

Memorandum to the City of Markham Committee of Adjustment

April 12, 2023

File: A/032/23
Address: 67 Ramona Boulevard, Markham
Applicant: Vachik Hagopain
Agent: RT Architects (Raffi Tashdjian)
Hearing Date: Wednesday, April 19, 2023

The following comments are provided on behalf of the East Team:

The applicant is requesting relief from the following requirements of “One-Family Detached Dwellings (R1)” of By-law 1229, as amended, as it relates to a proposed single detached dwelling. The variances requested are to permit:

a) Amending By-law 99-90, Section 1.2(i):

a maximum building height of 10.48 metres, whereas the By-law permits a maximum building height of 9.80 metres.

b) Amending By-law 99-90, Section 1.2(vi):

a maximum floor area ratio of 52.83 percent, whereas the By-law permits a maximum floor area ratio of 45 percent.

BACKGROUND

Property Description

The 664.07 m² (7,147.99 ft²) subject property is located on the corner of Ramona Boulevard and Sir Constantine Drive. The property is located within an established residential neighbourhood comprised of a mix of one and two-storey detached dwellings. The street has remained stable with minimal redevelopment to date.

There is an existing single detached dwelling on the property, which according to assessment records was constructed in 1972.

Proposal

The applicant is proposing to demolish the existing single detached dwelling and construct a new two-storey single detached dwelling. The proposed dwelling will have an approximate gross floor area of 342 m² (3681.26 ft²).

Official Plan and Zoning

Official Plan 2014 (partially approved on November 24/17, and updated on April 9/18)

The Official Plan designates the subject property “Residential Low Rise”, which provides for low rise housing forms including single detached dwellings. Single detached dwellings are required to meet the general intent of the Official Plan with respect to height, massing, and setbacks. This criteria is established to ensure that the development is appropriate for the site and generally consistent with the zoning requirements for adjacent properties and properties along the same street, while accommodating a diversity of building styles. Regard shall also be had for the retention and enhancement of existing trees and vegetation.

Zoning By-Law 1229

The subject property is zoned “One-Family Detached Dwellings (R1)” under By-law 1229, as amended, which permits single detached dwellings. The proposed development does not comply with the By-law with respect to the proposed increase of the maximum floor area and the maximum building height.

Residential Infill Zoning By-law 99-90

The subject property is also subject to the Residential Infill Zoning By-law 99-90. The intent of this By-law is to ensure the built form of new residential construction will maintain the character of existing neighbourhoods. It specifies development standards for building depth, garage projection, garage width, net floor area ratio, height, yard setbacks and number of storeys. The proposed development does not comply with the infill By-law requirements with respect to the allowed building height and the maximum floor area ratio.

Zoning Preliminary Review (ZPR) Undertaken

The owner has completed a Zoning Preliminary Review (ZPR) on March 7, 2023 to confirm the variances required for the proposed development.

COMMENTS

The Planning Act states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained;
- d) The general intent and purpose of the Official Plan must be maintained.

Increase in Maximum Floor Area Ratio

The applicant is requesting relief to permit a floor area ratio of 52.93 percent, whereas the By-law permits a maximum floor area ratio of 45 percent. The variance will facilitate the construction of a two-storey detached dwelling with a floor area of 342 m² (3,681.26 ft²), whereas the By-law permits a dwelling with a maximum floor area of 287.4 m² (3,093.75 ft²). This represents an increase of approximately 54.6 m² (587.70 ft²).

Floor Area Ratio is a measure of the interior square footage of the dwelling as a percentage of the net lot area however; it is not a definitive measure of the mass of the dwelling.

The building layout meets all other zoning provisions (such as setbacks and lot coverage) that establish the prescribed building envelope, which ensures the proposed dwelling will be in keeping with the intended scale of residential infill developments for the neighbourhood. Staff are of the opinion that the proposed floor area ratio is minor in nature and staff have no concern with the requested variance.

Increase in Maximum Building Height

The applicant is requesting relief to permit a maximum building height of 10.48 m (34.38 ft), whereas the By-law permits a maximum building height of 9.8 m (32.15 ft). This

represents an increase of 0.68 m (2.23 ft) which will not impact the streetscape and is minor in nature. Therefore, staff have no concerns with the proposed increase in height.

PUBLIC INPUT SUMMARY

No written submissions were received as of April 12 2023. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

CONCLUSION

Planning Staff have reviewed the application with respect to Section 45(1) of The Planning Act, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variance request meets the four tests of the Planning Act and have no objection. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Please refer to Appendix "A" for conditions to be attached to any approval of this application.

APPENDICES

Appendix "A" – Conditions of Approval

Appendix "B" - Plans

PREPARED BY:



Trisha Sridharan, Development Technician, Zoning and Special Projects

REVIEWED BY:



Stacia Muradali, Development Manager, East District

File Path: Amanda\File\ 23 115546 \Documents\District Team Comments Memo

APPENDIX "A"

CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/032/23

1. The variances apply only to the proposed development as long as it remains;
2. That the variances apply only to the subject development, in substantial conformity with the batch stamped plans attached as Appendix B to this Staff Report, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction.

CONDITIONS PREPARED BY:



Trisha Sridharan, Development Technician, Zoning and Special Projects

Appendix B

File: 23.115546.000.00.MNV

Date: 04/12/23
MM/DD/YY

2 STOREY CUSTOM HOUSE DESIGN PROJECT

67 RAMONA BLVD, MARKHAM, ON L3P 2K2



ARCHITECTURAL

RT ARCHITECTS

DRAWING INDEX:

| | |
|------|---|
| | COVER SHEET |
| A1.0 | SITE PLAN |
| A1.1 | ZONING STATISTICS & FRONT YARD LANDSCAPING DATA |
| A1.2 | BASEMENT PLAN |
| A1.3 | GROUND FLOOR PLAN |
| A1.4 | SECOND FLOOR PLAN |
| A1.5 | ROOF PLAN |
| A2.1 | NORTH (FRONT) ELEVATION |
| A2.2 | SOUTH ELEVATION |
| A2.3 | WEST ELEVATION |
| A2.4 | EAST ELEVATION |
| A2.5 | SECTION (FOR REFERENCE) |

ISSUED FOR COMMITTEE OF ADJUSTMENT:
MARCH 01, 2023








Appendix B

File: 23.115546.000.00.MNV

Date: 04/12/23
MM/DD/YY

| ZONING STATISTICS: | | MARKHAM ZONING | |
|--|---|---------------------|--|
| ZONING: | R-1 Residential under by-law 1229 as amended by 99-90 | | |
| BUILDING STRUCTURE: | DETACHED | | |
| | ZONING BY LAW | PROPOSED | |
| LOT AREA: | 664.3 SM [7,150.0 SF] | | |
| GROUND FLOOR LEVEL AREA: <small>(INC. COVERED PORCH, GARAGE INTERIOR AREA & GARDEN EQ)</small> | | 203.4 SM | [2,189.7 SF] |
| SECOND FLOOR LEVEL AREA: <small>(INC. STAIRS AREA)</small> | | 146.4 SM | [1,575.5 SF] |
| STAIRS & COVERED PORCH AREA | | 12.4 SM | [133.2 SF] |
| GROSS FLOOR AREA: | 287.4 SM [3,093.75 SF] <small>(45% OF 6,875 SQ FT)</small> | 342.0 SM | [3,681.2 SF] <small>(52.83% OF 6,875 SQ FT)</small> |
| LOT COVERAGE: <small>(GROUND FL & COVERED PORCH)</small> | 35% | 30.4% | |
| BUILDING HEIGHT: <small>(FROM ROAD CENTERLINE LEVEL TO ROOF PEAK)</small> | 9.80M | 10.48M | |
| BUILDING SETBACK: | | | |
| FRONT: | 7.62M / 25F | 7.62M / 25F | |
| REAR: | 7.62M / 25F | 11.91M / 49'-1" F | |
| SIDE-INTIRIOR: | 1.22M-1.83 / 4F-6F | 1.22M-3.66 / 4F-12F | |
| SIDE-EXTERIOR: | 3.05M / 10F | 3.05M / 10F | |

| LANDSCAPE DATA: | | | |
|---|-------|---------|------|
| DESCRIPTION: | SQ M | SQ FT | % |
| TOTAL FRONT AREA : | 162.9 | 1,753.7 | |
| TOTAL CAR PARKING HARD AREA : | 46.0 | 495.1 | |
| TOTAL LANDSCAPE AREA : | 116.9 | 1,258.6 | 71.8 |
| TOTAL AREA OF SIDEWALK & CONCRETE STEP & BORDERS: | 13.8 | 148.8 | |
| TOTAL SOFT LANDSCAPE AREA : | 103.1 | 1,109.8 | 88.2 |

-  GROUND FLOOR LINE
-  SECOND FLOOR LINE
-  COVERED PORCH
-  DECK W/ PERGOLA
-  NEW ASPHALT
-  GRASS
-  CONCRETE BORDER

| REV. | ISSUED FOR: | DATE: |
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| 1. | ISSUED FOR COMMITTEE OF ADJUSTMENT | 2023-03-01 |
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w: www.rtarchitects.ca

Project: 2 STOREY CUSTOM HOUSE DESIGN
67 RAMONA BLVD, MARKHAM, ON

Drawing Name: ZONING STATISTICS & FRONT YARD LANDSCAPING DATA

| HAKOPIAN RESIDENCE | |
|--------------------|--------------|
| Project no.: | 2230136 |
| Date: | JANUARY 2023 |
| Drawn by: | TM |
| Scale: | AS NOTED |
| Checked by: | RT |
| North Arrow: | |
| Drawing No.: | |

A1.1

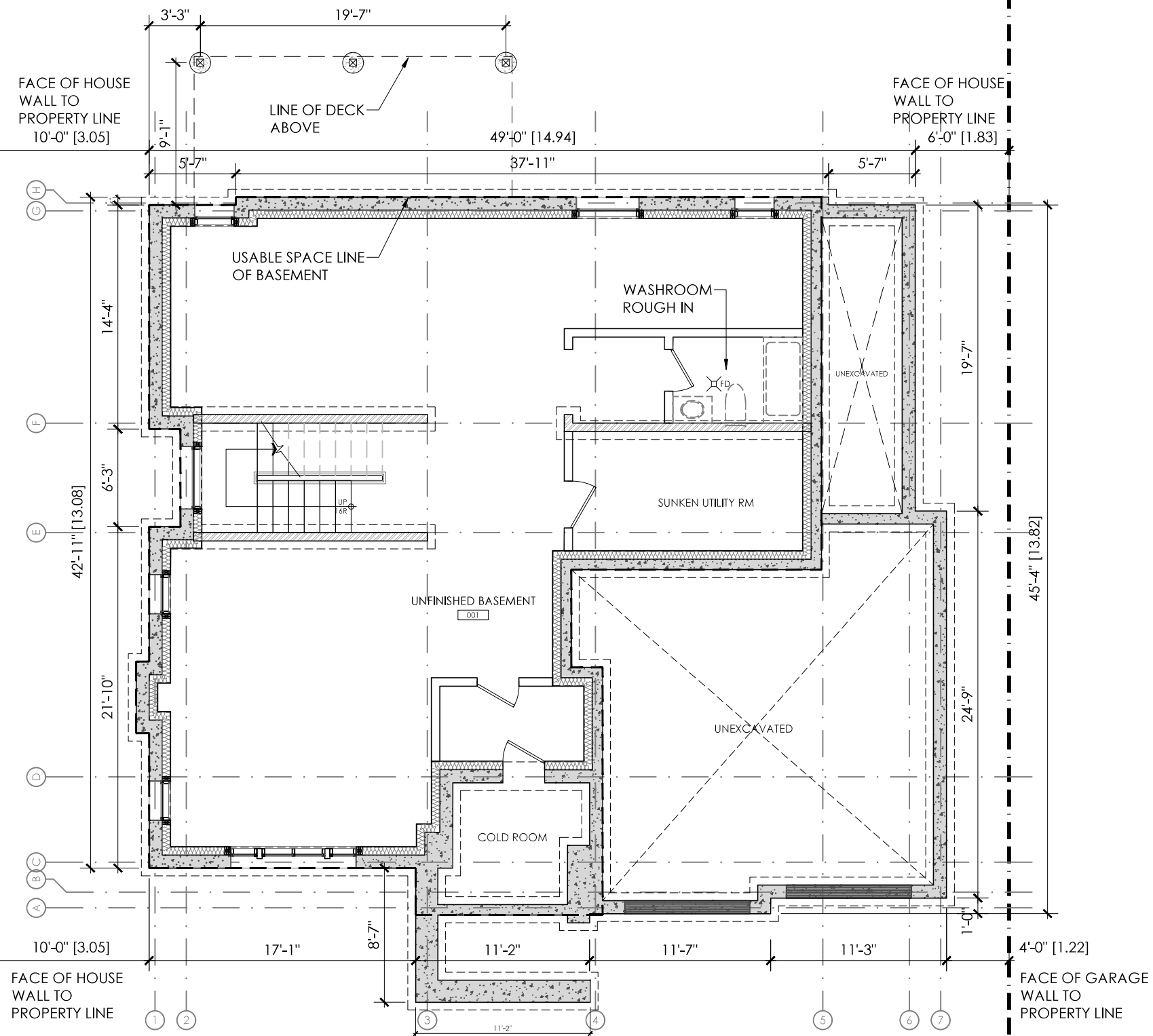
1 ZONING STATISTICS
A1.1 SCALE: NTS

2 FRONT YARD LANDSCAPING DATA
A1.1 SCALE: NTS

Appendix B

File: 23.115546.000.00.MNV

Date: 04/12/23
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BASEMENT GROSS FLOOR AREA:
147.7 sm (1,590.2 sf) **INCLUDING**
COLD RM AREA WITH AREA OF
6sm (65sf)

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Project: **2 STOREY CUSTOM HOUSE DESIGN**
67 RAMONA BLVD, MARKHAM, ON

Drawing Name: **BASEMENT PLAN**

| HAKOPIAN RESIDENCE | |
|--------------------|--------------|
| Project no.: | 2230136 |
| Date: | JANUARY 2023 |
| Drawn by: | TM |
| Scale: | AS NOTED |
| Checked by: | RT |
| North Arrow: | Drawing No.: |

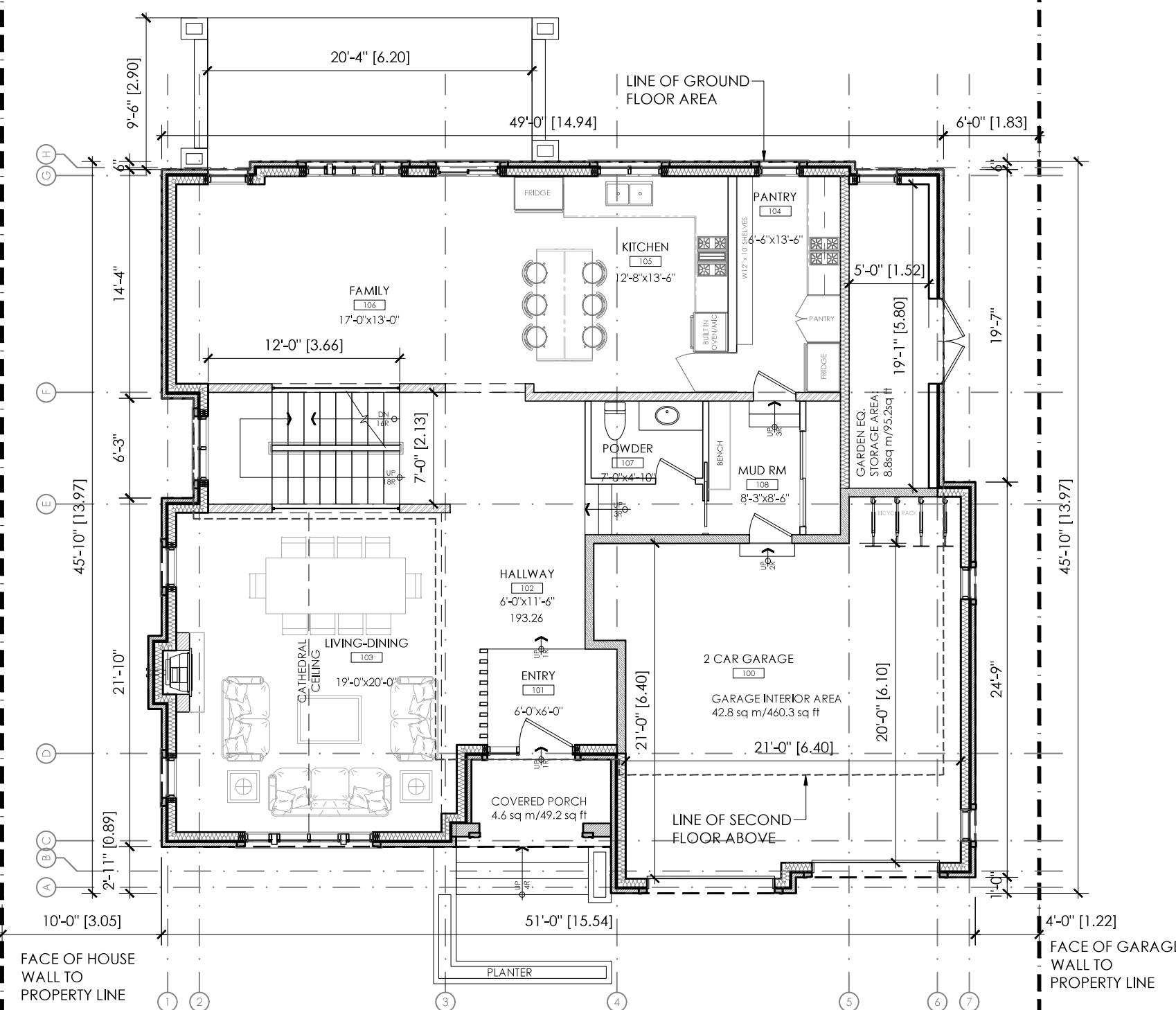
1
A1.2 **BASEMENT PLAN**
SCALE: 1:100

A1.2

Appendix B

File: 23.115546.000.00.MNV

Date: 04/12/23
MM/DD/YY



GROUND FL GROSS FLOOR AREA:
203.4 sm (2,189.7 sf) **INCLUDING**

| | |
|-----------------|------------------|
| COVERED PORCH | 4.6sm (49.2sf) |
| GARAGE INTERIOR | 42.9sm (462.3sf) |
| GARDEN EQ | 8.8sm (95.2sf) |

FACE OF HOUSE WALL TO PROPERTY LINE

FACE OF GARAGE WALL TO PROPERTY LINE

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Project: **2 STOREY CUSTOM HOUSE DESIGN**
67 RAMONA BLVD, MARKHAM, ON

Drawing Name: **GROUND FLOOR PLAN**

| HAKOPIAN RESIDENCE | |
|--------------------|--------------|
| Project no.: | 2230136 |
| Date: | JANUARY 2023 |
| Drawn by: | TM |
| Scale: | AS NOTED |
| Checked by: | RT |
| North Arrow: | Drawing No.: |

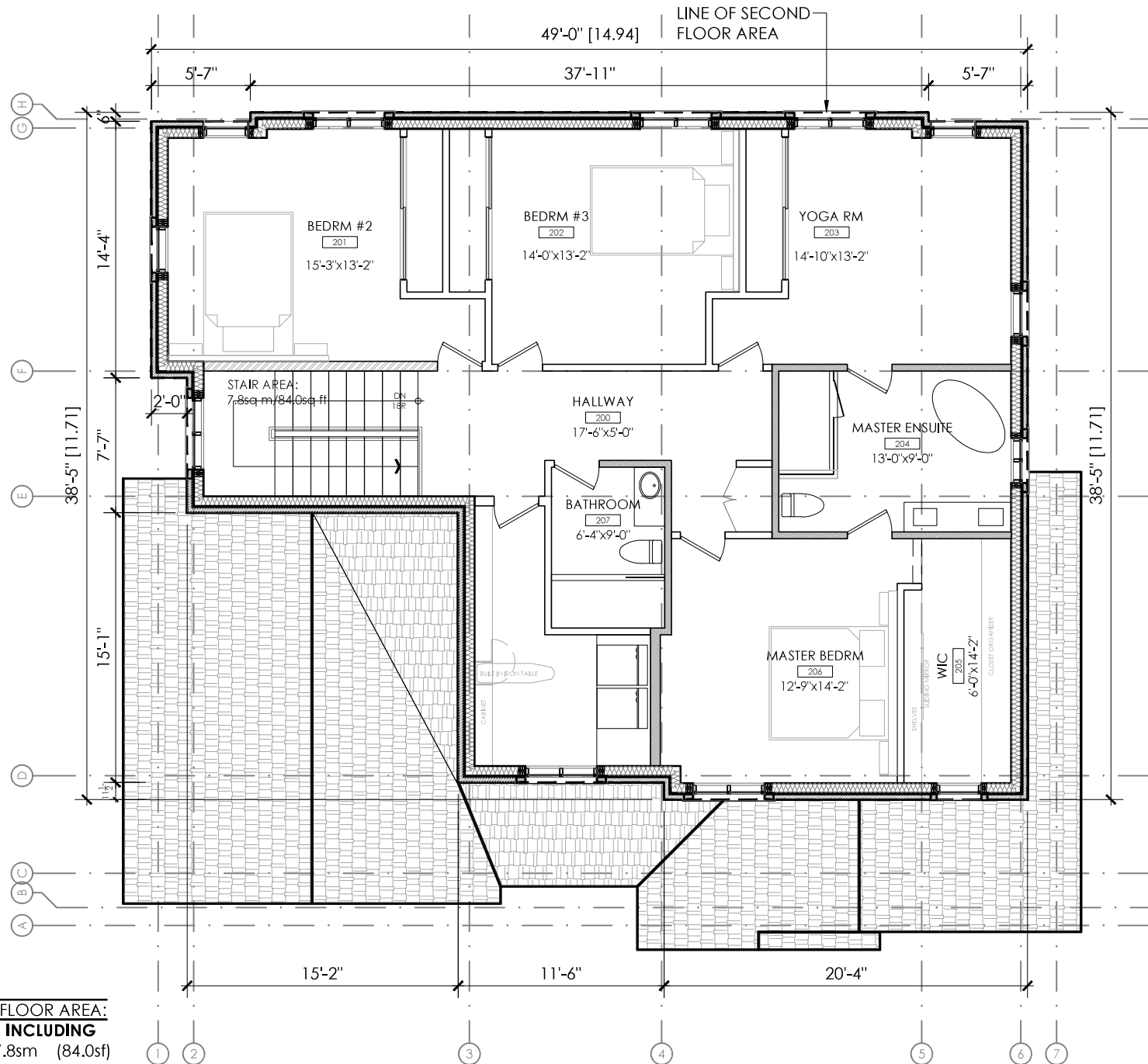
1 GROUND FLOOR PLAN
A1.3 SCALE: 1:100

A1.3

Appendix B

File: 23.115546.000.00.MNV

Date: 04/12/23
MM/DD/YY



SECOND FL GROSS FLOOR AREA:
146.4 sm (1,575.5 sf) **INCLUDING**
STAIR 7.8sm (84.0sf)

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Project: **2 STOREY CUSTOM HOUSE DESIGN**
67 RAMONA BLVD, MARKHAM, ON

Drawing Name: **SECOND FLOOR PLAN**

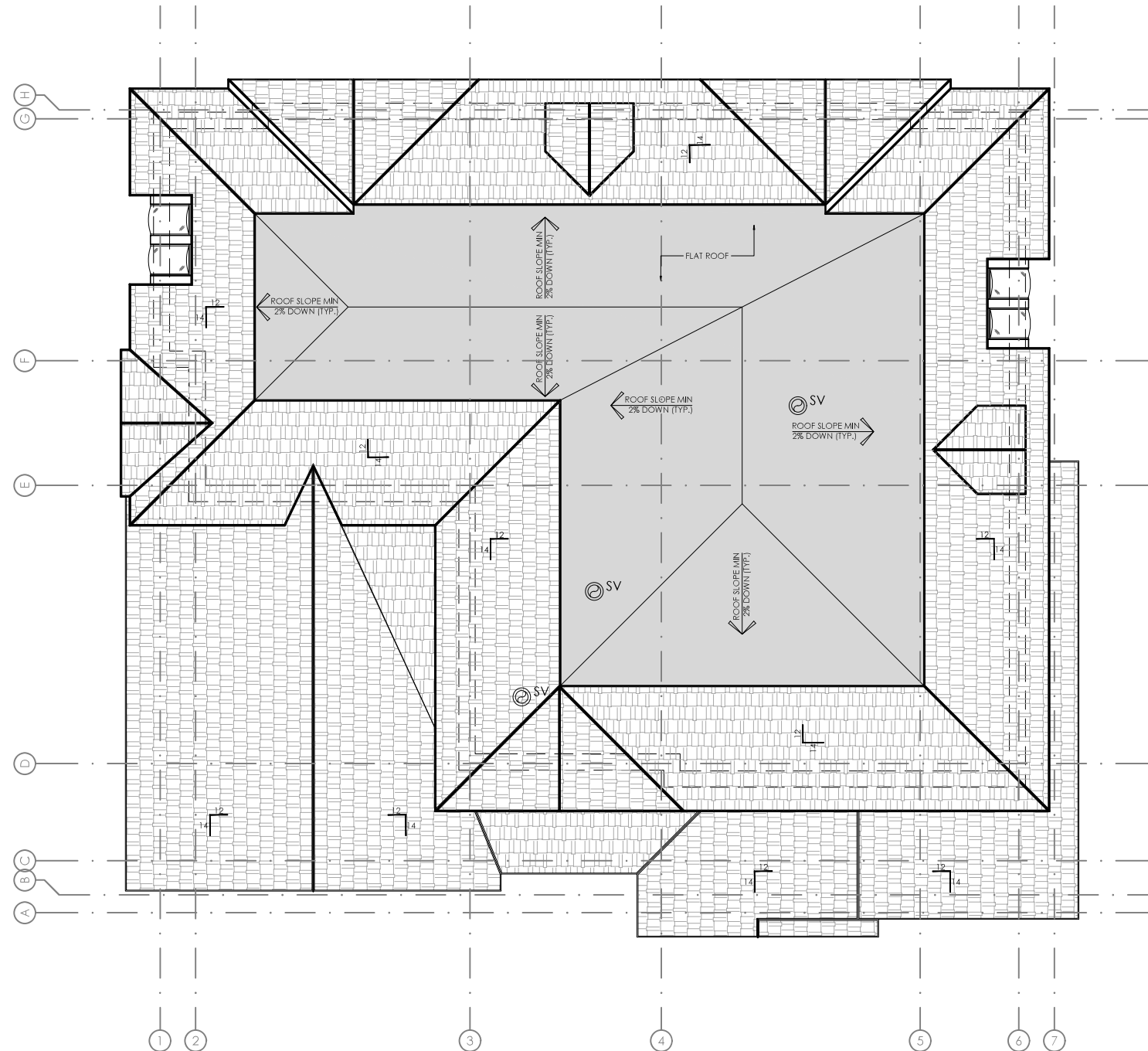
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| Project no.: | 2230136 |
| Date: | JANUARY 2023 |
| Drawn by: | TM |
| Scale: | AS NOTED |
| Checked by: | RT |
| North Arrow: | Drawing No.: |

A1.4

Appendix B

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Project: **2 STOREY CUSTOM HOUSE DESIGN**
67 RAMONA BLVD, MARKHAM, ON

Drawing Name: **ROOF PLAN**

| HAKOPIAN RESIDENCE | |
|--------------------|--------------|
| Project no.: | 2230136 |
| Date: | JANUARY 2023 |
| Drawn by: | TM |
| Scale: | AS NOTED |
| Checked by: | RT |
| North Arrow: | Drawing No.: |

A1.5

1 ROOF PLAN
A1.5 SCALE: 1:100

Appendix B

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Project: 2 STOREY CUSTOM HOUSE DESIGN
67 RAMONA BLVD, MARKHAM, ON

Drawing Name: NORTH (FRONT) ELEVATION

HAKOPIAN RESIDENCE

Project no.: 2230136 Date: JANUARY 2023

Drawn by: TM Scale: AS NOTED

Checked by: RT

North Arrow: Drawing No:

A2.1

1 NORTH (FRONT) ELEVATION
A2.1 SCALE: 1:100

Appendix B

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Project: 2 STOREY CUSTOM HOUSE DESIGN
67 RAMONA BLVD, MARKHAM, ON

Drawing Name: SOUTH ELEVATION

| HAKOPIAN RESIDENCE | |
|--------------------|--------------|
| Project no.: | 2230136 |
| Date: | JANUARY 2023 |
| Drawn by: | TM |
| Scale: | AS NOTED |
| Checked by: | RT |
| North Arrow: | |
| Drawing No.: | |

A2.2

1 SOUTH ELEVATION
A2.2 SCALE: 1:100

Appendix B

File: 23.115546.000.00.MNV

Date: 04/12/23
MM/DD/YY



setback of 4'-0" (1.22m)
MAX % AREA GLAZED OPENINGS 1.2m LIMITING DISTANCE 8.0% (1.54sqm) ALLOWABLE. (9.10.15.4.(1)&(2))

TOTAL WALL: 207.3sqft 19.3sqm
TOTAL GLASS: 13.4sqft 1.2sqm

% OF GLASS: 6.2%

setback of 6'-0" (1.83m)
MAX % AREA GLAZED OPENINGS 1.5m LIMITING DISTANCE 8.0% (5.10sqm) ALLOWABLE. (9.10.15.4.(1)&(2))

TOTAL WALL: 680.2sqft 63.2sqm
TOTAL GLASS: 41.8sqft 3.8sqm

% OF GLASS: 6.0%

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Project: 2 STOREY CUSTOM HOUSE DESIGN
67 RAMONA BLVD, MARKHAM, ON

Drawing Name: WEST ELEVATION

| HAKOPIAN RESIDENCE | |
|--------------------|--------------|
| Project no.: | 2230136 |
| Date: | JANUARY 2023 |
| Drawn by: | TM |
| Scale: | AS NOTED |
| Checked by: | RT |
| North Arrow: | |
| Drawing No.: | |

1 WEST ELEVATION
A2.3 SCALE: 1:100

A2.3

Appendix B

File: 23.115546.000.00.MNV

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Project: 2 STOREY CUSTOM HOUSE DESIGN
67 RAMONA BLVD, MARKHAM, ON

Drawing Name: EAST ELEVATION

| HAKOPIAN RESIDENCE | |
|--------------------|--------------|
| Project no.: | 2230136 |
| Date: | JANUARY 2023 |
| Drawn by: | TM |
| Scale: | AS NOTED |
| Checked by: | RT |
| North Arrow: | |
| Drawing No.: | |

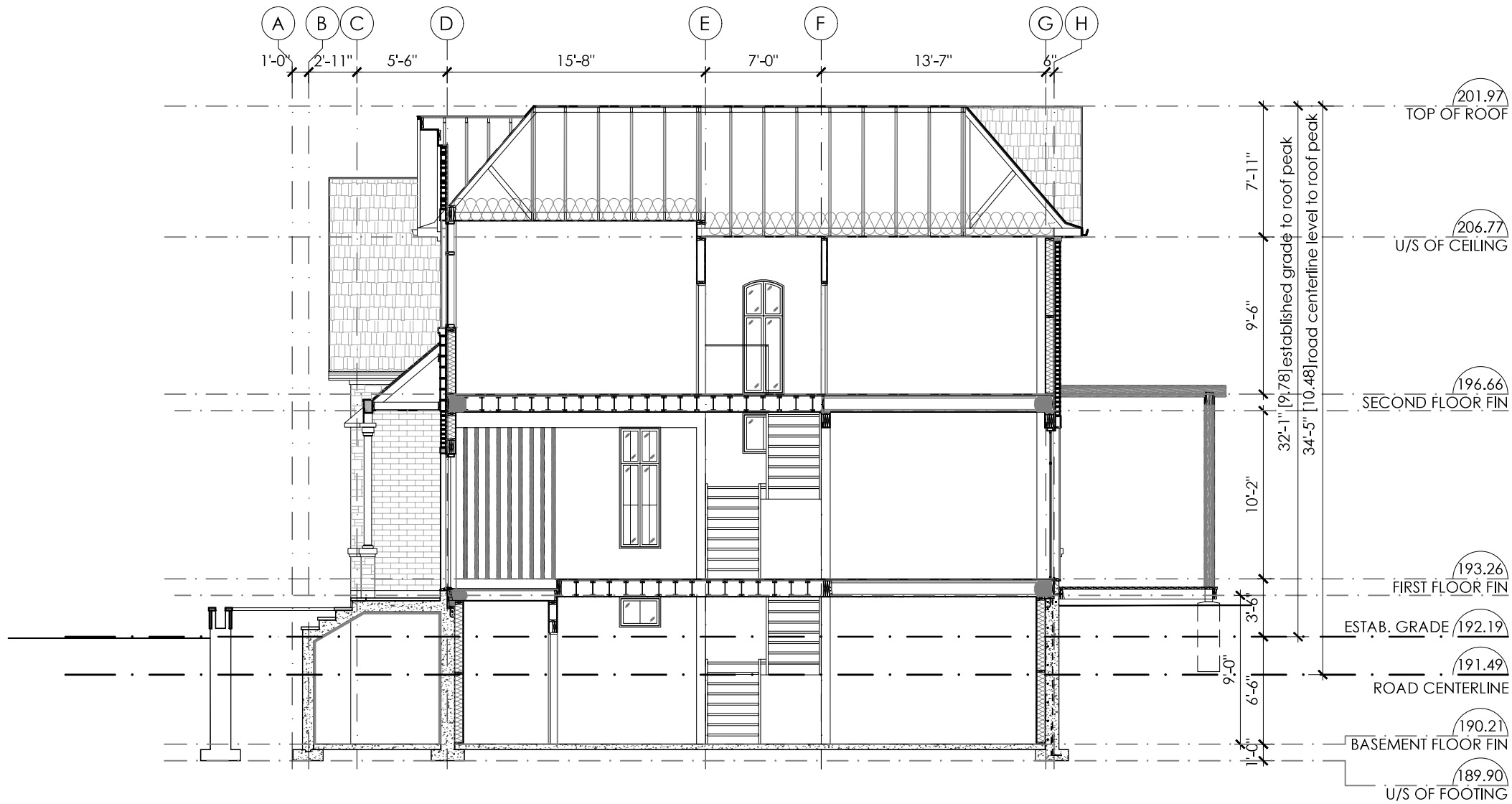
1 EAST ELEVATION
A2.4 SCALE: 1:100

A2.4

Appendix B

File: 23.115546.000.00.MNV

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Project: **2 STOREY CUSTOM HOUSE DESIGN**
67 RAMONA BLVD, MARKHAM, ON

Drawing Name: **SECTION (FOR REFERENCE)**
HAKOPIAN RESIDENCE

| | | | |
|--------------|---------|--------------|--------------|
| Project no.: | 2230136 | Date: | JANUARY 2023 |
| Drawn by: | TM | Scale: | AS NOTED |
| Checked by: | RT | | |
| North Arrow: | | Drawing No.: | |

A2.5

1 SECTION (FOR REFERENCE)
A2.5 SCALE: 1:100

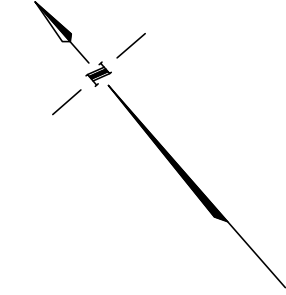
SURVEYOR'S REAL PROPERTY REPORT
 PLAN AND TOPOGRAPHY OF
LOT 266
 REGISTERED PLAN 9143
 TOWN OF MARKHAM
 REGIONAL MUNICIPALITY OF YORK

SCALE = 1 : 200

ASSOCIATION OF ONTARIO
 LAND SURVEYORS
PLAN SUBMISSION FORM
 1996947



**THIS PLAN IS NOT VALID
 UNLESS IT IS AN EMBOSSED
 ORIGINAL COPY
 ISSUED BY THE SURVEYOR**
 In accordance with
 Regulation 1026, Section 29(3)



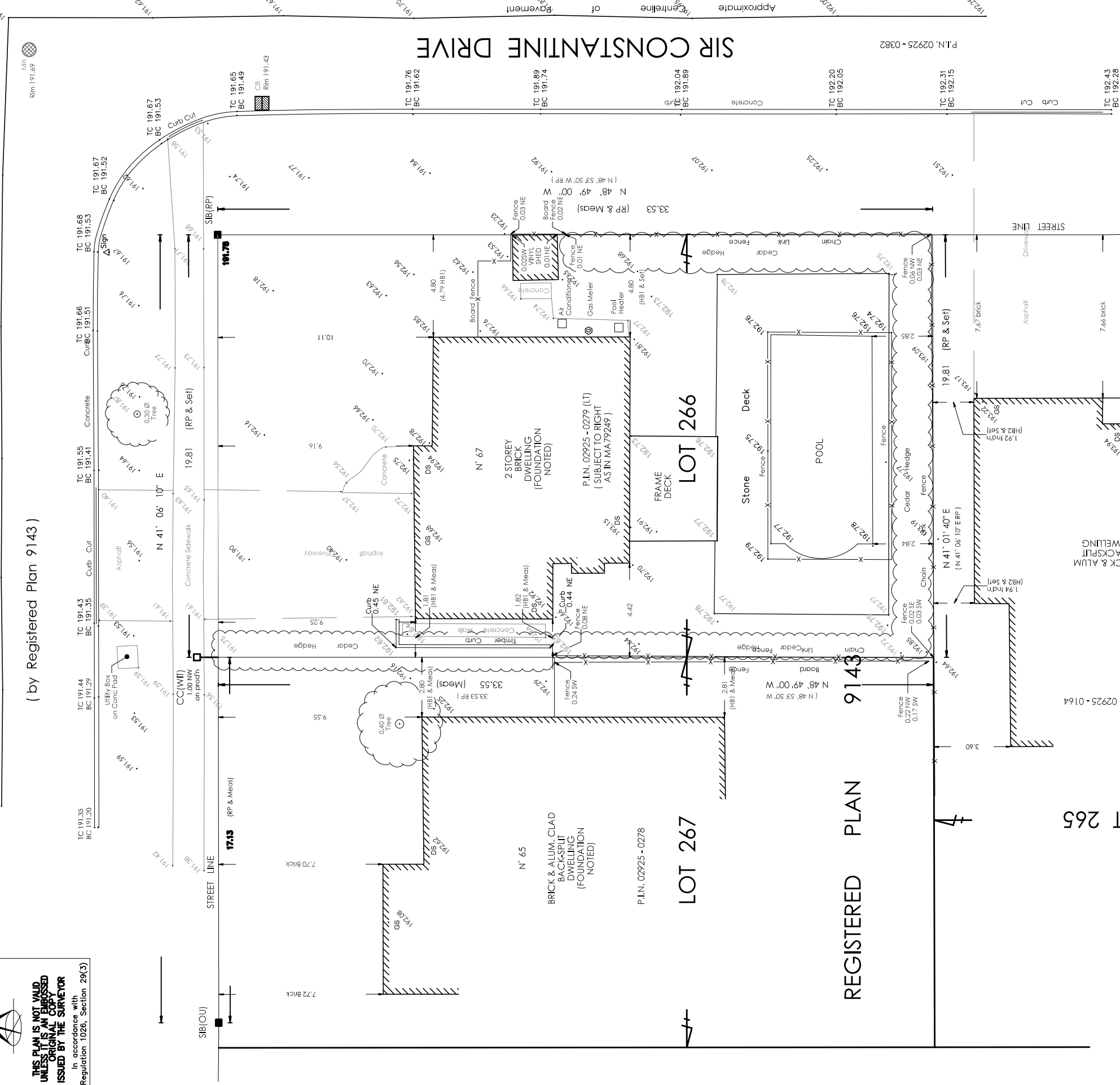
METRIC
 DISTANCES SHOWN HEREON ARE IN METRES
 AND CAN BE CONVERTED TO FEET BY
 DIVIDING BY 0.3048

RAMONA BOULEVARD

P.I.N. 02924 - 0289

Approximate Centreline of Pavement

(by Registered Plan 9143)



LEGEND

| | |
|---|--|
| □ | DENOTES |
| ■ | MONUMENT PLANTED |
| □ | MONUMENT FOUND |
| — | WITNESS |
| — | CUT CROSS |
| — | IRON BAR |
| — | STANDARD IRON BAR |
| — | REGISTERED PLAN 9143 |
| — | PLAN OF SURVEY BY HOLDING & BABBS, O.L.S., |
| — | DATED JULY 4TH, 1972 |
| — | PLAN OF SURVEY BY HOLDING & BABBS, O.L.S., |
| — | DATED AUGUST 11TH, 1972 |
| — | ORIGIN UNKNOWN |
| — | PROPERTY IDENTIFIER |
| — | TOP OF CURB |
| — | BOTTOM OF CURB |
| — | CATCH BASIN |
| — | MAINTENANCE HOLE |
| — | DIAMETER |
| — | DOORSILL ELEVATION |
| — | GARAGE SILL ELEVATION |

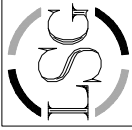
BEARING NOTE
 BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTHERLY LIMIT OF RAMONA BOULEVARD HAVING A BEARING OF N 41° 06' 10" E AS SHOWN ON REGISTERED PLAN 9143.

ELEVATION NOTE
 ELEVATIONS SHOWN HEREON ARE GEO METRES AND ARE RELATED TO BENCH MARK N 092903139 HAVI OF 193.25 METRES [CCVD 1928:Pre

Appendix B

File: **23.115546.000.00.MNV**

Date: **04/12/23**



LAND SURVEY GROUP
ONTARIO LAND SURVEYORS
 777 THE QUEENSWAY, UNIT 10 TORONTO, ONTARIO, M5S 1N4
 Tel: 416-252-2511 416-467-8023 Fax: 416-252-2511

DRAWN : _____ CHECKED BY : _____