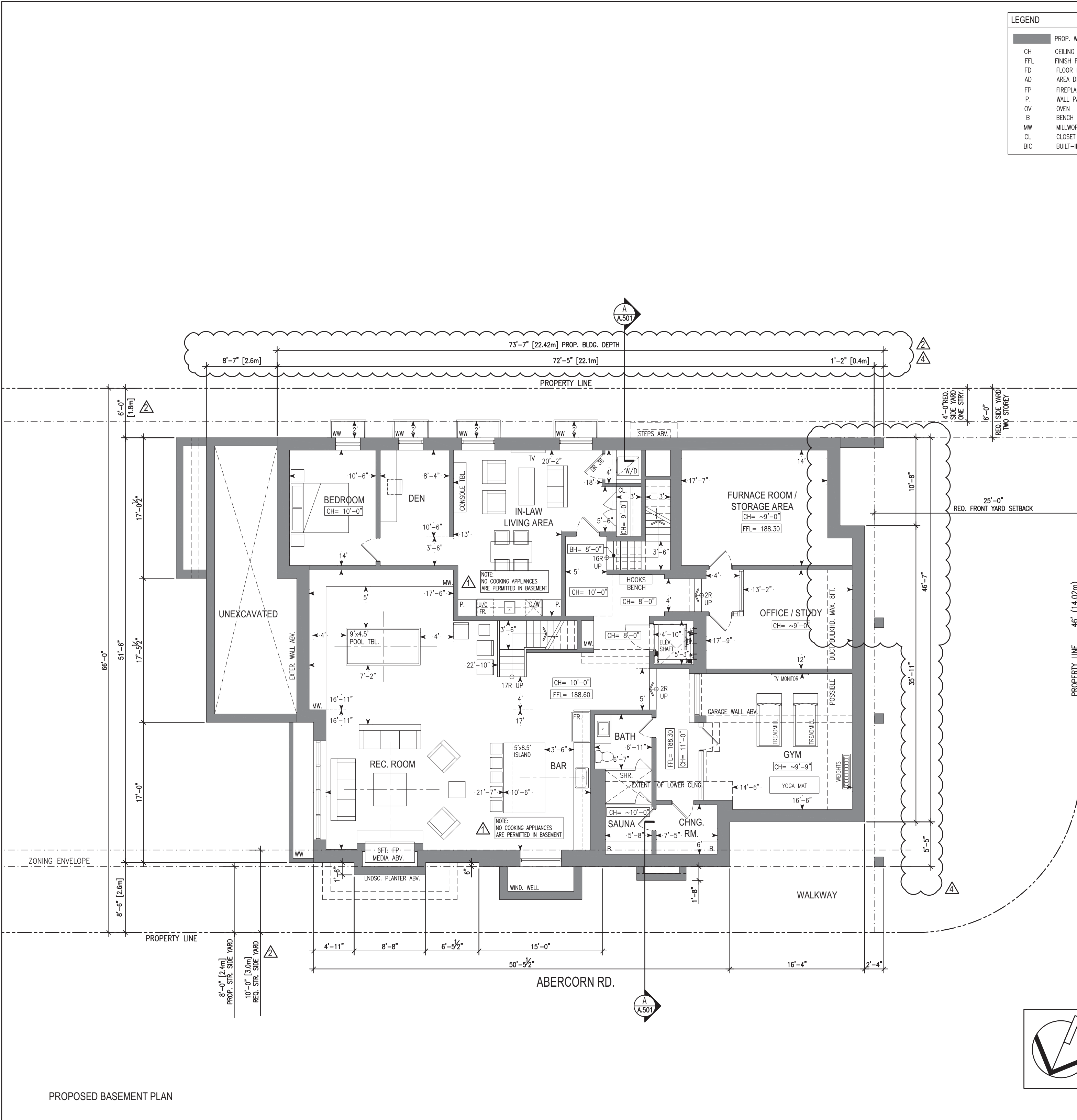
PROPOSED BASEMENT PLAN

SCALE	DATE PRINTED	PROJECT NO.
1/8"=1'-0"	FEB.14.2023	284.21.D

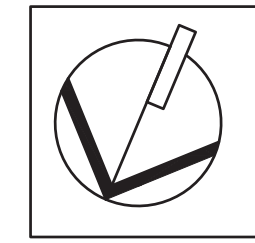
SHEET NO.

A.201

GRENFELL CRES.



PROPOSED BASEMENT PLAN





LEGEND	
■	PROP. WALLS
CH	CEILING HEIGHT
FFL	FINISH FLOOR LEVEL
FD	FLOOR DRAIN
AD	AREA DRAIN
FP	FIREPLACE
P.	WALL PANTRY
OV	OVEN
B	BENCH
MW	MILLWORK
CL	CLOSET
BIC	BUILT-IN CLOSET

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**LEGAL**

PROJECT ARCHITECT:  
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ASSISTANT DESIGNER:  
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DRAWN BY:  
RD  
CHECKED BY:  
J.C.

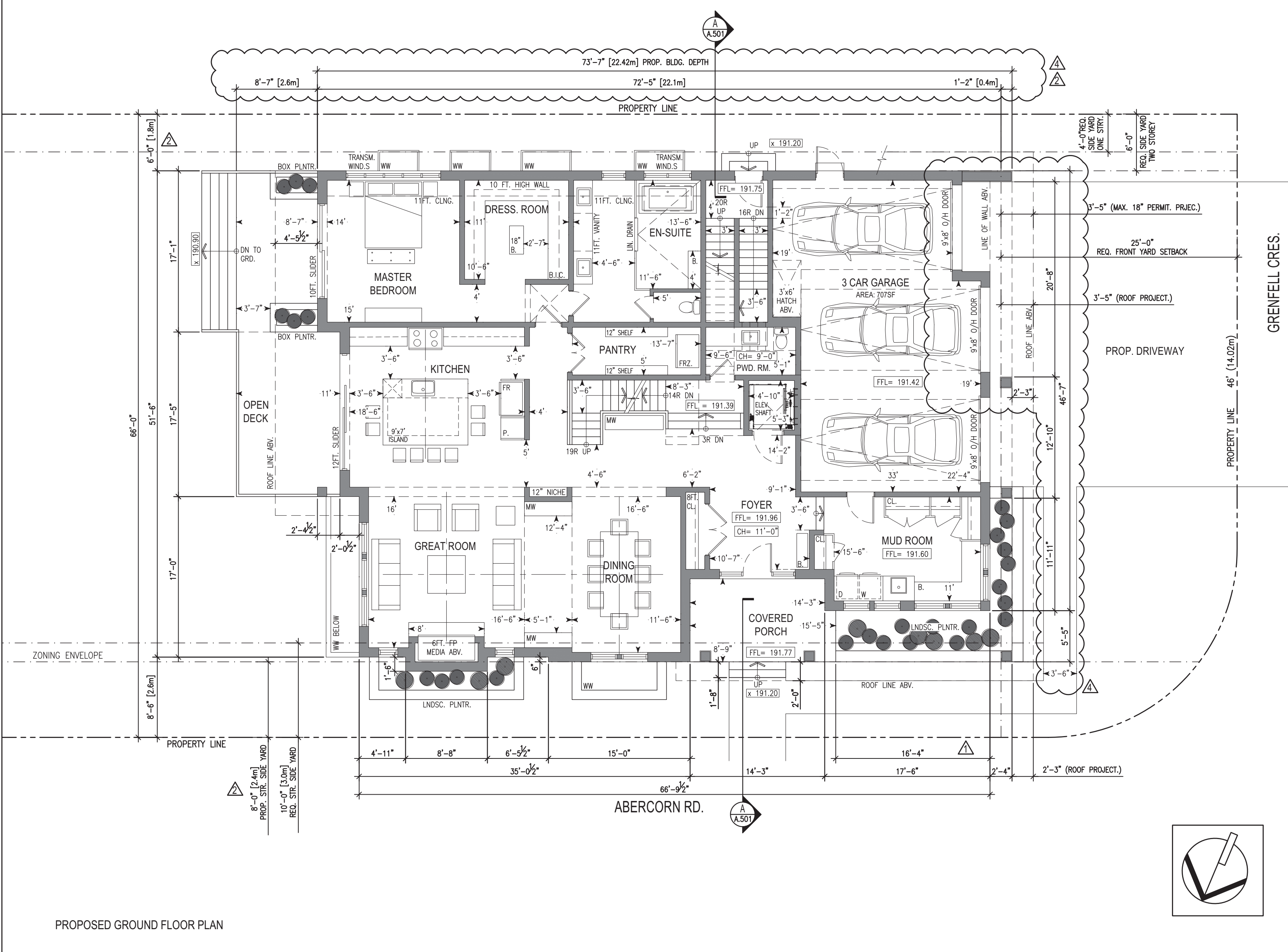
**DWG. TITLE**

PROPOSED  
GROUND FLOOR PLAN

SCALE: 1/8"=1'-0"  
DATE PRINTED: FEB.14.2023  
PROJECT NO.: 284.21.D

**SHEETING**

A.301



PROPOSED GROUND FLOOR PLAN

AREA DIAGRAM

HATCHED AREA INCLUDED IN GFA CALCULATIONS  
AREA: 1,069sf

LEGEND

- CH PROP. WALLS
- FLL CEILING HEIGHT
- FD FINISH FLOOR LEVEL
- AD FLOOR DRAIN
- AD AREA DRAIN
- FP FIREPLACE
- P. WALL PANTRY
- OV OVEN
- B BENCH
- MW MILLWORK
- CL CLOSET
- BIC BUILT-IN CLOSET

PROPOSED CUSTOM HOME  
SINGLE FAMILY RESIDENCE

19 GRENPELL CRES.  
MARKHAM, ON

MRS. KRISTEN & MR. KEVIN CRIBARI

Appendix A

File: 22.243791.000.00.MNV

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DESCRIPTION

LEGAL

DWG. TITLE

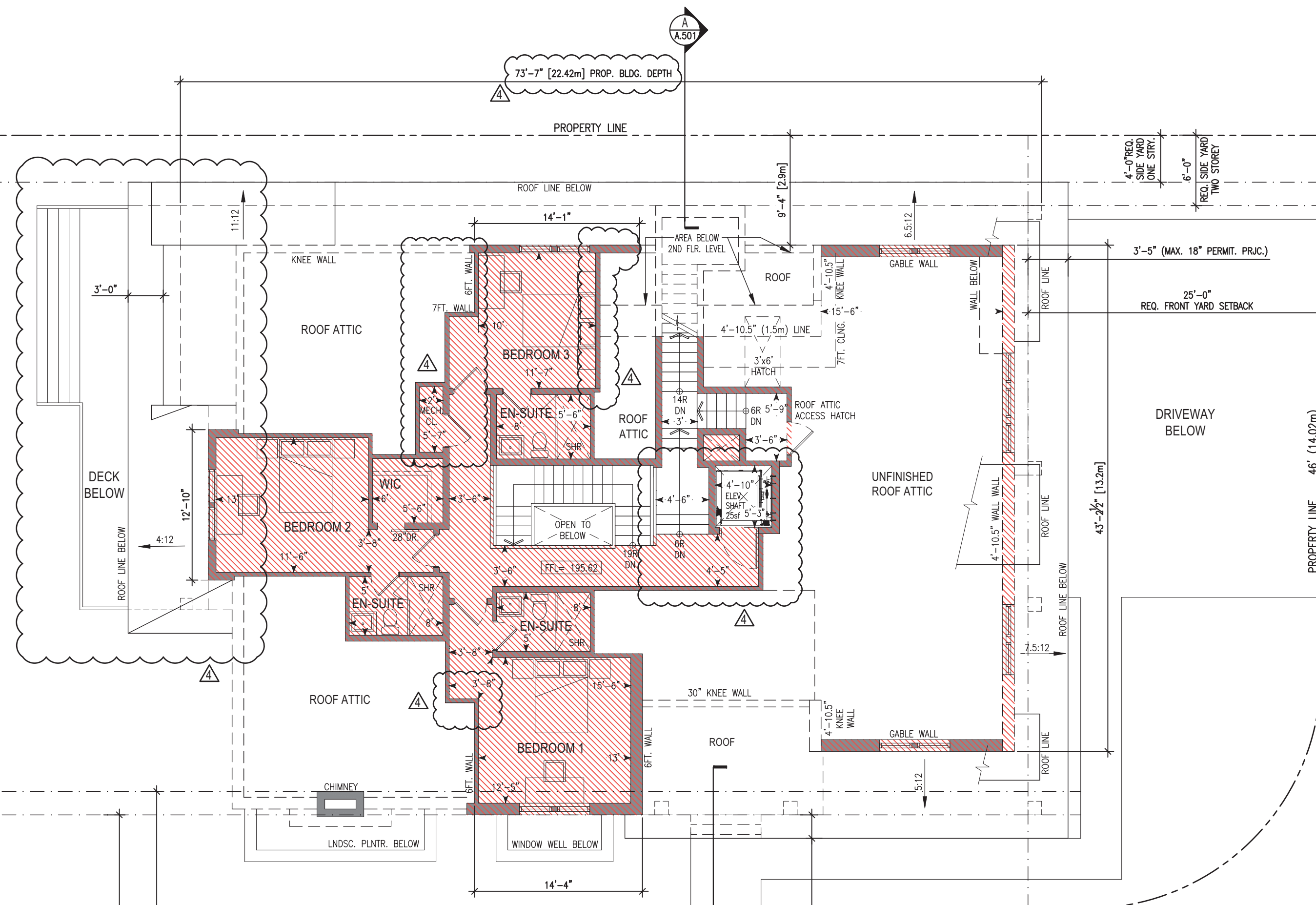
SHEET NO.

PROJECT ARCHITECT:  
J. CAMPITELLI  
ASSISTANT DESIGNER:  
RD  
DRAWN BY:  
RD  
CHECKED BY:  
J.C.

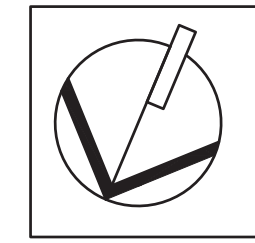
PROPOSED  
SECOND FLOOR PLAN

SCALE: 1/8"=1'-0" DATE PRINTED: FEB.14.2023 PROJECT NO.: 284.21.D

A.302



PROPOSED SECOND FLOOR PLAN



PROPOSED CUSTOM HOME  
SINGLE FAMILY RESIDENCE

19 GRENPELL CRES.  
MARKHAM, ON

MRS. KRISTEN & MR. KEVIN CRIBARI

**JOSEPH N CAMPITELLI**  
ARCHITECT INC.

10 Bur Oak Avenue, Unit 3, Markham, ON L6C 0A2  
tel: 905-887-8800 fax: 905-887-9400  
e-mail: info@jnc-architect.com

**Appendix A**

File: 22.243791.000.00.MNV

Date: 04/28/23

MMDDYY

PROJECT ARCHITECT  
CLIENT  
CONSULTANTS  
ARCHITECT  
LEGAL  
LEGAL  
DESCRIPTION  
LEGAL  
DWG. TITLE  
SHEET NO.

LEGAL

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This drawing is not to be scaled. All architectural symbols indicated on this drawing are graphic representations only.

COUNTERSIGNED  
Joseph N. Campitelli, Architect  
B.A.R.C.H., O.A.A., M.R.A.I.C.

DATE

DWG. ISSUES

1. NOV.12.2021	ISSUED FOR ZONING REVIEW	RD
2. APR.14.2022	RE-ISSUED FOR ZONING REVIEW	RD
3. JUN.01.2022	ISSUED FOR MINOR VARIANCE APPR.	RD
4. NOV.02.2022	ISSUED FOR ZONING REVIEW	RD
5. DEC.09.2022	RE-ISSUED FOR ZONING REVIEW	RD
6. FEB.14.2023	ISSUED FOR ZONING REVIEW	RD

DESCRIPTION

LEGAL

PROJECT ARCHITECT:  
J. CAMPITELLI  
ASSISTANT DESIGNER:  
RD  
DRAWN BY:  
RD  
CHECKED BY:  
J.C.

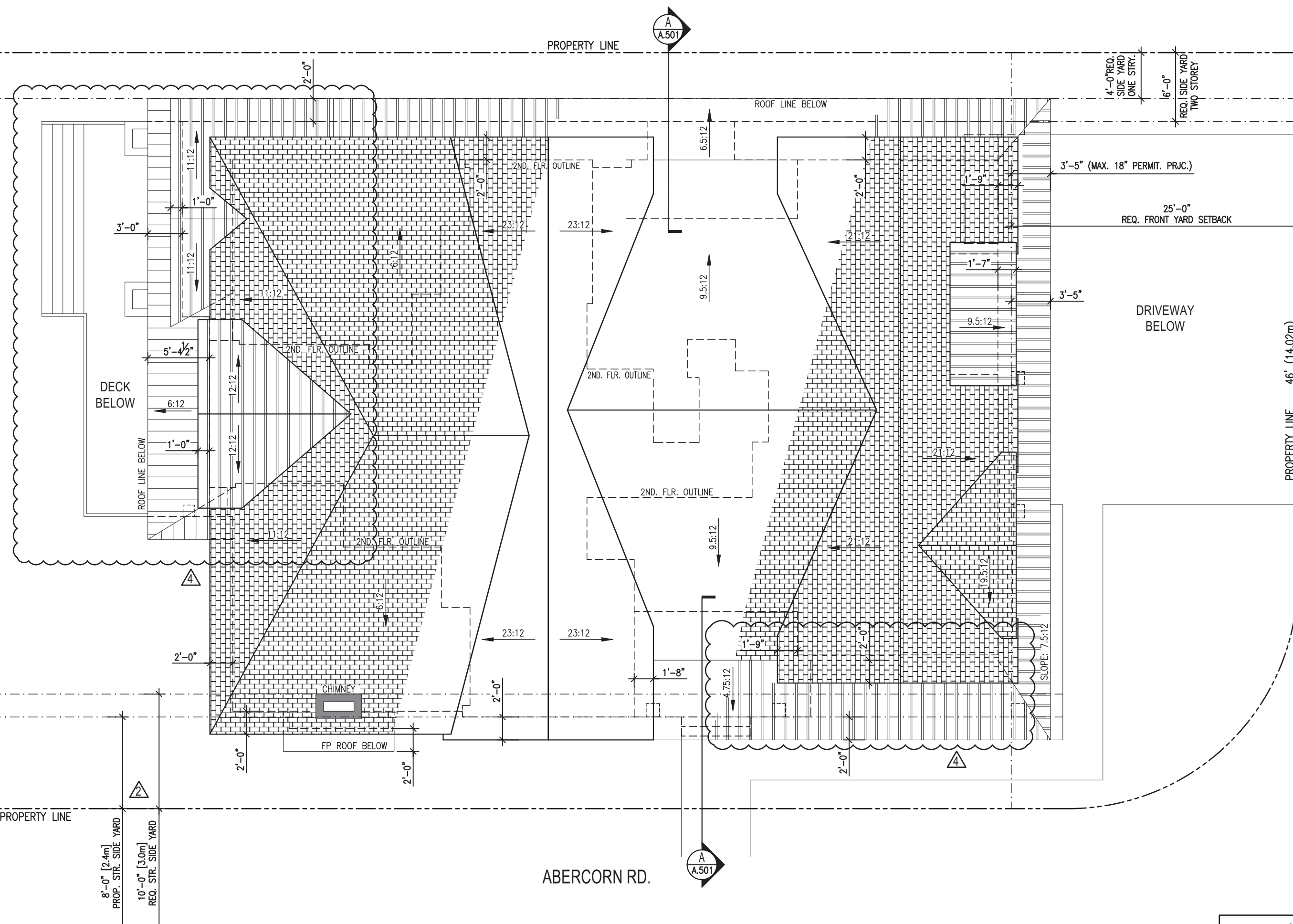
DWG. TITLE

PROPOSED ROOF PLAN

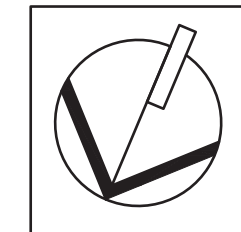
SHEET NO.

SCALE	DATE PRINTED	PROJECT NO.
1/8"=1'-0"	FEB.14.2023	284.21.D

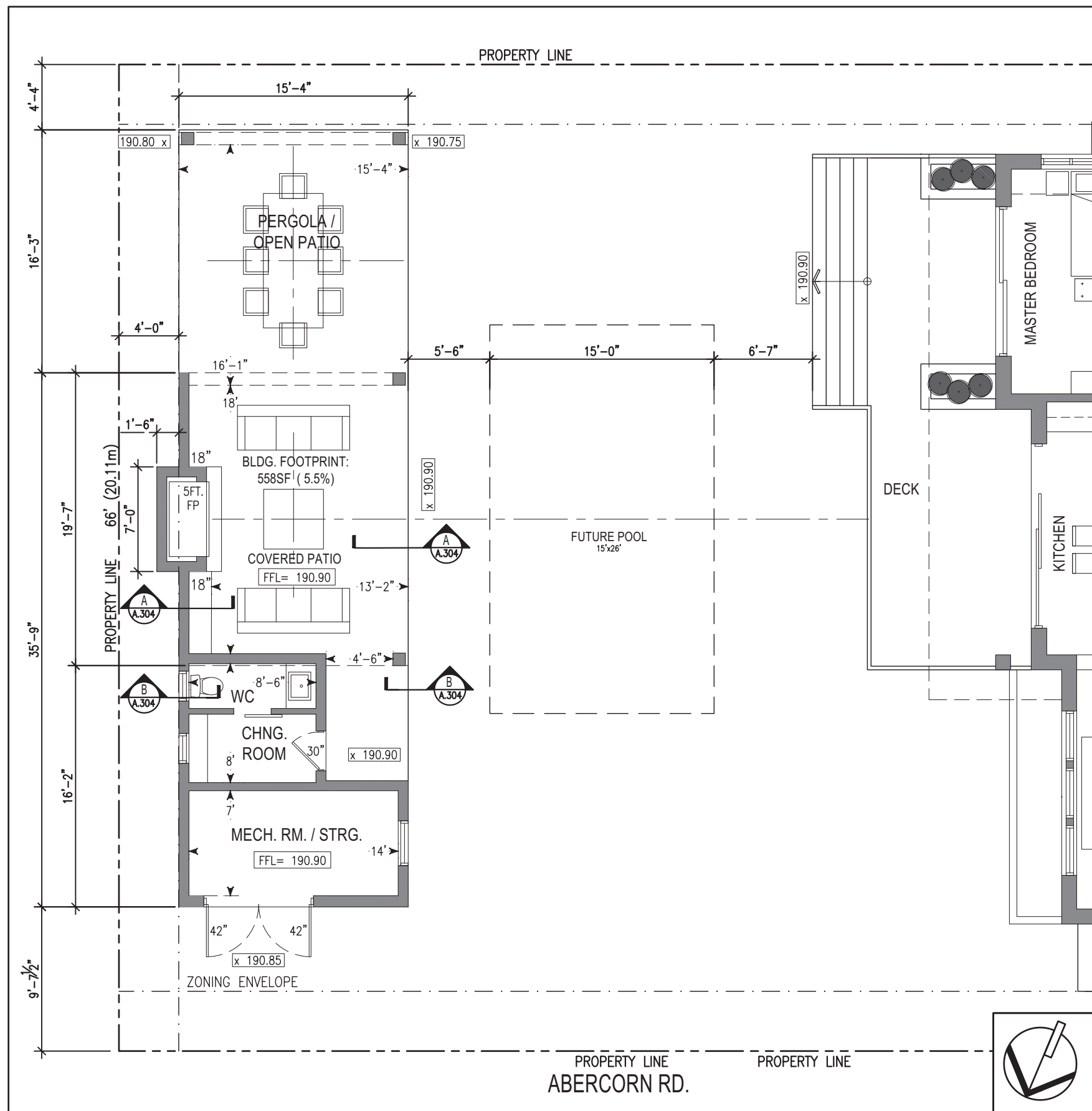
**A.303**



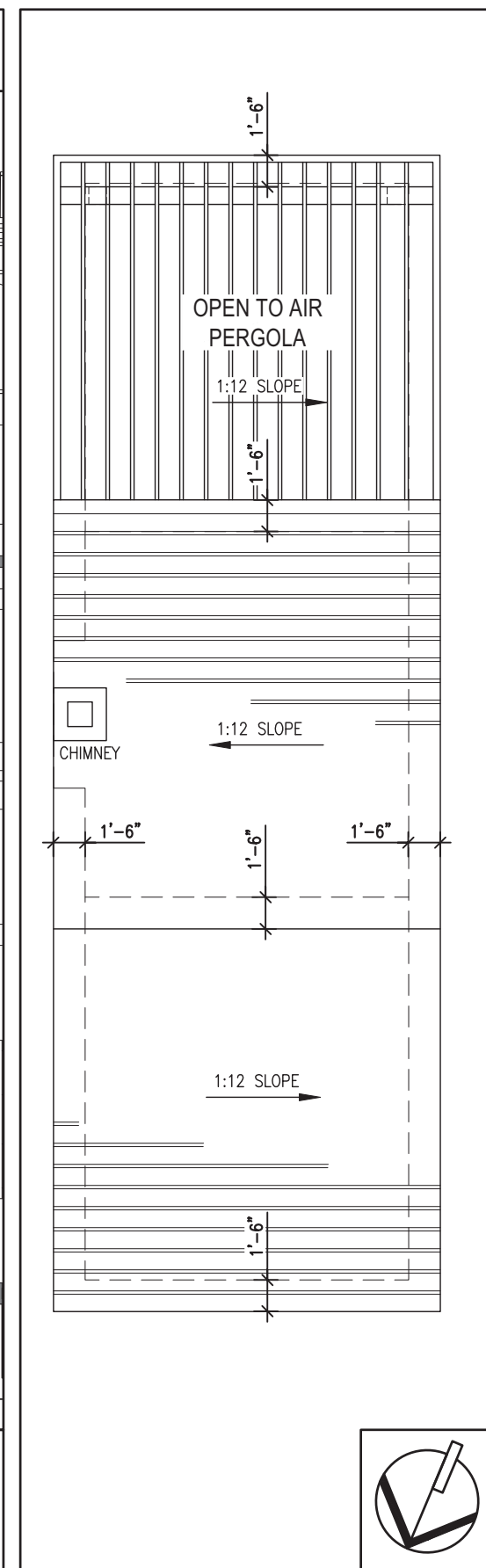
PROPOSED ROOF PLAN



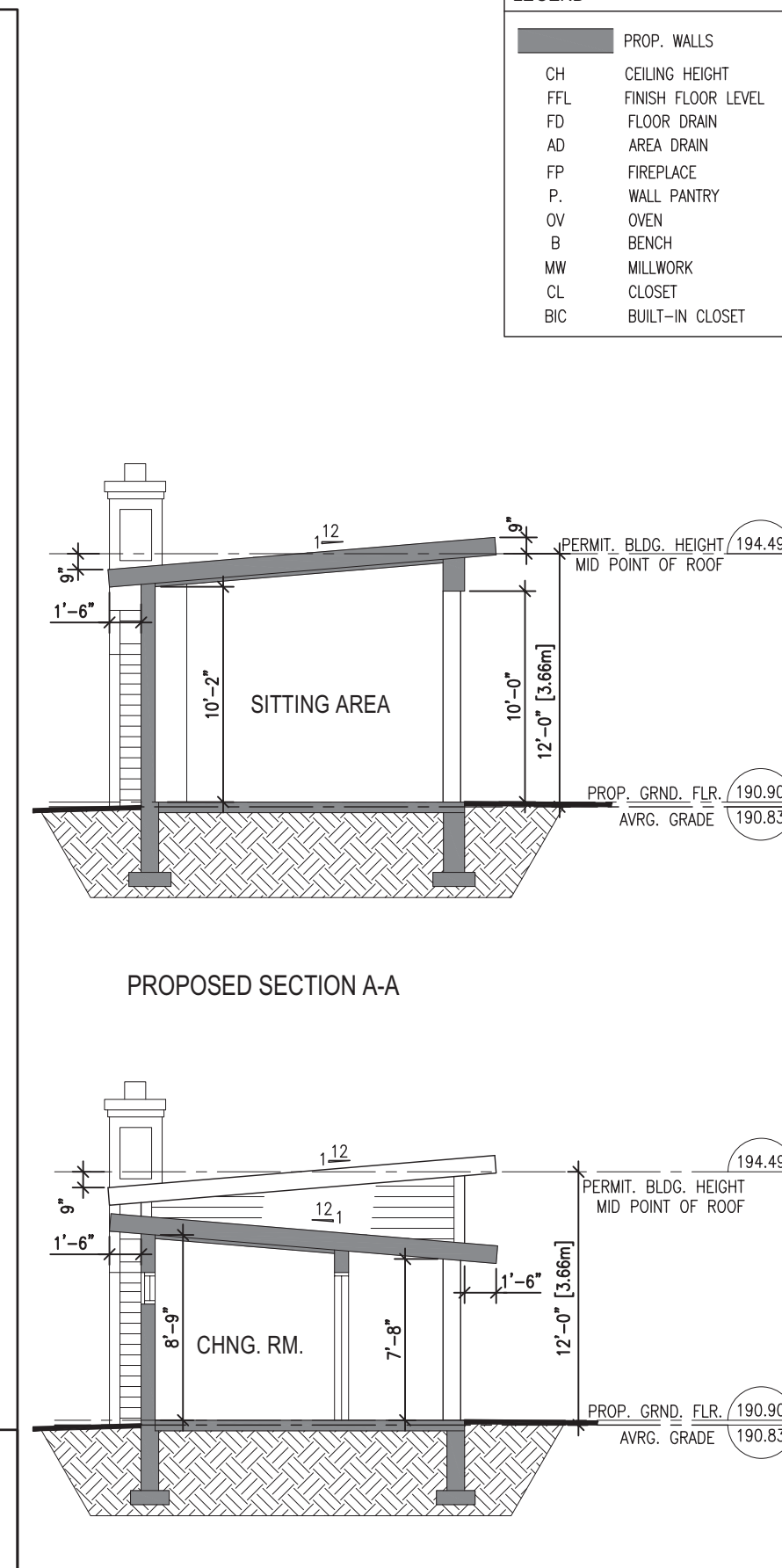




PROPOSED GROUND FLOOR PLAN



PROPOSED ROOF PLAN



PROPOSED SECTION B-B

**LEGEND**

- PROP. WALLS
- CH CEILING HEIGHT
- FFL FINISH FLOOR LEVEL
- FD FLOOR DRAIN
- AD AREA DRAIN
- FP FIREPLACE
- P. WALL PANTRY
- OV OVEN
- B BENCH
- MW MILLWORK
- CL CLOSET
- BIC BUILT-IN CLOSET

PROJECT

PROPOSED CUSTOM HOME  
SINGLE FAMILY RESIDENCE

19 GRENFELL CRES.  
MARKHAM, ON

CLIENT

MRS. KRISTEN & MR. KEVIN CRIBARI

CONSULTANTS

ARCHITECT

**JOSEPH N. CAMPITELLI**  
ARCHITECT INC.

10 Bur Oak Avenue, Unit 3, Markham, ON L6C 0A2  
tel: 905-887-8800 fax: 905-887-9400  
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COUNTERSIGNED

Joseph N. Campitelli, Architect  
B.A.R.C.H., O.A.A., M.R.A.I.C.

DATE

DWG. ISSUES

1. APR. 14, 2022	ISSUED FOR ZONING REVIEW	RD
2. NOV. 02, 2022	ISSUED FOR ZONING REVIEW	RD
3. FEB. 14, 2023	ISSUED FOR ZONING REVIEW	RD

DESCRIPTION

LEGAL

PROJECT ARCHITECT:  
J. CAMPITELLI  
ASSISTANT DESIGNER:  
RD  
DRAWN BY:  
RD  
CHECKED BY:  
J.C.

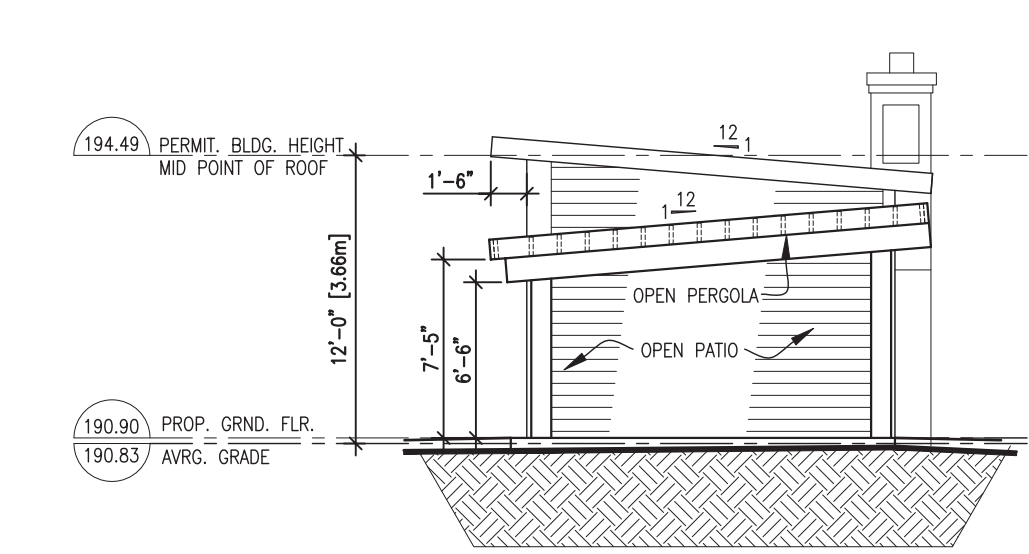
DWG. TITLE

PROP. ACCESSORY STRUCTURE  
PLAN, ELEVATIONS, SECTIONS

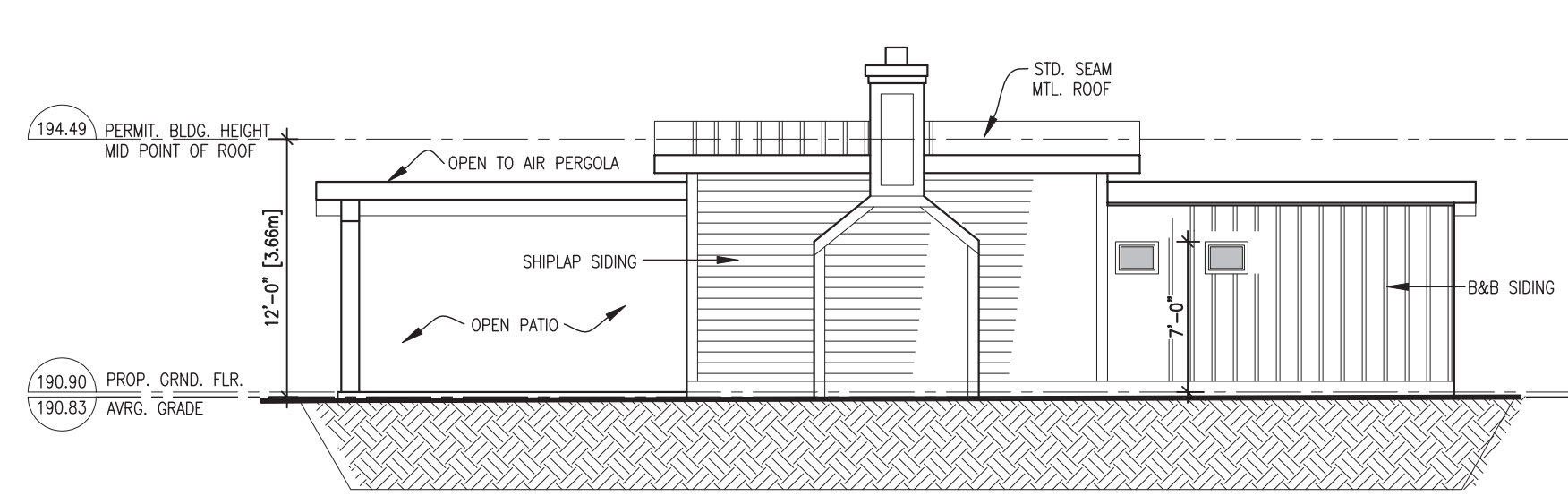
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DATE PRINTED FEB. 14, 2023

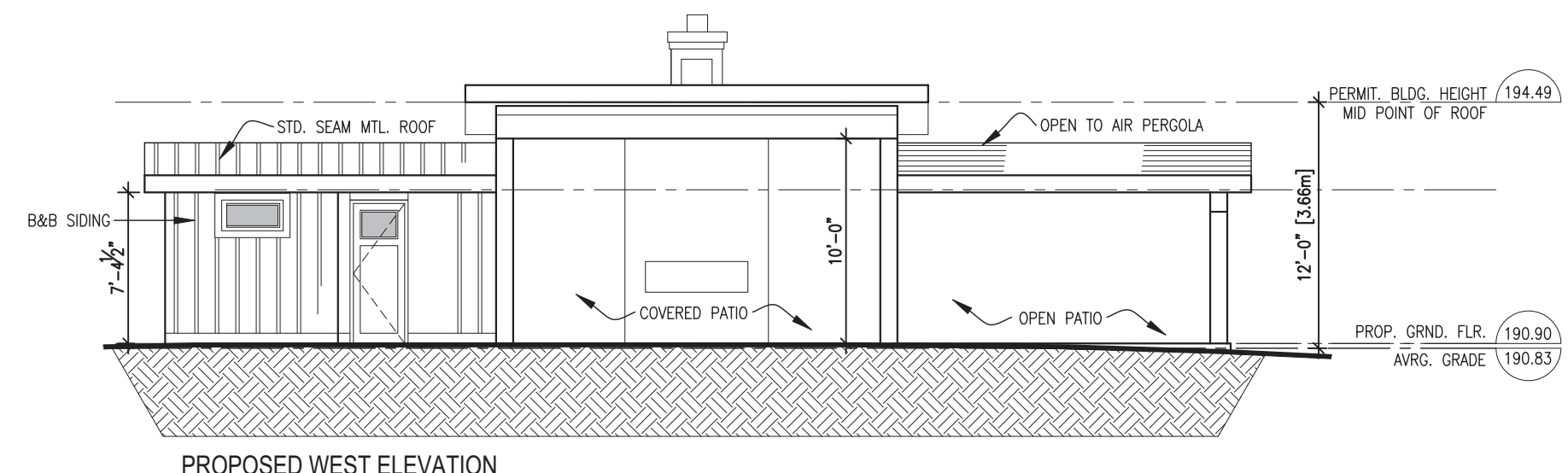
PROJECT NO. 284.21.D



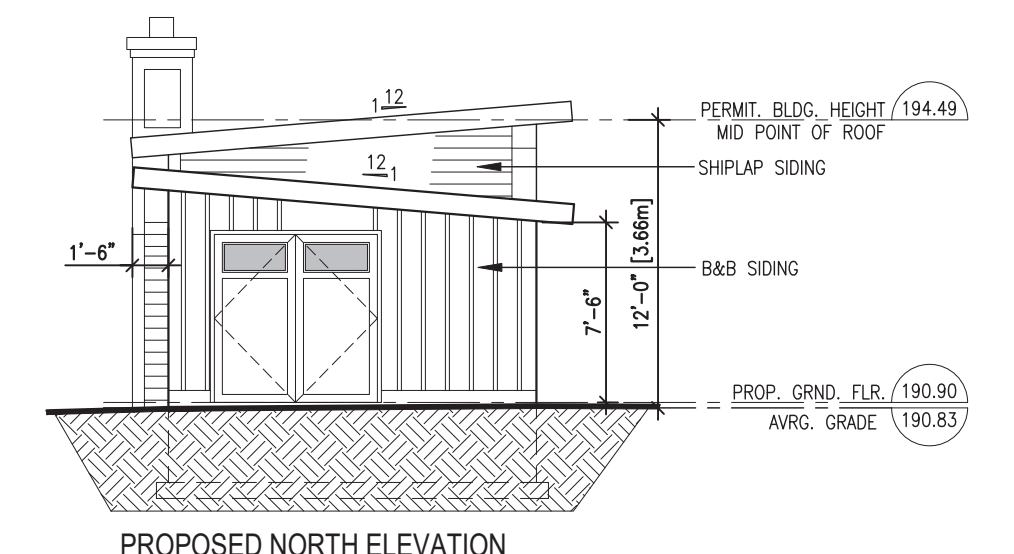
PROPOSED SOUTH ELEVATION



PROPOSED EAST ELEVATION



PROPOSED WEST ELEVATION



PROPOSED NORTH ELEVATION

SHEET NO.

**A.304**

**Appendix A**

File: 22.243791.000.00.MNV

Date: 04/28/23

MMDDYY

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B.A.R.C.H., O.A.A., M.R.A.I.C.

DATE

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5. DEC.09.2022	RE-ISSUED FOR ZONING REVIEW	RD
6. FEB.14.2023	ISSUED FOR ZONING REVIEW	RD

DESCRIPTION

LEGAL

PROJECT ARCHITECT:  
J. CAMPITELLI  
ASSISTANT DESIGNER:  
RD  
DRAWN BY:  
RD  
CHECKED BY:  
J.C.

DWG. TITLE

PROPOSED  
WEST & NORTH ELEVATIONS

SHEET NO.

SCALE 1/8"=1'-0" DATE PRINTED FEB.14.2023 PROJECT NO. 284.21.D

A.401

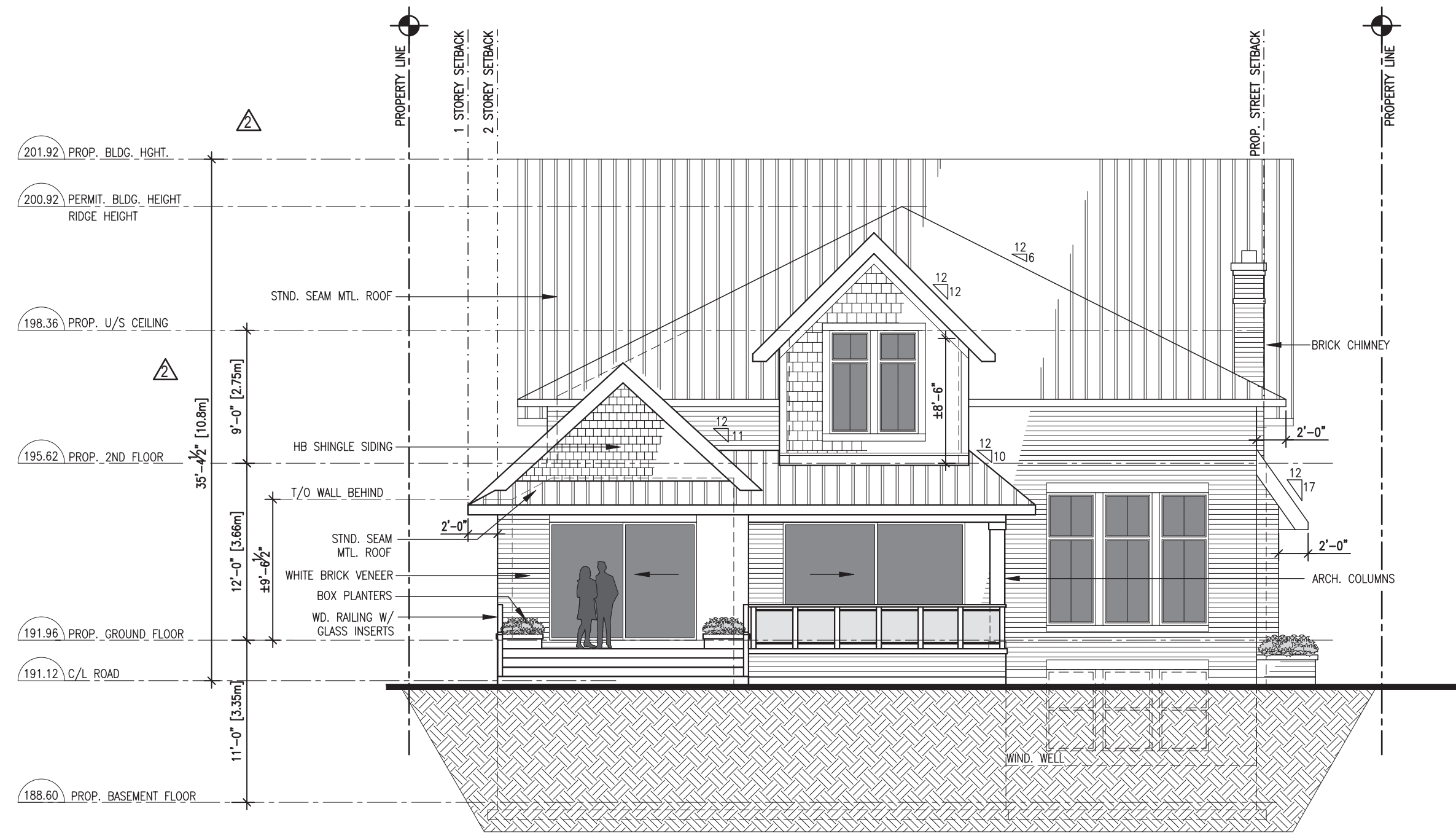


PROPOSED WEST ELEVATION



PROPOSED NORTH ELEVATION



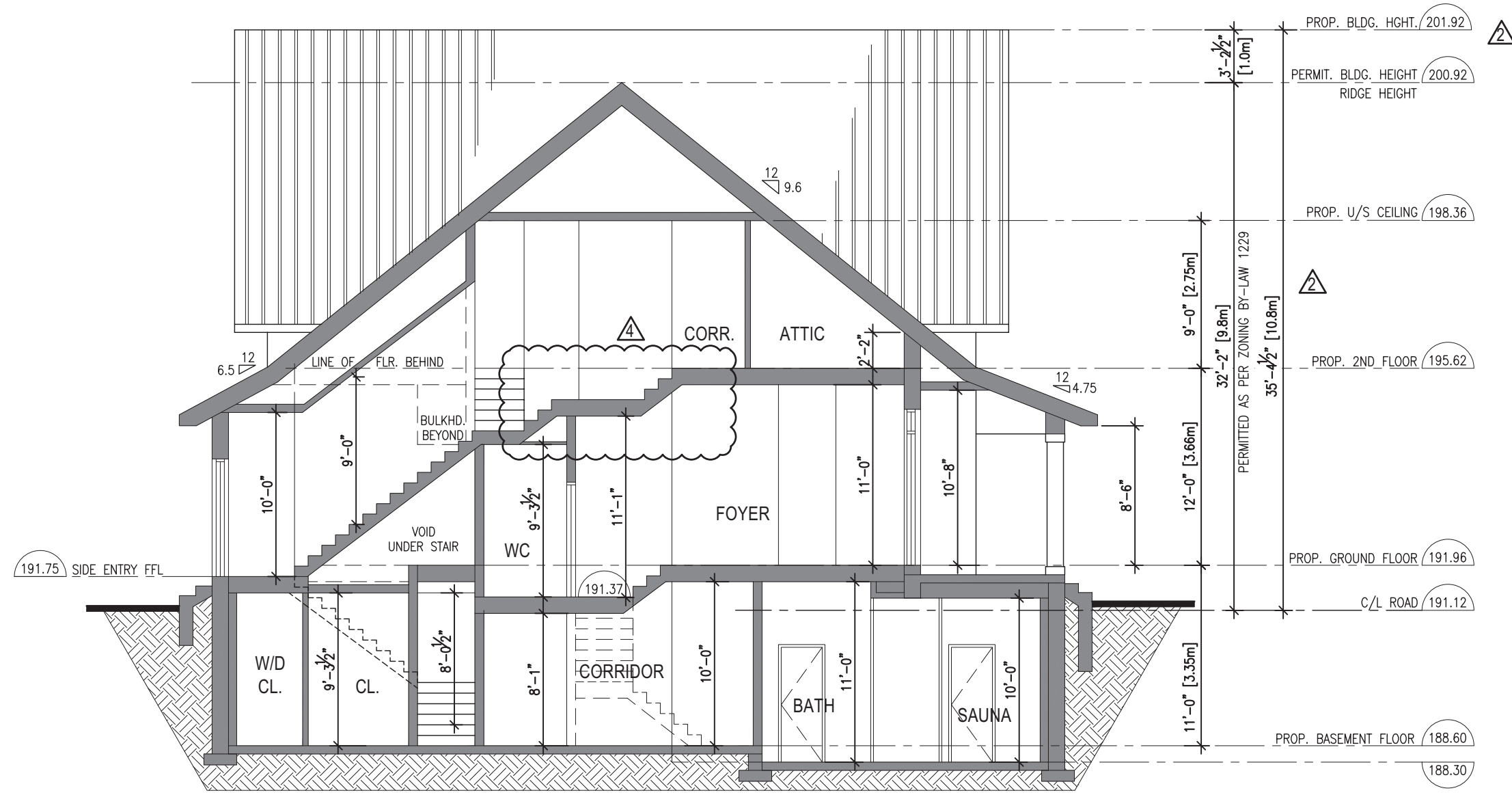


PROPOSED EAST ELEVATION



PROPOSED SOUTH ELEVATION

PROJECT	PROPOSED CUSTOM HOME SINGLE FAMILY RESIDENCE																		
CLIENT	MRS. KRISTEN & MR. KEVIN CRIBARI																		
CONSULTANTS																			
ARCHITECT	<b>JOSEPH N CAMPITELLI</b> ARCHITECT INC. 10 Bir Oak Avenue, Unit 3, Markham, ON L6C 0A2 tel: 905-887-8800 fax: 905-887-9400 e-mail: info@jnc-architect.com																		
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COUNTERSIGNED	Joseph N. Campitelli, Architect B.A.R.C.H., O.A.A., M.R.A.I.C.																		
DATE																			
DWG. ISSUES	<table border="1"> <tr> <td>1. NOV.12.2021</td> <td>ISSUED FOR ZONING REVIEW</td> <td>RD</td> </tr> <tr> <td>2. APR.14.2022</td> <td>RE-ISSUED FOR ZONING REVIEW</td> <td>RD</td> </tr> <tr> <td>3. JUN.01.2022</td> <td>ISSUED FOR MINOR VARIANCE APPR.</td> <td>RD</td> </tr> <tr> <td>4. NOV.02.2022</td> <td>ISSUED FOR ZONING REVIEW</td> <td>RD</td> </tr> <tr> <td>5. DEC.09.2022</td> <td>RE-ISSUED FOR ZONING REVIEW</td> <td>RD</td> </tr> <tr> <td>6. FEB.14.2023</td> <td>ISSUED FOR ZONING REVIEW</td> <td>RD</td> </tr> </table>	1. NOV.12.2021	ISSUED FOR ZONING REVIEW	RD	2. APR.14.2022	RE-ISSUED FOR ZONING REVIEW	RD	3. JUN.01.2022	ISSUED FOR MINOR VARIANCE APPR.	RD	4. NOV.02.2022	ISSUED FOR ZONING REVIEW	RD	5. DEC.09.2022	RE-ISSUED FOR ZONING REVIEW	RD	6. FEB.14.2023	ISSUED FOR ZONING REVIEW	RD
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6. FEB.14.2023	ISSUED FOR ZONING REVIEW	RD																	
DESCRIPTION																			
LEGAL	PROJECT ARCHITECT: J. CAMPITELLI ASSISTANT DESIGNER: RD DRAWN BY: RD CHECKED BY: J.C.																		
DWG. TITLE	PROPOSED EAST & SOUTH ELEVATIONS																		
SHEET NO.	SCALE: 1/8"=1'-0" DATE PRINTED: FEB.14.2023 PROJECT NO.: 284.21.D																		



BUILDING SECTION A-A

PROPOSED CUSTOM HOME  
SINGLE FAMILY RESIDENCE

19 GRENFELL CRES.  
MARKHAM, ON

MRS. KRISTEN & MR. KEVIN CRIBARI

ARCHITECT

**JOSEPH N. CAMPITELLI**  
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DESCRIPTION

LEGAL

PROJECT ARCHITECT:  
J. CAMPITELLI  
ASSISTANT DESIGNER:  
RD  
DRAWN BY:  
RD  
CHECKED BY:  
J.C.

DWG. TITLE

BUILDING SECTION A-A

SHEET NO.

SCALE	DATE PRINTED	PROJECT NO.
1/8"=1'-0"	FEB.14.2023	284.21.D

A.501

Appendix A

File: 22.243791.000.00.MNV

Date: 04/28/23

MMDDYY