

Memorandum to the City of Markham Committee of Adjustment

September 6, 2023

File: A/020/23
Address: 7725 Birchmount Road, Unit 45, Markham
Applicant: 1000282721 Ontario Ltd. (Heng Hua Xu)
Agent: HJ Architects Inc. (Joanne Ying)
Hearing Date: Wednesday, September 13, 2023

The following comments are provided on behalf of the Central Team.

The Applicant is requesting relief from the following “Select Industrial and Limited Commercial (M.C 60%)” zone requirements of By-law 108-81, as amended, as it relates to a proposed medical office use. The variance requested is to permit:

- a) **City Wide Parking By-law 28-97, Section 3.0 - Table 'B':**
a minimum of 206 parking spaces, whereas a minimum of 208 is required.

BACKGROUND

Property Description

The 15,000 m² (161.458 ft²) subject lands (the “Subject Lands”) are located on the north side of 14th Avenue, east of Birchmount Road, and generally south of Highway 407 (refer to Appendix “A” – Aerial Photo). The Subject Lands consist of a commercial plaza, and is comprised of 47 units with a total gross floor area of 6,336 m² (68,167 ft²), that was constructed in 2018, according to assessment records. The proposed development is applicable to Unit 45, with a total gross floor area of 98.30 m² (1,058 ft²).

The Subject Lands are located within an established neighbourhood comprised of a variety of land uses that are predominately: commercial, select industrial, open space and low density residential.

Proposal

The Applicant is proposing to make interior alterations to convert Unit 45, which currently is vacant (previously occupied by a Desjardin Insurance Agent office) to be an appointment-only cosmetic clinic.

Official Plan and Zoning

Official Plan 2014 (partially approved on November 24, 2017, and updated on April 9, 2018)

The Official Plan designates the Subject Lands “[General Employment](#)” permits a range of manufacturing, processing, warehousing uses, as well as a variety of prescribed ancillary and discretionary uses such as retail, service, office, restaurant, and commercial school uses.

Zoning By-Law 108-81, as amended

The Subject Lands are zoned “Select Industrial and Limited Commercial (M.C. 60%)” under By-law 108-81, as amended, which permits a range of manufacturing, warehousing uses, data processing centres, banks and financial institutions, as well as a variety of prescribed ancillary and discretionary uses such as professional office buildings, accessory restaurant uses within office buildings, and commercial school

uses. The proposed medical office does not comply with the zoning by-law requirements as it relates to the minimum parking requirements.

Zoning Preliminary Review (ZPR) Not Undertaken

The owner has confirmed that a Zoning Preliminary Review (ZPR) has not been conducted. However, the applicant has received comments from the building department through their permit process (AL 22 266287) to confirm the variances required for the proposed development.

COMMENTS

The *Planning Act* states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained; and
- d) The general intent and purpose of the Official Plan must be maintained.

Parking Reduction

The site currently provides a total of 206 parking spaces. The proposed use will increase the parking requirement to 208 parking spaces. This will result in a deficiency of two parking spaces, which is a reduction of approximately one percent.

Transportation Engineering staff are of the opinion that the variance is minor and is unlikely to result in any significant impact on the parking supply of the property. Planning Staff have no objections to the approval of the proposed parking reduction.

Metrolinx Comments

Metrolinx provided advisory comments on March 20, 2023, which are as follows:

The subject property is located partially within 300 meters of Metrolinx's Uxbridge Subdivision which carries Metrolinx's Stouffville GO Train service. As the requested variance has no implication on Metrolinx property (i.e. Stouffville Corridor) Metrolinx has no objections to the specified variances should the committee grant approval. The Proponent is advised of the following:

Warning: The Applicant is advised that the subject land is located within Metrolinx's 300 metres railway corridor zone of influence and as such is advised that Metrolinx and its assigns and successors in interest has or have a right-of-way within 300 metres from the subject land. The Applicant is further advised that there may be alterations to or expansions of the rail or other transit facilities on such right-of-way in the future including the possibility that Metrolinx or any railway entering into an agreement with Metrolinx to use the right-of-way or their assigns or successors as aforesaid may expand or alter their operations, which expansion or alteration may affect the environment of the occupants in the vicinity, notwithstanding the inclusion of any noise and vibration attenuating measures in the design of the development and individual lots, blocks or units.

PUBLIC INPUT SUMMARY

No written submissions were received as of September 6, 2023. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

CONCLUSION

Planning Staff have reviewed the application with respect to Section 45(1) of the *Planning Act*, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variance request meets the four tests of the *Planning Act* and have no objection. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the *Planning Act* required for the granting of minor variances.

Please refer to Appendix "C" for conditions to be attached to any approval of this application.

PREPARED BY:



Hussnain Mohammad, Planner 1, Development Facilitation Office

REVIEWED BY:



Deanna Schlosser, RPP MCIP, Senior Planner, Central District

APPENDICES

Appendix "A" – Aerial Context Photo

Appendix "B" – Plans

Appendix "C" – A/020/23 Conditions of Approval

APPENDIX "C" - A/020/23 Conditions of Approval

CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/020/23

1. The variance applies only to the proposed development as long as it remains;
2. That the variance apply only to the subject development, in substantial conformity with the plan(s) attached as Appendix "B" to this Staff Report, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction.

CONDITIONS PREPARED BY:



Hussnain Mohammad, Planner 1, Development Facilitation Office

DRAWINGS ISSUED FOR MINOR VARIANCE APPLICATION

- A0.1 COVER PAGE & PROJECT DATA STATISTICS
- A0.2 APPROVED SITE PLAN
- A0.3 ONTARIO LAND SURVEY
- A1.1 GROUND FLOOR PLAN
- A1.2 REFLECTED CEILING FLOOR PLAN

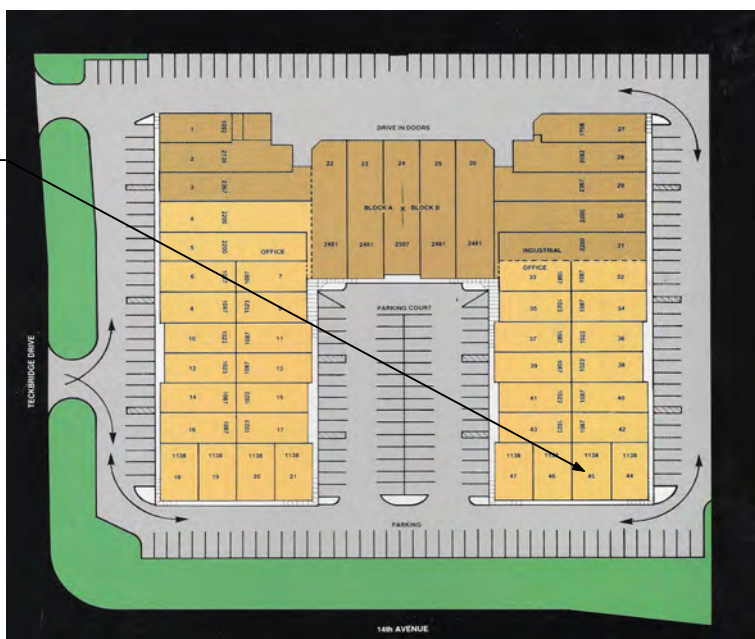


UNIT 45

DATA & STATISTICS

- ZONING - MJC
- EXISTING USE - GROUP D
- GROSS FLOOR AREA (UNIT) ± 98.3 m2 (1,058 sq.ft.)
- PROPOSED OCCUPANCY - GROUP D [3.2.2.56]
- OCCUPANCY LOAD - 2 STAFFS and 2 CUSTOMERS [3.1.17.1]
- BUILDING HEIGHT - TOTAL 1 STOREY
- FIRE PROTECTION - EQUIPPED WITH EXISTING SPRINKLER SYSTEM
- EXIT CAPACITY - UNIT W 1 EXIT (1 EXIT FACING BIRCHMOUNT ROAD)
- WASHROOM REQUIREMENT - PROVIDED 2 REGULAR WASHROOMS INSIDE AN UNIT

1 PERSPECTIVE PHOTOS
SCALE : N.T.S.



UNIT 45

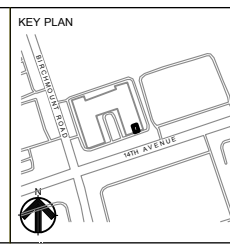
3 KEY PLAN
SCALE : N.T.S.

Name of Practice:		Name of Project:		Location:	
hj ARCHITECTS INC 85 FOREST GROVE COURT AURORA, ONTARIO L4G 3G4 TEL: 416.887.6771 EMAIL: joanne.ying@hjarch.ca		PROPOSED MEDICAL SPA INTERIOR ALTERATION		7725 BIRCHMOUNT ROAD, UNIT 45 MARKHAM ON, L3R 9X3	
Item	Ontario Building Code Data Matrix Parts 3 or 9		Building Code Reference		
			References are to Division B unless noted [A] for Division A or [C] for Division C.		
1	Project Description:	<input type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Change of Use	<input checked="" type="checkbox"/> Part 11 11.1 to 11.4	<input checked="" type="checkbox"/> Part 3 3.17.1.1(1a)	<input type="checkbox"/> Part 9 1.1.2. [A] & 9.10.1.3.
2	Major Occupancy(s)	GROUP D		3.1.2.1.(1)	9.10.2.
3	Building Area (m ²)	Existing 6335.7 m ² New _____ Total 6335.7 m ²		1.4.1.2. [A]	1.4.1.2. [A]
4	UNIT AREA (m ²)	Existing 98.3 m ² New _____ Total 98.3 m ²		1.4.1.2. [A]	1.4.1.2. [A]
5	Number of Storeys	Above grade 1 STOREY Below grade N/A		1.4.1.2. [A]&3.2.1.1.	1.4.1.2[A] & 9.10.4
6	Number of Streets/Fire Fighter Access	1		3.2.2.10. & 3.2.5.	9.10.20.
7	Building Classification	UNIT (3.2.2.56. GROUP D - UP TO 2 STOREYS, SPRINKLERED)		3.2.2.20.-.83	9.10.2.
8	Sprinkler System Proposed	<input checked="" type="checkbox"/> entire building (EXISTING) <input type="checkbox"/> selected compartments <input type="checkbox"/> selected floor areas <input type="checkbox"/> basement <input type="checkbox"/> in lieu of roof rating <input type="checkbox"/> not required		3.2.2.20.-.83 3.2.1.5. 3.2.2.17. INDEX	9.10.8.2. INDEX
9	Standpipe required	EXISTING <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.2.9.	N/A
10	Fire Alarm required	EXISTING <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.2.4.	9.10.18.
11	Water Service/Supply is Adequate	EXISTING <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		3.2.5.7.	N/A
12	High Building	EXISTING <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.2.6.	N/A
13	Construction Restrictions	<input type="checkbox"/> Combustible permitted <input type="checkbox"/> Non-combustible required <input checked="" type="checkbox"/> Both		3.2.2.20.-.83	9.10.6.
14	Mezzanine(s) Area m ²			3.2.1.1.(3)-(8)	9.10.4.1.
15	Occupant load based on	<input type="checkbox"/> m ² /person <input checked="" type="checkbox"/> design of building (UNIT 45)		3.1.17.	9.9.1.3.
	Basement:	Occupancy _____ Load _____ persons			
	1 st Floor	Occupancy D Load 4 persons			
	2 nd Floor	Occupancy _____ Load _____ persons			
	3 rd Floor	Occupancy _____ Load _____ persons			
	(Additional floor areas continued on last page)				
16	Barrier-free Design	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (Explain) EXISTING BLDG GRD FLOOR IS APPROX. 6" ABOVE GRADE / ENTRANCE LEVEL		3.8.	9.5.2.
17	Hazardous Substances	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.3.1.2. & 3.3.1.19.	9.10.1.3.(4)
18	Required Fire Resistance Rating (FRR) EXISTING	Horizontal Assemblies	FRR (Hours)	Listed Design No. or Description (SG-2)	3.2.2.20.-.83 & 3.2.1.4. 9.10.9.
		Floors - 3/4	Hours	SLAB ON GRADE	
		Roof - N/A	Hours		
		Mezzanine - N/A	Hours		
EXISTING	EXISTING	FRR of Supporting Members	FRR (Hours)	Listed Design No. Or Description (SG-2)	
		Floors - 3/4	Hours	SLAB ON GRADE	
		Roof - N/A	Hours		
		Mezzanine - N/A	Hours		

2 ONTARIO BUILDING CODE DATA MATRIX
SCALE : N.T.S.

- GENERAL NOTE:**
- ALL DIMENSIONS GIVEN IN IMPERIAL (UNLESS OTHERWISE NOTED).
 - ALL CONSTRUCTION TO COMPLY WITH MUNICIPAL BY-LAWS AND ONTARIO CODE.
 - ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE VERIFIED BY THE GENERAL CONTRACTOR AT THE SITE PRIOR TO CONSTRUCTION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE SITE CONDITIONS AND THE ASSUMED DESIGN CONDITIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTIONS.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK ELEVATIONS OF ALL CITY SERVICES AND ESTABLISH APPROPRIATE METHODS OF DEALING WITH THOSE SERVICES.
 - THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE CONSTRUCTION, METHOD OF ERECTION AND INSTALLATION PROCEDURES OF THE STRUCTURAL MEMBERS INCLUDING THE ERECTION OF STEEL BEAMS. THE GENERAL CONTRACTOR SHALL EXERCISE EXTREME CAUTION AND CARE DURING THE DEMOLITION PROCESS OF ANY EXISTING STRUCTURE AND MASONRY WALLS. BE SOLELY RESPONSIBLE TO SUPPORT ANY EXISTING STRUCTURE AND CALL THE STRUCTURAL ENGINEER FOR INSPECTION PRIOR TO CUTTING EXISTING MEMBERS OR EXISTING WALLS.
 - THE GENERAL CONTRACTOR ARE RESPONSIBLE FOR CO-ORDINATION OF PLUMBING, MECHANICAL AND ELECTRICAL IN PROCEEDING WITH WORK ON PLANS.
 - PLUMBING, MECHANICAL AND ELECTRICAL SUB-CONTRACTORS TO OBTAIN ALL REQUIRED PERMITS AND APPROVALS FROM APPROPRIATE AUTHORITIES BEFORE PROCEEDING WITH WORK.

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REVISION / ISSUED TO:			
NO.	ISSUED TO	DATE	BY
1.	ISSUED TO MINOR VARIANCE APPLICATION	01/27/23	JY

GENERAL NOTES:

- Contractors to verify all site dimensions and report any discrepancies before commencing with work.
- Dimensions shall take precedence over scale.
- No variation of modification to work shall be implemented without prior written approval.
- All plans, specifications and work is subject to Department of Labour, Fire Department and Building Department approval.
- All previous issues of this drawing are superseded.
- All prints of drawings and specifications are the property of hj architects inc. and must be returned upon project completion.

OWNER Peter Stachowski
7725 birchmount rd.
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ARCHITECTURAL hj architects inc.
85 forest grove court
aurora, ontario
l3x 2l6

MECHANICAL tran dieu & associates
INC.
3030 midland avenue, unit 6/7
scarborough, ontario
m1s 5c9

ELECTRICAL

INTERIOR



PROJECT NO.

PROJECT NAME MEDICAL SPA
7725 BIRCHMOUNT ROAD, UNIT 45
MARKHAM ON, L3R 9X3

DRAWING TITLE COVER PAGE & OBC DATA MATRIX

DRAWN BY: JY

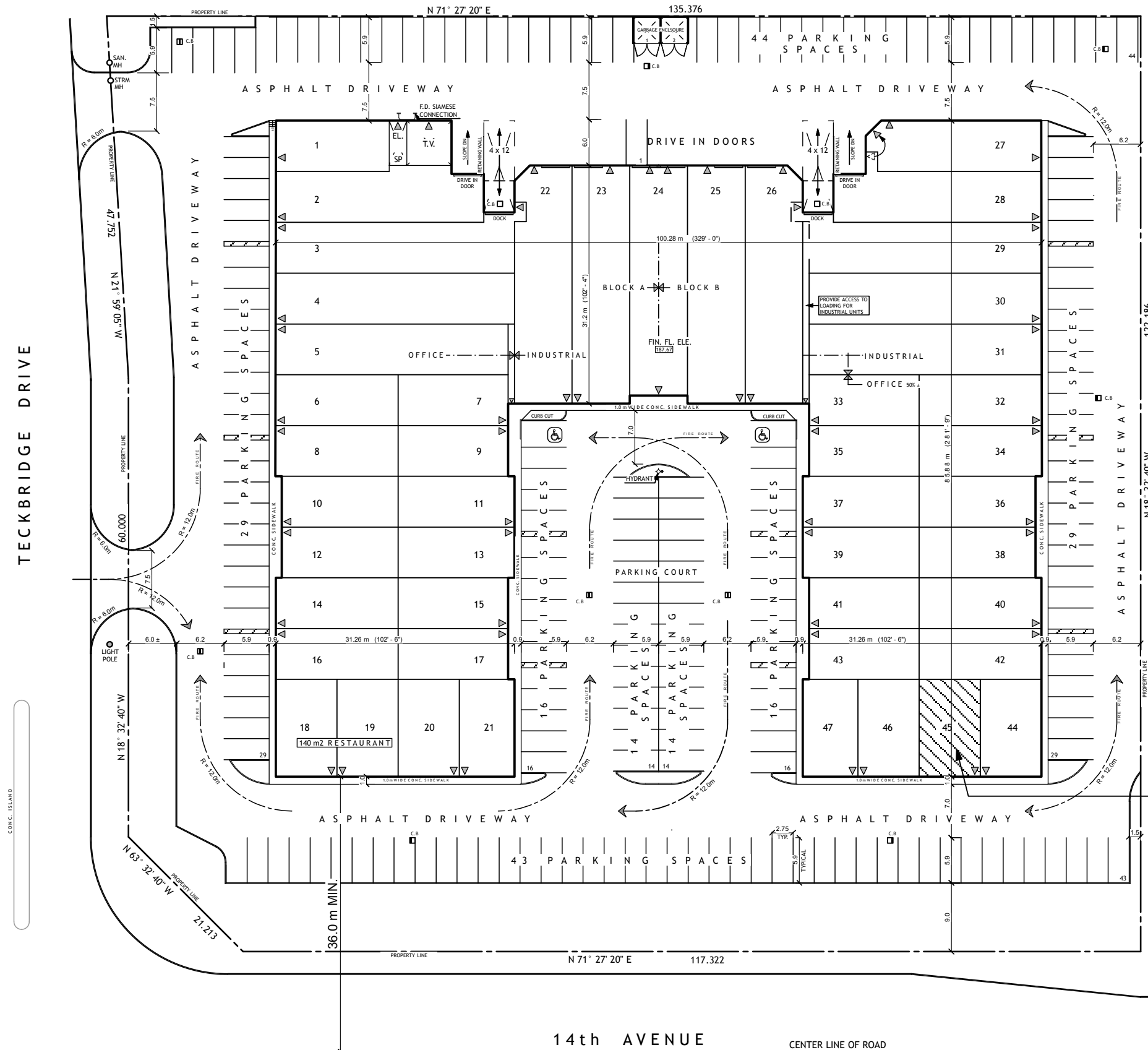
CHECKED BY: JY

APPROVED: JY

SCALE AS NOTED

DRAWING NUMBER A0.1

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1 APPROVED SITE PLAN

SCALE : 1" = 50' - 0"
 DRAWING BASED ON AN APPROVED SITE PLAN
 BY A.M. PEDONE ARCHITECT STAMPED BY CITY
 OF MARKHAM ON MAY 25, 1988

SCOPE OF WORK
 UNDER THIS PERMIT

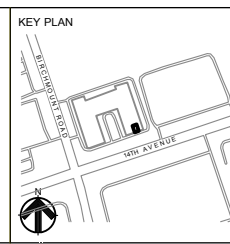
2 SITE DATA

SCALE : N.T.S.
 STATISTIC BASED ON AN APPROVED SITE PLAN
 BY A.M. PEDONE ARCHITECT STAMPED BY CITY
 OF MARKHAM ON MAY 25, 1988

SITE DATA:

LOT AREA	: 1.5 HA ±
BUILDING COVERAGE	: 6,336 m ²
GROSS FLOOR AREA	: 6,336 m ² / 68,197 ft ²
LANDSCAPE AREA	
PARKING TOTAL	
1 / 30 m ² / OFFICE PROVIDED	: 206
1 / 40 m ² / INDUST REQUIRED	: 205
PAVED AREA	
LOADING SPACES	: 2
ASSUME : 65% ± OFFICE	4,118 m ² 137.28
± % USE : 35% ± INDUSTRIAL	2,078 m ² 51.95
RESTAURANT (1,506 ft ²)	140 m ² 15.55
	6,336 m ² 204.78
NOTES: POSSIBLE FUTURE RESTAURANT	
PARKING	: 205
ZONE	: MC / 60 %
BY-LAW No	: 108-81 (South Markham Industrial Area Zoning By-law)

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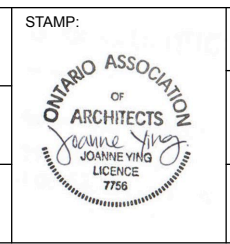
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STRUCTURAL

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ELECTRICAL

INTERIOR



PROJECT NO.

PROJECT NAME
 MEDICAL SPA
 7725 BIRCHMOUNT ROAD, UNIT 45
 MARKHAM ON, L3R 9X3

DRAWING TITLE
 APPROVED SITE PLAN

DRAWN BY: JY	CHECKED BY: JY	APPROVED: JY
SCALE AS NOTED		
DRAWING NUMBER A0.2		

Copyright (c) 2012 HJ ARCHITECTS INC.

GENERAL NOTE:

- ALL SUITE PIPE SPACES TO BE FULLY INSULATED.
- ALL FRAMEWORK TILE HOLES IN CONCRETE WALLS TO BE FILLED FIRESTOPPED: ULC SYSTEM NO. JF 19 OR APPROVED EQUAL.
- EXTEND GYPSUM BOARD PARTITIONS FULL HEIGHT TO U/S OF FLOOR OR ROOF SLAB ABOVE, UNLESS OTHERWISE INDICATED.
- AT NON-RATED FIRE SEPARATIONS, SOUND AND FIRE RATED PARTITIONS CAULK PERIMETER JOINTS AND PENETRATIONS THROUGH GYPSUM BOARD, FIRESTOP ALL PENETRATIONS IN FIRE RATED PARTITIONS AND NON-RATED FIRE SEPARATIONS.
- AT NON-RATED FIRE SEPARATIONS, SOUND AND FIRE RATED PARTITIONS FILL AND TAPE ALL JOINTS FASTENER HEADS, EDGES AND CORNERS IN GYPSUM BOARD AT BOTH EXPOSED AND CONCEALED LOCATIONS.
- STUD PARTITION FRAMING TO BE MINIMUM 20 GAUGE UNLESS OTHERWISE NOTED.
- PROVIDE ABUSE RESISTANT GYPSUM BOARD IN LIEU OF STANDARD GYPSUM BOARD AT THE FOLLOWING ROOMS
 - STORAGE ROOMS
 - ELECTRICAL ROOM
 - GARBAGE / RECYCLING ROOM
 ABUSE RESISTANT GYPSUM BOARD TO BE SAME THICKNESS GYPSUM TYPE (RATED OR NON RATED) AS SHOWN ON WALL SCHEDULE.

- PROVIDE MOISTURE-RESISTANT CORE WITH COATED FIBERGLASS MATS. WALL TYPE P1
- PROVIDE FIBERGLASS SOUND ATTENUATION BATT ON ALL UNIT PARTITIONS ON AREA WHERE THERE IS MECHANICAL EQUIPMENT.
- PROVIDE FIBERGLASS SOUND ATTENUATION BATT ON ALL PLUMBING SPACE WITH VERTICAL SANITARY STACK PIPE.
- INSTALL 2A10BC ULC LISTED FIRE EXTINGUISHERS IN:
 - FHC
 - GENERATOR ROOM
 - ELECTRICAL ROOM
 - MECHANICAL ROOM
 - GARBAGE COLLECTION ROOMS
 - BOILER ROOM
 - KITCHEN
 ADDITIONAL FIRE EXTINGUISHERS MAYBE REQUIRED UPON SITE INSPECTION BY THE LOCAL FIRE DEPARTMENT
- TRANSPARENT DOORS AND PANELS IN PUBIC AREAS SHALL BE TEMPERED GLASS OR LAMINATED GLASS AND SHALL BE APPROVED BY ATTACHING NON TRANSPARENT HARDWARE AS REQUIRED BY O.B.C. SECTION 3.3.1.18
- DOORS TO COMPLY WITH O.B.C. SECTION 3.1.8.12 AND 3.4.6.15
- FIRE STOPPING IN CONCEALED SPACES: FIRESTOP ALL PIPE PENETRATIONS IN ACCORDANCE WITH O.B.C. SUBSECTION 3.1.11.

WALL & FLOOR FINISHES:

- ALL PRIME DRYWALLS WILL BE PAINTED ; COLOR AND DESIGN TO BE SELECTED BY CLIENT
- MAX 24" x 24" CERMAIC TILES IN CROSS / SUBWAY PATTERN ; COLOR AND STYLE TO BE SELECTED BY CLIENT

WALL LEGEND

- EXISTING INTERIOR PARTITION TO BE DEMOLISHED
- ==== EXISTING INTERIOR PARTITION TO REMAIN
- ==== EXISTING 1HR FIRE RATED DEMISING WALL TO REMAIN
- ==== EXISTING MASONRY WALL

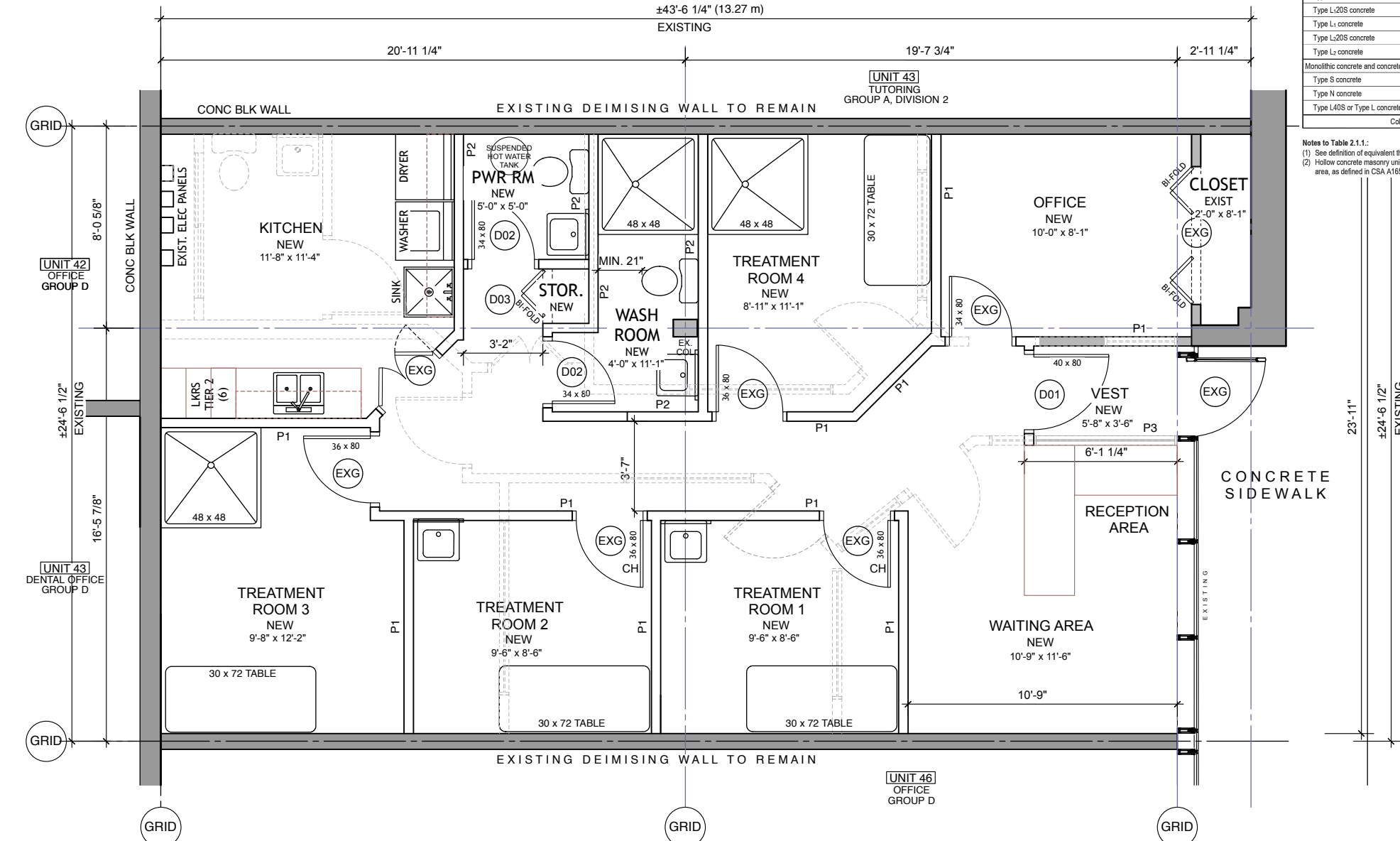
PROPOSED NEW PARTITION WALL
 1/2" GYPSUM BOARD
 3 5/8" (25 GAUGE) STEEL STUDS @ 24" O.C.
 1/2" GYPSUM BOARD

PROPOSED NEW PARTITION PLUMBING WALL
 1/2" MOISTURE RESISTANCE GYPSUM BOARD
 3 5/8" (25 GAUGE) STEEL STUDS @ 24" O.C.
 1/2" MOISTURE RESISTANCE GYPSUM BOARD

Table 2.1.1. Minimum Equivalent Thicknesses⁽¹⁾ of Unit Masonry and Monolithic Concrete Walls Loadbearing and Non-Loadbearing, mm

Type of Wall	Fire-Resistance Rating							
	30 min	45 min	1 h	1.5 h	2 h	3 h	4 h	
Solid brick units (80% solid and over), actual overall thickness	63	76	90	108	128	152	178	
Cored brick units and hollow tile units (less than 80% solid), equivalent thickness	50	60	72	86	102	122	142	
Solid and hollow concrete masonry units, equivalent thickness								
Type S or N concrete ⁽²⁾	44	59	73	95	113	142	167	
Type L _{20S} concrete	42	54	66	87	102	129	152	
Type L ₁ concrete	42	54	64	82	97	122	143	
Type L _{20S} concrete	42	54	64	81	94	116	134	
Type L ₁ concrete	42	54	63	79	91	111	127	
Monolithic concrete and concrete panels, equivalent thickness								
Type S concrete	60	77	90	112	130	158	180	
Type N concrete	59	74	87	108	124	150	171	
Type L _{40S} or Type L ₁ concrete	49	62	72	89	103	124	140	
Column 1	2	3	4	5	6	7	8	

Notes to Table 2.1.1.:
 (1) See definition of equivalent thickness in Subsection 1.6.
 (2) Hollow concrete masonry units made with Type S or N concrete shall have a minimum compressive strength of 15 MPa based on net area, as defined in CSA A165.1, "Concrete Block Masonry Units".



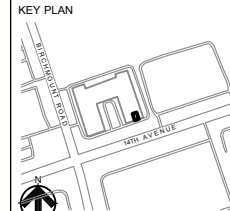
DOOR LEGEND

NUMBER	ROOM NAME	DOOR					FRAME			DOOR CLOSER	GLAZING	THRESHOLD	REMARKS
		WIDTH	HEIGHT	THICKNESS (mm)	MATERIAL	FINISH	TYPE	MATERIAL	FINISH				
EXG		← EXISTING / REUSE →											
D01	VESTIBULE	40	80	45	H.M.	PT	*	H.M.	PT	✓	✓	*	STRAIGHT PULL HANDLE TEMPERED GLASS
D02	WASHROOM PWR WR	34	80	45	H.C.W.	PT	*	H.C.W.	PT	*	*	*	LEVER - STYLE HANDLE
D03	STORAGE	2 - 12	80	45	VL	PT	*	VL	*	*	*	*	

DOOR MATERIAL & FRAME MATERIAL :
 H.C.W. - HOLLOW CORE WOOD
 HM - HOLLOW METAL
 VL - VINYL

1 GROUND FLOOR UNIT 45 PLAN
 SCALE : 3 / 16" = 1' - 0"
 EXISTING AREA : ± 1,058 ft2 (98.3 m2)

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MECHANICAL: tran dieu & associates INC.
 3030 midland avenue, unit 6/7
 scarborough, ontario
 m1s 5c9

ARCHITECTURAL: hj architects inc.
 85 forest crowe court
 aurora, ontario
 l3x 2l6

STRUCTURAL: INTERIOR

STAMP: ONTARIO ASSOCIATION OF ARCHITECTS
 JOANNE VING
 LICENCE 7756

PROJECT NO.
 PROJECT NAME
 7725 BIRCHMOUNT ROAD, UNIT 45
 MARKHAM ON, L3R 9X3
 DRAWING TITLE
 GROUND FLOOR PLAN
 UNIT 45

DRAWN BY: JY
 CHECKED BY: JY
 APPROVED: JY
 SCALE: 3 / 16" = 1' - 0"
 DRAWING NUMBER: A1.1
 Copyright (c) 2012 HJ ARCHITECTS INC.

WALL LEGEND

- EXISTING INTERIOR PARTITION TO BE DEMOLISHED
- EXISTING INTERIOR PARTITION TO REMAIN
- EXISTING 1HR FIRE RATED DEMISING WALL TO REMAIN
- EXISTING MASONRY WALL

CEILING LIGHTING LEGEND

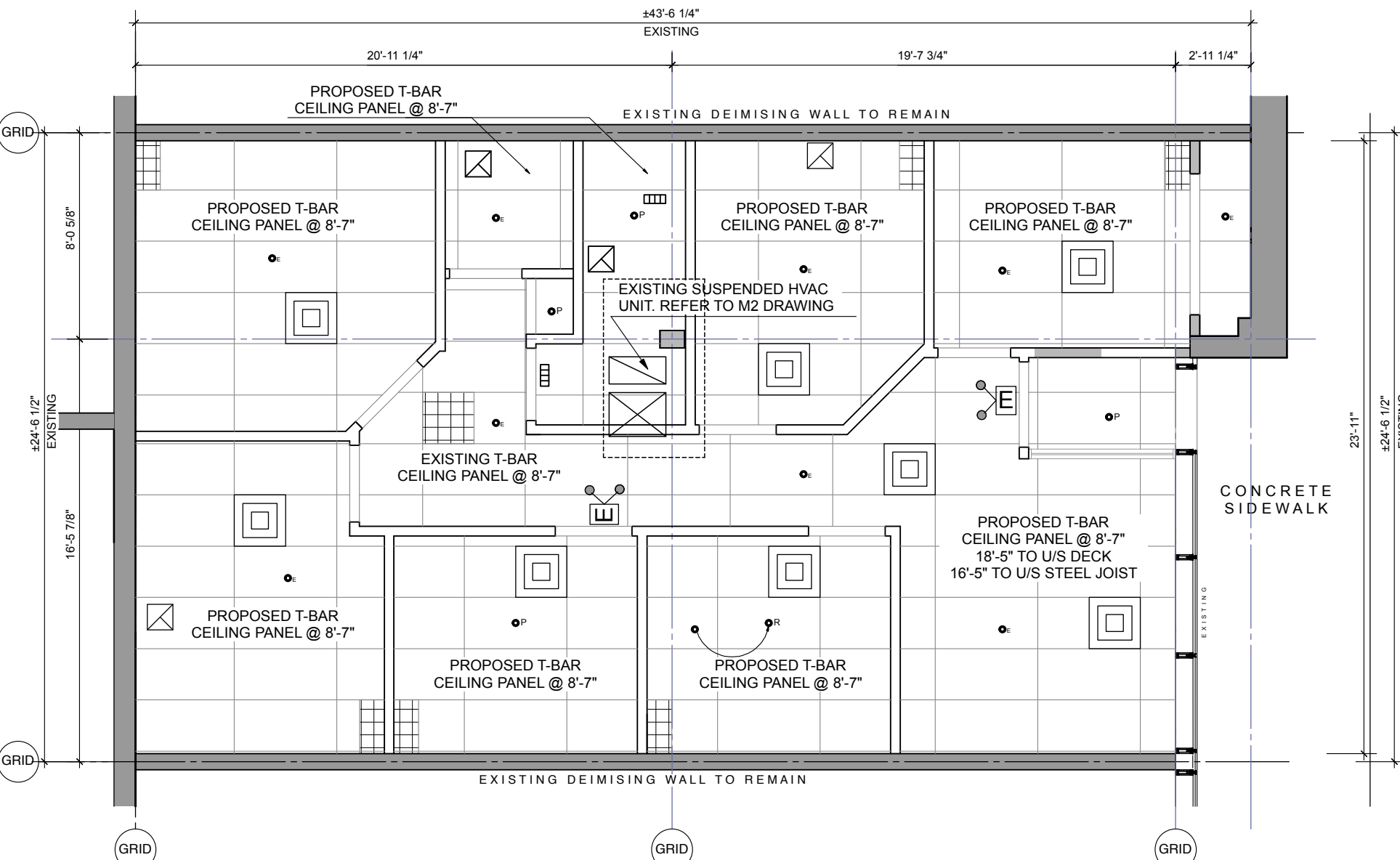
(FINAL LIGHTING TYPES AND LOCATION WILL BE DESIGNED BY THE CLIENT)

- NEW 8'-0" (1) AND NEW 6'-0" WIDE TRACK LIGHT WITH RECESSED COVE - 3000K LED BULB (WARM WHITE)
- NEW GU10 TRACK HEAD WITH LED LIGHT BULBS (40-50)
- HIGH OUTPUT PENDENT LIGHT / COMMERCIAL WAREHOUSE LIGHT, ALTERNATIVE TO 600W
- NEW PENDANT LIGHTS
- NEW PENDANT LIGHTS
- NEW RECESSED LED SLIM LIGHTS (1) 8"H - COULEUR : BLANC (WHITE)

- 2'-0" X 4'-0" LED LIGHT BOX (14) SUSPENDED WITH T-BAR CEILING 4 X 32 WATT FLUORESCENT TUBE (NATURAL COLOUR)
- 2'-0" X 2'-0" LED LIGHT BOX SUSPENDED WITH T-BAR CEILING 4 X 32 WATT FLUORESCENT TUBE (NATURAL COLOUR)

CEILING LEGEND

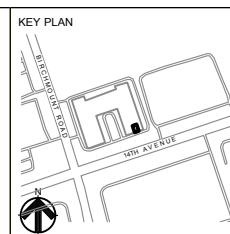
- NEW 18" ROUND SUPPLY AIR DIFFUSER
- NEW 2'x2' SUPPLY AIR DIFFUSER
- NEW 4"x10" SUPPLY AIR DIFFUSER
- NEW CEILING RETURN AIR GRILLE
- NEW WASHROOM EXHAUST REGISTER
- EXISTING EXIT LIGHT
- NEW FIRE EXTINGUISHER
- EXISTING PULL STATION
- PENDANT LAMP C/W. 3 X 35W MR16 TO DESIGNER'S SPECIFICATION
- WALL SCONE C/W.13W TO DESIGNER'S SPECIFICATION
- EXISTING PENDANT / UPRIGHT SPRINKLER HEAD IN SUSPENDED T-BAR CEILING TO BE REMAINED
- RELOCATE EXIST. UPRIGHT / EXIST. PENDANT SPRINKLER HEAD ON T-BAR / DRYWALL CEILING
- NEW PENDANT SPRINKLER HEAD ON T-BAR / DRYWALL CEILING
- NEW /EXIST. DRY SPRINKLER HEAD ON FREEZER PANEL CEILING
- RELOCATE FIRE ALARM PULL STATION
- EXIT LIGHT C/W EMERGENCY LIGHT (EXISTING / NEW)
- EXIT SIGN W/EMERGENCY LIGHTING SHALL C/W BATTERY PACK BATTERY SHALL COME W/MINIMUM OF 30 MIN. CAPACITY. AND COMPLY WITH CSA C22.2 OBC 3.2.7.4 (1)(b) (iii). EXIT SIGN SHALL CONSIST OF A GREEN PICTOGRAM AND WHITE GRAPHIC SYMBOL MEETING THE VISIBILITY SPECIFICATIONS REFERRED TO IN ISO 3864-1"GRAPHICALSYMBOLS-SAFETY SIGNS IN WORKPLACES AND PUBLIC AREA". AND DIMENSIONS INDICATED IN ISO 7010, CONFORMING TO OBC SENTENCE 3.4.5.1(2)



1 GROUND FLOOR REFLECTED CEILING PLAN UNIT 45
 EXISTING AREA : ± 1,058 ft² (98.3 m²)
 SCALE : 3 / 16" = 1' - 0"
 REFER TO DRAWING M2 FOR DIFFUSER LOCATIONS



hj architects inc.
 85 forest cove court
 aurora, ontario
 l4g 3g4
 416.628.2168
 416.887.6771
 info@hjarch.ca



REVISION / ISSUED TO:			
NO.	ISSUED TO	DATE	BY
1.	ISSUED TO MINOR VARIANCE APPLICATION	01/27/23	JY

GENERAL NOTES:

- Contractors to verify all site dimensions and report any discrepancies before commencing with work.
- Dimensions shall take precedence over scale.
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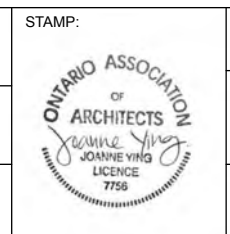
OWNER Peter Stachowski
 7725 birchmount rd.
 markham, ontario
 l6g 1a8

ARCHITECTURAL hj architects inc.
 85 forest cove court
 aurora, ontario
 l3x 2l6

MECHANICAL tran dieu & associates
 INC.
 3030 midland avenue, unit 6/7
 scarborough, ontario
 m1s 5c9

ELECTRICAL

INTERIOR



PROJECT NO.

PROJECT NAME
 MEDICAL SPA
 7725 BIRCHMOUNT ROAD, UNIT 45
 MARKHAM ON, L3R 9X3

DRAWING TITLE
 GROUND FLOOR REFLECTED
 CEILING PLAN UNIT 45

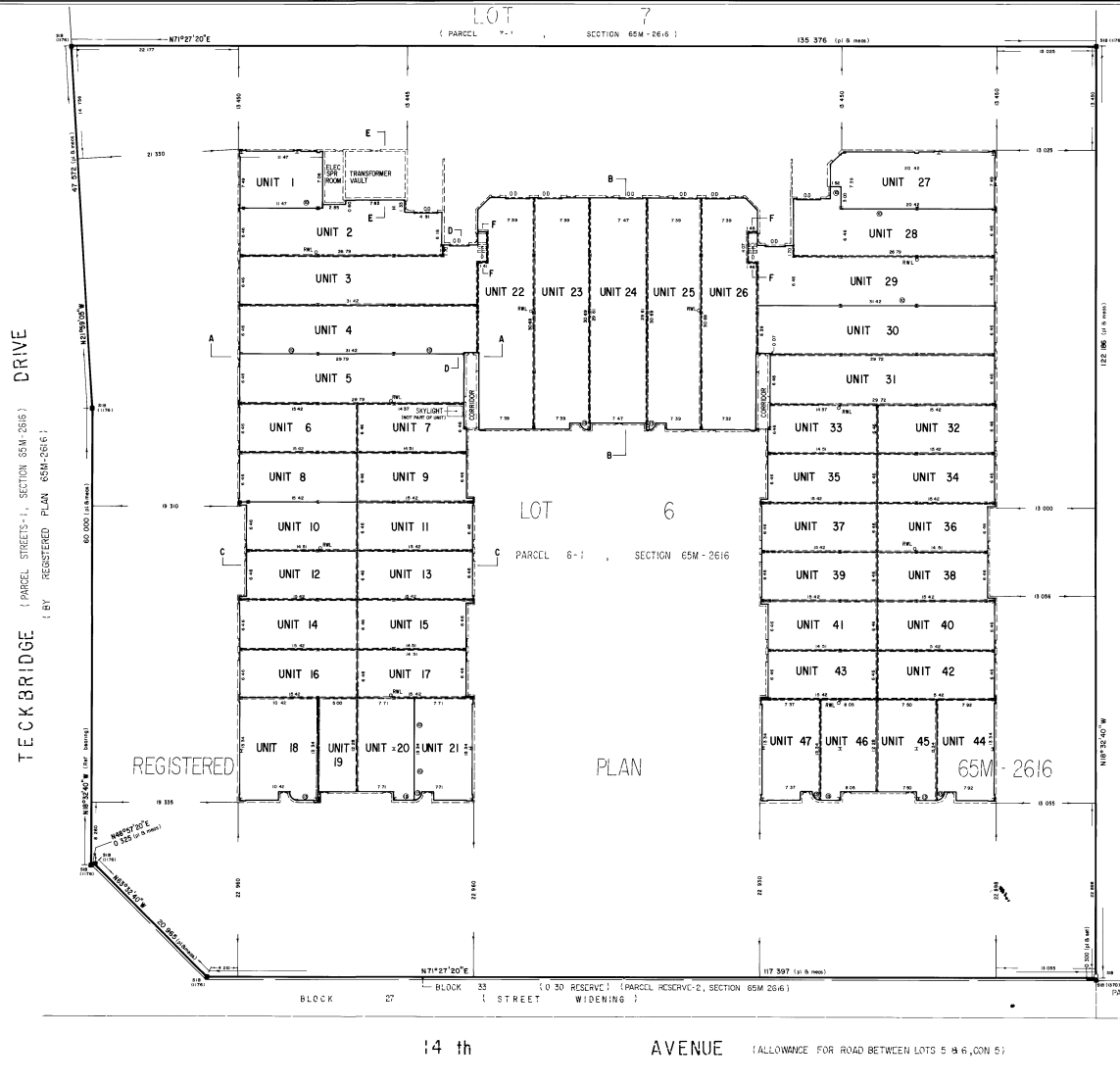
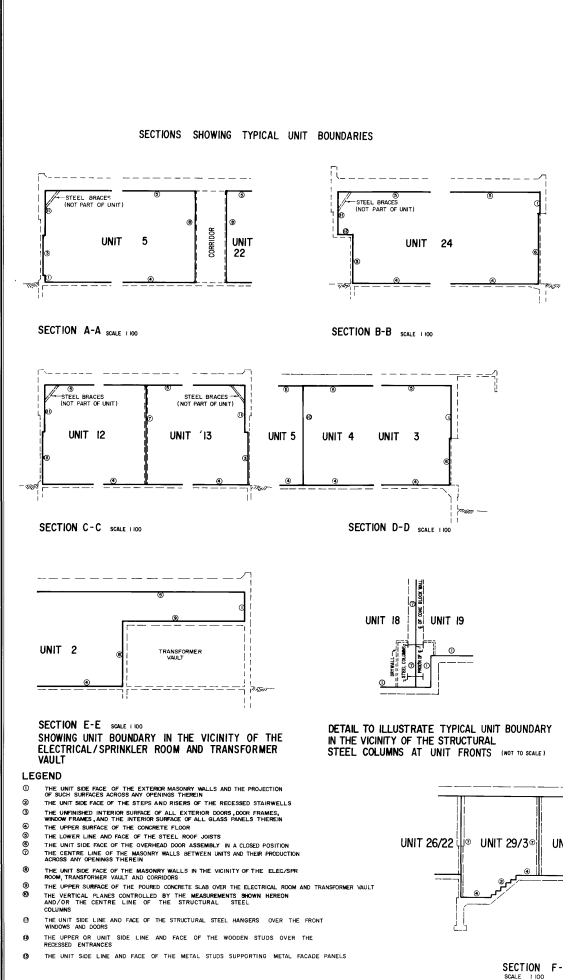
DRAWN BY: JY
CHECKED BY: JY
APPROVED: JY

SCALE 3 / 16" = 1' - 0"

DRAWING NUMBER
A1.2

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PLAN OF SURVEY OF
 LOT 6, REGISTERED PLAN 65M-2616
 TOWN OF MARKHAM
 REGIONAL MUNICIPALITY OF YORK
 SCALE 1:250
 DONALD E ROBERTS O.L.S., 1988



X-4068 YORK REGION CONDOMINIUM PLAN No 643

PART 1 OF 2 PARTS
 SHEET 1 OF 1 SHEET

THIS PLAN CONSISTS OF THE FOLLOWING PARTS -
 PART 1 SHEET 1 PLAN OF SURVEY SHOWING THE DIMENSIONS OF THE LAND AND BUILDING AND THE DESIGNATION OF UNITS ON LEVEL 1
 PART 2 SHEETS 1 TO 10 INCLUDING STRUCTURAL PLANS OF BUILDING

LEVEL 1
 UNITS 1 TO 47 BOTH INCL
 REGISTERED IN THE LAND REGISTRY OFFICE FOR THE LONG TITLES DIVISION OF YORK REGION (M.R.60) AT 2:00 P.M. ON THE 26th DAY OF JANUARY 1988

APPROVED January 20, 1988
 DONALD E. ROBERTS
 O.N.T.A.R.I.O. LAND SURVEYOR

SURVEYOR'S CERTIFICATE
 I CERTIFY THAT
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT AND THE CONDOMINIUM ACT AND THE REGULATIONS MADE THEREUNDER.
 2. THE SURVEY WAS COMPLETED ON THE 23rd DAY OF JANUARY 1988

SCHEDULE OF APPOINTMENT AND SERVIENT INTERESTS (PURSUANT TO SECTION 4 (1) (1) OF THE CONDOMINIUM ACT)

TOGETHER WITH APPOINTMENT INTERESTS	LOT	PLAN	DESCRIBED IN
SUBJECT TO SERVIENT INTERESTS	6	65M-2616	LT 49848

METRIC DIMENSIONS SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

UNIT DEFINITION
 MANAGER'S CONTROLLING THE EXTENT AND LOCATION OF THE UNITS AND THE WALLS, THE FLOORS AND CEILING AS SHOWN PARTICULARLY DESCRIBED IN SCHEDULE 'C' OF THE DECLARATION

LEGEND

- ⊙ CENTER SURVEY MARKING POINT
- ⊙ SURVEY MARKING POINT
- ⊙ STATIONING IRON BARS
- ⊙ IRON BARS
- ⊙ CUT-IRON
- ⊙ OVERHEAD DOOR
- ⊙ UNIT BOUNDARY
- ⊙ CENTER LINE OF MASSIVE WALLS
- ⊙ FACE OF STRUCTURAL WALL
- ⊙ STRUCTURAL STEEL COLUMN (NOT PART OF UNIT)
- ⊙ RAIN WATER LEAD (NOT PART OF UNIT)
- ⊙ DONALD E. ROBERTS O.L.S.
- ⊙ LANDMARK IRON BAR O.L.S.

NOTE
 BEARINGS ARE ASTROLOGICAL AND ARE REFERRED TO THE EASTERLY LIMIT OF TECHNICAL DRIVE, AS SHOWN IN REED'S PLAN 65M-2616, HAVING A BEARING OF N 89°24'0"W

OWNER'S CERTIFICATE
 ONE IS TO CERTIFY THAT THE PROPERTY INCLUDED IN THIS PLAN HAS BEEN Laid OUT WITH UNITS AND COMMON ELEMENTS IN ACCORDANCE WITH THE RESTRICTIONS

PALANQUIN MANAGEMENT INC.
 November 2, 1988
 J. PALANQUIN
 THE MANAGER

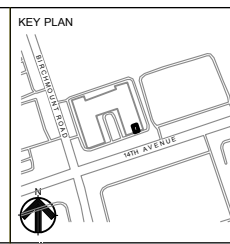
SURVEYOR'S CERTIFICATE
 I HEREBY CERTIFY THAT THE BUILDING HAS BEEN CONSTRUCTED AND THAT THE DIMENSIONS OF THE UNITS SHOWN ON THIS PLAN ARE SUBSTANTIALLY ACCURATE AND SUBSTANTIALLY IN ACCORDANCE WITH THE STRUCTURAL PLANS

October 31, 1988
 DONALD E. ROBERTS
 O.N.T.A.R.I.O. LAND SURVEYOR

DONALD E. ROBERTS LTD., ONTARIO LAND SURVEYOR
 7725 BIRCHMOUNT RD., SCARBOROUGH, ONTARIO M1S 1S8
 TEL: (416) 291-1111
 FAX: (416) 291-1112
 REG. NO. 88-2632-2

1 ONTARIO LAND SURVEY
 SCALE : N.T.S.

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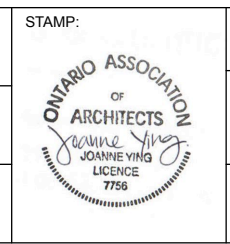
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NO.	ISSUED TO	DATE	BY
1.	ISSUED TO MINOR VARIANCE APPLICATION	01/27/23	JY

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OWNER	Peter Stachowski 7725 Birchmount rd. markham, ontario l6g 1a8
MECHANICAL	tran dieu & associates 3030 midland avenue, unit 6/7 scarborough, ontario m1s 5c9
ARCHITECTURAL	hj architects inc. 85 forest crove court aurora, ontario l3x 2l6
STRUCTURAL	

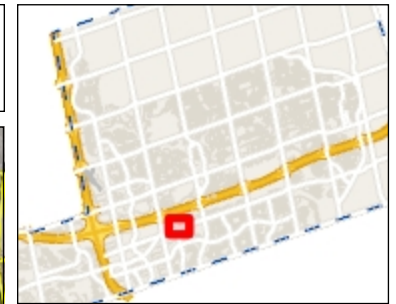
MECHANICAL	tran dieu & associates
ELECTRICAL	
INTERIOR	



PROJECT NO.	
PROJECT NAME	MEDICAL SPA 7725 BIRCHMOUNT ROAD, UNIT 45 MARKHAM ON, L3R 9X3
DRAWING TITLE	ONTARIO LAND SURVEY

DRAWN BY:	JY	CHECKED BY:	JY	APPROVED:	JY
SCALE	NOT TO SCALE				
DRAWING NUMBER	A0.3				

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Legend

Subject Lands

1:4,514



Notes

229.3 0 114.66 229.3 Meters