

# Memorandum to the City of Markham Committee of Adjustment

October 30, 2023

**Files:** B/029/23, B/033/23, B/034/23, A/151/23, A/152/23, A/130/23, and A/131/23  
**Address:** 5077 14th Avenue, 52 Deib Crescent and 54 Deib Crescent, Markham  
**Applicant:** ZHX Development Group  
**Agent:** KBK Architects Inc.  
**Hearing Date:** Wednesday November 1, 2023

The following comments are provided on behalf of the Central Team.

The purpose of the following consent and minor variance applications is to sever and convey the subject property at 5077 14<sup>th</sup> Avenue into two residential lots, and to establish the necessary servicing easements on 5077 14<sup>th</sup> Avenue, 52 Deib Crescent, and 54 Deib Crescent, to facilitate the construction of two new single-detached dwellings fronting onto 14<sup>th</sup> Avenue and two new single-detached dwellings fronting onto 52 and 54 Deib Crescent.

## **Consent Application B/029/23 – 5077 14<sup>th</sup> Avenue (Parts 2, 3, and 4)**

Pursuant to the provisions of Section 53 of the *Planning Act*, R.S.O. 1990, c.P.13, as amended, and Ontario Regulation No. 197/96, the Applicant is requesting provisional consent to:

- a) Sever and convey a parcel of land with an approximate lot frontage of 15.25 metres (50.03 feet) and approximate lot area of 404 square metres (4,348.62 square feet) (Parts 2 and 4);
- b) Retain a parcel of land with approximate lot frontage of 15.25 metres (50.03 feet) and approximate lot area of 388.80 square metres (4,185.01 square feet) (Part 3); and,
- c) Establish servicing easement over Part 4, in favor of Parts 2 and 3.

## **Consent Application B/033/23 – 52 Deib Crescent (Parts 8, 9, and 10)**

Pursuant to the provisions of Section 53 of the *Planning Act*, R.S.O. 1990, c.P.13, as amended, and Ontario Regulation No. 197/96, the Applicant is requesting provisional consent to:

- a) Establish servicing easements over Parts 8 and 10, in favor of Part 3.

## **Consent Application B/034/23 – 54 Deib Crescent (Parts 5, 6, and 7)**

Pursuant to the provisions of Section 53 of the *Planning Act*, R.S.O. 1990, c.P.13, as amended, and Ontario Regulation No. 197/96, the Applicant is requesting provisional consent to:

- a) Establish servicing easements over Parts 5 and 7, in favor of Parts 2, 3, and 4.

**Minor Variance Application A/152/23 - 5077 14<sup>th</sup> Avenue (Part 3) - Retained Northwest Lot**

The Applicant is requesting relief from the requirements of By-law 90-81, as amended, as it relates to a proposed two-storey single family detached dwelling on the retained lot, to permit:

**1. Section 4.4.1 (a)(iii):**

A front yard setback for the garage of 5 metres, whereas the By-law requires a minimum front yard setback of 5.40 metres;

**2. Section 6.1.2(a):**

A minimum lot area of 388.69 m<sup>2</sup>, whereas the By-law requires a minimum lot area of 450 m<sup>2</sup>;

**3. Section 6.1.2(c):**

A maximum lot coverage of 42.87%, whereas the By-law permits a maximum lot coverage of 40%;

**4. Section 6.1.2(b):**

A rear yard setback of 6.57 metres, whereas the By-law requires a minimum rear yard setback of 7.50 metres; and,

**5. Section 6.1.2(b):**

A two-storey side yard interior setback of 1.20 metres and 1.24 metres, whereas the By-law requires a minimum side yard setback of 1.80 metres for the two-storey portion of the dwelling.

**Minor Variance Application A/151/23 - 5077 14<sup>th</sup> Avenue (Parts 2 and 4) – Conveyed Northeast Lot**

The Applicant is requesting relief from the requirements of By-law 90-81, as amended, as it relates to a proposed two-storey single family detached dwelling on the conveyed lot, to permit:

**1. Section 4.4.1 (a)(iii):**

A front yard setback for the garage of 5 metres, whereas the By-law requires a minimum front yard setback of 5.40 metres;

**2. Section 6.1.2(a):**

A minimum lot area of 404.48 m<sup>2</sup>, whereas the By-law requires a minimum lot area of 450 m<sup>2</sup>;

**3. Section 6.1.2(c):**

A maximum lot coverage of 41.2%, whereas the By-law permits a maximum lot coverage of 40%;

**4. Section 6.1.2(b):**

A rear yard setback of 6.57 metres, whereas the By-law requires a minimum rear yard setback of 7.5 metres; and,

**5. Section 6.1.2(b):**

A two-storey side yard interior setback of 1.20 metres and 1.65 metres, whereas the By-law requires a minimum side yard setback of 1.80 metres for the two-storey portion of the dwelling.

**Minor Variance Application A/130/23 - 52 Deib Crescent (Parts 8, 9, and 10) – Previously Established Southwest Lot**

The Applicant is requesting relief from the requirements of By-law 90-81 as amended, as it relates to a proposed two-storey single family detached dwelling on the previously established lot, to permit:

**1. Section 6.1.2(b):**

A front yard setback of 5.65 metres, whereas the By-law requires a minimum of 8 metres; and,

**2. Section 6.1.2(b):**

A two-storey side yard interior setback of 1.45 metres and 1.57 metres, whereas the By-law requires a minimum of 1.80 metres for the two-storey portion of the dwelling.

**Minor Variance Application A/131/23 - 54 Deib Crescent (Parts 5, 6, 7) – Previously Established Southeast Lot**

The Applicant is requesting relief from the requirements of By-law 90-81 as amended, as it relates to a proposed two-storey single family detached dwelling on the previously established lot, to permit:

**1. Section 6.1.2(b):**

A front yard setback of 5.29 metres, whereas the By-law requires a minimum of 8 metres; and,

**2. Section 6.1.2(b):**

A two-storey side yard interior setback of 1.65 metres, whereas the By-law requires a minimum of 1.80 metres for the two-storey portion of the dwelling.

**BACKGROUND**

**Property Description**

The 1,814.53 m<sup>2</sup> (19,531.44 ft<sup>2</sup>) subject properties located at 5077 14<sup>th</sup> Avenue, 52 Deib Crescent and 54 Deib Crescent (herein collectively referred to as the “Subject Lands”) are located on the south side of 14<sup>th</sup> Avenue, north of Deib Crescent, and generally situated west of Hoake Road (refer to Appendix “A” – Aerial Photo). The Subject Lands are located within an established residential neighbourhood comprised of two-storey detached dwellings. There is an existing single detached dwelling on the Subject Lands, which according to assessment records was constructed in 1954.

**Application History**

In June 2016, Official Plan Amendment No. 239 (“OPA 239”) and Site-Specific Zoning By-law Amendment 2016-73 (“By-law 2016-73”) were approved for the Subject Lands to permit residential development to front onto 14<sup>th</sup> Avenue and to allow for a minor increase in density (File Number: OP/ZA 15 107711). Staff note that OPA 239, which amended the 1987 Official Plan is no longer in force on the Subject Lands. Further details on the Official Plan designation is found in the Official Plan section below.

Subsequent to the Council approval of the Official Plan and Zoning By-law Amendment applications, the Subject Lands received Consent and Minor Variance approvals (File Numbers: B/13/16 and A/138/16) from the Committee of Adjustment on December 1, 2016. The purpose of the consent application B/13/16 was to convey Part 1 to the Region for a future road widening, and to establish three new residential lots with one residential lot fronting 14<sup>th</sup> Avenue (5077 14<sup>th</sup> Avenue) and two lots fronting onto Deib Crescent (52 and 54 Deib Crescent).

In 2020, the City received a Consent application (File No. B/008/20) seeking to sever 5077 14<sup>th</sup> Avenue into 3 residential lots fronting onto 14<sup>th</sup> Avenue. Planning Staff had numerous concerns with the requested three-lot configuration. The application was later withdrawn in order to facilitate a new application proposal for 2 residential lots fronting onto 14<sup>th</sup> Avenue.

### **Current Proposal**

The Applicant is now proposing to sever the existing residential lot at 5077 14<sup>th</sup> Avenue into two residential lots (refer to Appendix “B” and “C” for the Draft Reference Plan and Full Site Plan). The retained lot (Part 3) will have a lot area of 388.69 m<sup>2</sup> (4,183.93 ft<sup>2</sup>) and a lot frontage of 15.25 m (50.03 ft). The conveyed lot (Parts 2 and 4) will have a lot area of 404.48 m<sup>2</sup> (4,353.19 ft<sup>2</sup>) and a lot frontage of 15.26 m (50.07 ft). The proposed severance is to facilitate the construction of two two-storey residential dwellings fronting onto 14<sup>th</sup> Avenue (refer to Appendix “D” for the Architectural Plans for the retained and conveyed lots).

The Applicant is also proposing to demolish the existing dwelling to the rear of the Subject Lands to construct two new two-storey detached dwellings on 52 and 54 Deib Crescent (refer to Appendix “E” for the Architectural Plans for 52 and 54 Deib Crescent).

As servicing is unavailable from 14<sup>th</sup> Avenue, the Applicant is required to provide servicing connections from Deib Crescent via the establishment of servicing easements across 52 and 54 Deib Crescent (refer to Appendix “F” – Draft Servicing Plan). Additional details with respect to the servicing easements are provided in the comment section below.

### **Official Plan and Zoning**

2014 Official Plan (partially approved on November 24, 2017, and updated on April 9, 2018)

The current in-force 2014 Official Plan designates the Subject Lands “Residential Low Rise”, which provides for low rise housing forms including single detached dwellings. Section 8.2.3.5 of the 2014 Official Plan outlines infill development criteria for the “Residential Low Rise” designation with respect to height, massing, and setbacks. This criteria is established to ensure that infill development is appropriate for the site and generally consistent with the zoning requirements for adjacent properties and properties along the same street. In considering applications for development approval in a “Residential Low Rise” area, which includes minor variances, infill development is required to meet the general intent of these development criteria. Regard shall also be had for the retention of existing trees and vegetation, the width of proposed garages



and driveways, and the overall orientation and sizing of new lots within a residential neighbourhood. Planning Staff have had regard for the requirements of the infill development criteria in the preparation of the comments provided below.

#### Zoning By-Law 90-81, as amended by By-law 2016-73

The Subject Lands are zoned “Eighth Density - Single Detached Residential (Hold) [R8(H)]” under By-law 90-81, as amended. The R8 zone permits a single detached dwelling. The proposed development does not comply with the By-law with respect to minimum lot area, setbacks, and lot coverage.

By-law 2016-73, which further amends Zoning By-law 90-81, sets out conditions for hold removal, which include, but are not limited to: the design, construction and securing of all municipal servicing for the proposed residential lots, the submission of letters of credit and fees, confirmation that the City’s waste management requirements have been met, the submission for review and approval of various studies/reports, and the submission of a release letter from the Armadale Developers Group. These conditions will need to be addressed through the submission of future applications for Residential, Infill, Grading and Servicing (“RIGS”) and a Hold Removal application.

#### **Zoning Preliminary Review (ZPR) Undertaken**

The Applicant has completed a Zoning Preliminary Review (ZPR) on August 4, 2023 to confirm the variances required for the proposed development. Staff note that the plans have since been revised to locate the hammerhead driveway turnaround space within the Region’s right-of-way, as per the Region’s comments. The Applicant has not submitted a revised ZPR, therefore Staff advise that it is the Applicant’s responsibility to ensure that the application has accurately identified all of the variances to the By-law required for the proposed development. If the variance request in this application contains errors, or if the need for additional variances is identified during the building permit review process, further variance application(s) may be required to address the non-compliance.

#### **COMMENTS**

##### **Consent to Sever Application B/029/23**

The Applicant is proposing one new residential lot to be created through provisional consent. As previously noted, the retained lot (Part 3) is proposed to have a lot area of 388.69 m<sup>2</sup> (4,183.82 ft<sup>2</sup>) and a lot frontage of 15.25 m (50.03 ft), while the conveyed lot (Parts 2 and 4) is proposed have a lot area of 404.48 m<sup>2</sup> (4,354.00 ft<sup>2</sup>) and a lot frontage of 15.26 m (50.07 ft). Both proposed lots comply with the minimum lot frontage requirements; however, they do not comply with the minimum lot area requirements.

Planning Staff recognize that there is a variation among lot sizes along the street and within the surrounding neighbourhood. Planning Staff are of the opinion that the proposed severance is appropriate and consistent with the lot pattern of the neighbourhood.

### **Easement Applications B/029/23, B/033/23, and B/034/23**

The Applicant is proposing to establish easements on the Subject Lands in favour of the retained and conveyed lots on 5077 14<sup>th</sup> Avenue, as follows and as depicted in the Draft Servicing Plan in Appendix “F”:

1. Establish a servicing easement over Part 4 (southern portion of the conveyed lot), in favor of Parts 2 (conveyed lot) and 3 (retained lot) for the purposes of a storm sewer line.
2. Establish servicing easements over Parts 8 and 10 (on 52 Deib Crescent), in favor of Part 3 (the retained lot on 5077 14<sup>th</sup> Avenue) for the purposes of a sanitary sewer line in Part 8 and a water line in Part 10.
3. Establish servicing easements over Parts 5 and 7 (on 54 Deib Crescent), in favor of Parts 2, 3, and 4 (the conveyed lot on 5077 14<sup>th</sup> Avenue) for the purposes of a water line in Part 5 and a storm line and sanitary line in Part 7.

As previously noted, servicing connection is unavailable from 14<sup>th</sup> Avenue. As such, the Applicant is required to provide servicing connections from Deib Crescent via the establishment of servicing easements across 52 and 54 Deib Crescent (refer to Appendix “F” – Draft Servicing Plan). Staff notes that in accordance with Section 7.1.5.4 of the Building Code, piping in any building shall be connected to the public services separately from piping of any other building. Therefore, the proposed dwellings on the retained and conveyed lots on 5077 14<sup>th</sup> Avenue must have separate water service and sanitary sewer lines, necessitating the need for separate servicing easements on 52 and 54 Deib Crescent in favour of the retained and conveyed lot, respectively. However, it is important to note that the proposed servicing arrangement has not been reviewed for compliance with the Ontario Building Code and that the appropriate approvals from the City’s Engineering Department and Building Standards Department will be required.

### **Minor Variance Applications A/152/12, A/151/23, A/130/23 and A/131/23**

The *Planning Act* states that four tests must be met in order for a minor variance to be granted by the Committee of Adjustment:

- 1) The variance must be minor in nature;
- 2) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- 3) The general intent and purpose of the Zoning By-law must be maintained; and,
- 4) The general intent and purpose of the Official Plan must be maintained.

### **5077 14<sup>th</sup> Avenue - Reduction in Minimum Lot Area**

The Applicant is requesting a variance to permit a minimum lot area of a minimum lot area of 388.69 m<sup>2</sup> (4,183.83 ft<sup>2</sup>) whereas the By-law requires a minimum lot area of 450 m<sup>2</sup> (4,834.76 ft<sup>2</sup>) for the retained lot (Part 3), and to permit a minimum lot area of 404.48 m<sup>2</sup> (4,353.19 ft<sup>2</sup>) whereas the By-law requires a minimum lot area 450 m<sup>2</sup> (4,834.76 ft<sup>2</sup>) for the conveyed lot (Parts 2 and 4). This represents a reduction of approximately 13.62% (61.31 m<sup>2</sup> or 659.94 ft<sup>2</sup>) and 10.12% (45.52 m<sup>2</sup> or 489.97 ft<sup>2</sup>), respectively, from what the By-law permits.

Staff are of the opinion that the proposed reduction in lot sizes are compatible with the lot fabric of the surrounding neighbourhood, and that the proposed reduction is minor in nature.

#### 5077 14<sup>th</sup> Avenue – Increase in Maximum Lot Coverage

The Applicant is requesting relief for a maximum lot coverage of 42.87% (or a building footprint of 166.63 m<sup>2</sup> or 1,793.59 ft<sup>2</sup>) for the proposed dwelling on the retained lot and a maximum lot coverage of 41.2% (or a building footprint of 166.63 m<sup>2</sup> or 1,793.59 ft<sup>2</sup>) for the proposed dwelling on the conveyed lot, whereas the By-law permits a maximum lot coverage of 40.0% (or a building footprint of 155.48 m<sup>2</sup> or 1,673.57 ft<sup>2</sup> for the retained lot and a footprint of 161.79 m<sup>2</sup> or 1,741.49 ft<sup>2</sup> for the conveyed lot).

The proposed lot coverages include the front covered porch which adds 3.73 m<sup>2</sup> (40.15 ft<sup>2</sup>) to the overall building area. Excluding the front covered porch, the dwellings have a lot coverage of 41.91% for the retained lot and 40.27% for the conveyed lot, and would be more consistent with what the By-law permits. Given that the front covered porch is unenclosed, Staff are of the opinion that the proposed increase in lot coverages will not significantly add to the scale and massing of the dwellings and that the resultant dwellings are generally consistent with what the By-law permits.

#### 5077 14<sup>th</sup> Avenue – Reduction in Rear Yard Setbacks

The Applicant is requesting relief to permit a reduction in the rear yard setback of 6.57 m (21.56 ft) for both dwellings on 5077 14<sup>th</sup> Avenue, whereas the By-law requires a minimum rear yard setback of 7.5 m (25.61 ft). This represents a reduction of approximately 12.4% (0.93 m or 3.05 ft) from the By-law requirement.

Staff note that the required reduction in the rear yard setback is attributable to the irregularly-shaped lot and dwelling configuration, resulting in a range of setbacks from the rear property lines to the proposed dwellings. As a result of the irregularly-shaped lot, the setbacks along the proposed dwellings range from 6.57 m (21.56 ft) to 8.05 m (26.41 ft), with an average setback of 7.31 m (23.98 ft).

Given the lot and dwelling configuration, Staff are of the opinion that the proposed variance for the reduction of rear yard setback is minor in nature and meets the intent of the Zoning By-law.

#### All lots – Reduction in Front Yard Setbacks

The Applicant is requesting relief to permit a reduction in the front yard setback for all four lots, as identified in Table 1 below:

Table 1 – Front Yard Setbacks

<b>Municipal Address and Part Numbers</b>	<b>Variance Request</b>	<b>By-law Requirement</b>	<b>Difference</b>
5077 14 <sup>th</sup> Avenue – Retained Lot (Part 3)	5.0 m (16.40 ft)	5.40 m (17.72 ft)	<b>7.41%</b> (0.40 m or 1.31 ft)
5077 14 <sup>th</sup> Avenue – Conveyed Lot (Parts 2 and 4)	5.0 m (16.40 ft)	5.40 m (17.72 ft)	<b>7.41%</b> (0.40 m or 1.31 ft)
52 Deib Crescent (Parts 8, 9, and 10)	5.65 m (17.36 ft)	8.0 m (26.25 ft)	<b>29.38%</b> (2.35 m or 7.71 ft)
54 Deib Crescent (Parts 5, 6, and 7)	5.29 (18.54 ft)	8.0 m (26.25 ft)	<b>33.86%</b> (2.71 m or 8.89 ft)

The proposed front yard variances for 5077 14<sup>th</sup> Avenue are primarily attributed to Part 1 being conveyed to York Region for the future road widening of 14<sup>th</sup> Avenue, thereby reducing the amount of front yard space available for the proposed developments.

The proposed front yard variances for 52 and 54 Deib Crescent are attributed to the slanted lot and building configuration, that creates a slight pinch-point between the approximately 1.50 m (4.92 ft) covered porch projection and front lot line. Staff note that the front yard setbacks along the main portions of the dwellings, excluding the covered porches, range from 6.86 m (22.69 ft) to 7.52 m (24.67 ft) for 52 Deib Crescent and approximately 6.46 m (21.39 ft) to 7.20 m (23.62 ft) for 54 Deib Crescent, or an average setback of 7.19 m (23.59 ft) and 6.83 m (22.41 ft), respectively.

Given the lot and building orientation, Staff are of the opinion that the requested reduction in front yard setbacks are minor in nature and meet the intent of the Zoning By-law.

All lots – Reduced Two-Storey Interior Side Yard Setback

The Applicant is requesting relief to permit a reduction in the two-storey interior side yard setbacks for all four lots as identified in Table 2 below:

Table 2 – Two-Storey Interior Side Yard Setback

<b>Municipal Address and Part Numbers</b>	<b>Variance Request</b>	<b>By-law Requirement</b>	<b>Difference</b>
5077 14 <sup>th</sup> Avenue – Retained Lot (Part 3)	1.20 m (3.94 ft) and 1.24 m (4.07 ft)	1.80 m (5.91 ft)	<b>33.33%</b> (0.60 m or 1.97 ft) and <b>31.11%</b> (0.56 m or 1.84 ft)
5077 14 <sup>th</sup> Avenue – Conveyed Lot (Parts 2 and 4)	1.20 m (3.94 ft) and 1.65 m (5.41 ft)	1.80 m (5.91 ft)	<b>33.33%</b> (0.60 m or 1.97 ft) and <b>8.33%</b> (0.15 m or 0.49 ft)
52 Deib Crescent (Parts 8, 9, and 10)	1.45 m (4.76 ft) and 1.57 m (5.15 ft)	1.80 m (5.91 ft)	<b>19.44%</b> (0.35 m or 1.15 ft) and <b>12.78%</b> (0.23 m or 0.75 ft)
54 Deib Crescent (Parts 5, 6, and 7)	1.65 m (5.41 ft)	1.80 m (5.91 ft)	<b>8.33%</b> (0.15 m or 0.49 ft)

Staff note that the requested variances only applies to the two-storey portion of the building. The main floor complies with the minimum side yard setback requirement of 1.20 m (3.94 ft). Engineering Staff have reviewed the application and have no concern with the variances respecting drainage. As such, Staff are of the opinion that the requested variances are minor in nature.

### **ENGINEERING COMMENTS**

Engineering Staff have reviewed the application and have no objection subject to the comments listed in Appendix “G”. These comments include, but are not limited to, confirming that there are no existing easements registered on title that will be impacted by the proposed severance, and submission of engineering plans and documents for review and acceptance.

Engineering Staff have also provided advisory comments indicating that submission of a Residential Infill, Grading and Servicing (“RIGS”) application will be required for review and acceptance by the City to satisfy the Hold provision. The RIGS application is also required prior to making an application for a building permit. Engineering further notes that upon making an application for a building permit, the Owner must make satisfactory arrangements with the City’s Engineering Department – Municipal Inspections for the

installation of the proposed sanitary, storm and watermain service connections to service the newly created lot and disconnect any unused service connection.

### **PUBLIC INPUT SUMMARY**

No written submissions were received as of October 30, 2023. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

### **CONCLUSION**

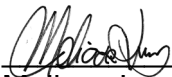
Planning Staff have reviewed the consent applications with regard for Sections 51(24) and 53 of the *Planning Act*, R.S.O. 1990, c.P.13, as amended, and have no objection to the proposed consents.

Planning Staff have also reviewed the minor variance applications with respect to Section 45(1) of the *Planning Act* and have no objection. Planning Staff are of the opinion that the variances requested for each lot, both separately, and collectively, meet the four tests under Section 45(1) of the *Planning Act*. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the Applicant to demonstrate why they should be granted relief from the requirements of the *Planning Act* and zoning by-law, and how they satisfy the requirements for the granting of severances and minor variances.

Please refer to Appendices “H” to “N” for conditions to be attached to any approval of this application.

PREPARED BY:



Melissa Leung, RPP, MCIP, Senior Planner, Central District

REVIEWED BY:



Deanna Schlosser, RPP, MCIP, Senior Planner, Central District

File Path: Amanda\File\23 130048\Documents\District Team Comments Memo

### **APPENDICES**

Appendix “A” – Aerial Photo

Appendix “B” – Draft Reference Plan

Appendix “C” – Full Site Plan

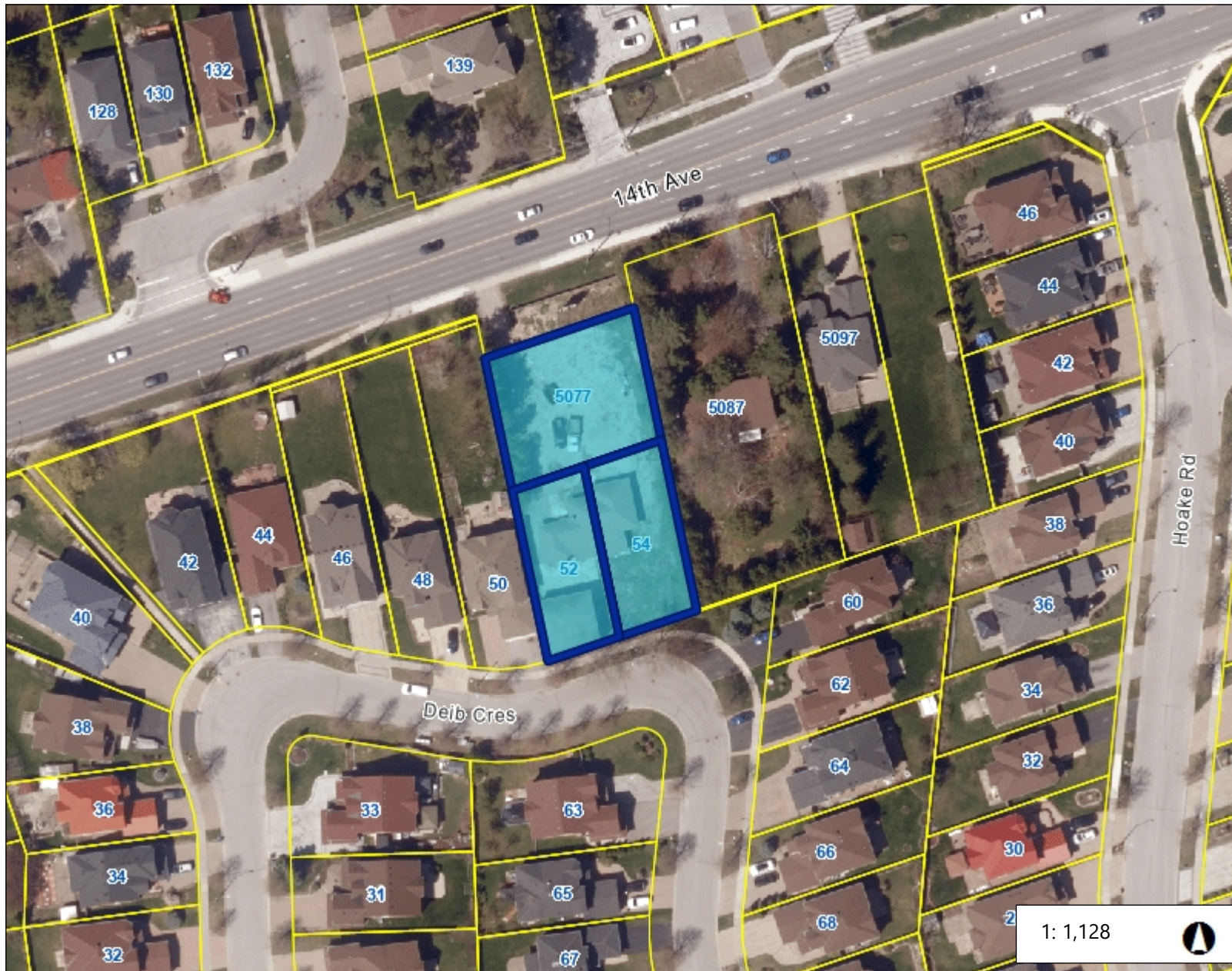
Appendix “D” – Architectural Plans for 5077 14<sup>th</sup> Avenue (Retained and Severed Lots)

Appendix “E” – Architectural Plans for 52 Deib Crescent and 54 Deib Crescent

Appendix “F” – Draft Servicing Plan

Appendix "G" – Engineering Comments  
Appendix "H" – B/029/23 Conditions of Approval  
Appendix "I" – B/033/33 Conditions of Approval  
Appendix "J" – B/034/33 Conditions of Approval  
Appendix "K" – A/151/23 Conditions of Approval  
Appendix "L" – A/152/23 Conditions of Approval  
Appendix "M" – A/130/23 Conditions of Approval  
Appendix "N" – A/131/23 Conditions of Approval





Legend

Subject Lands

1: 1,128



57.3 0 28.65 57.3 Meters

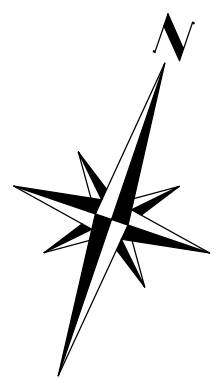
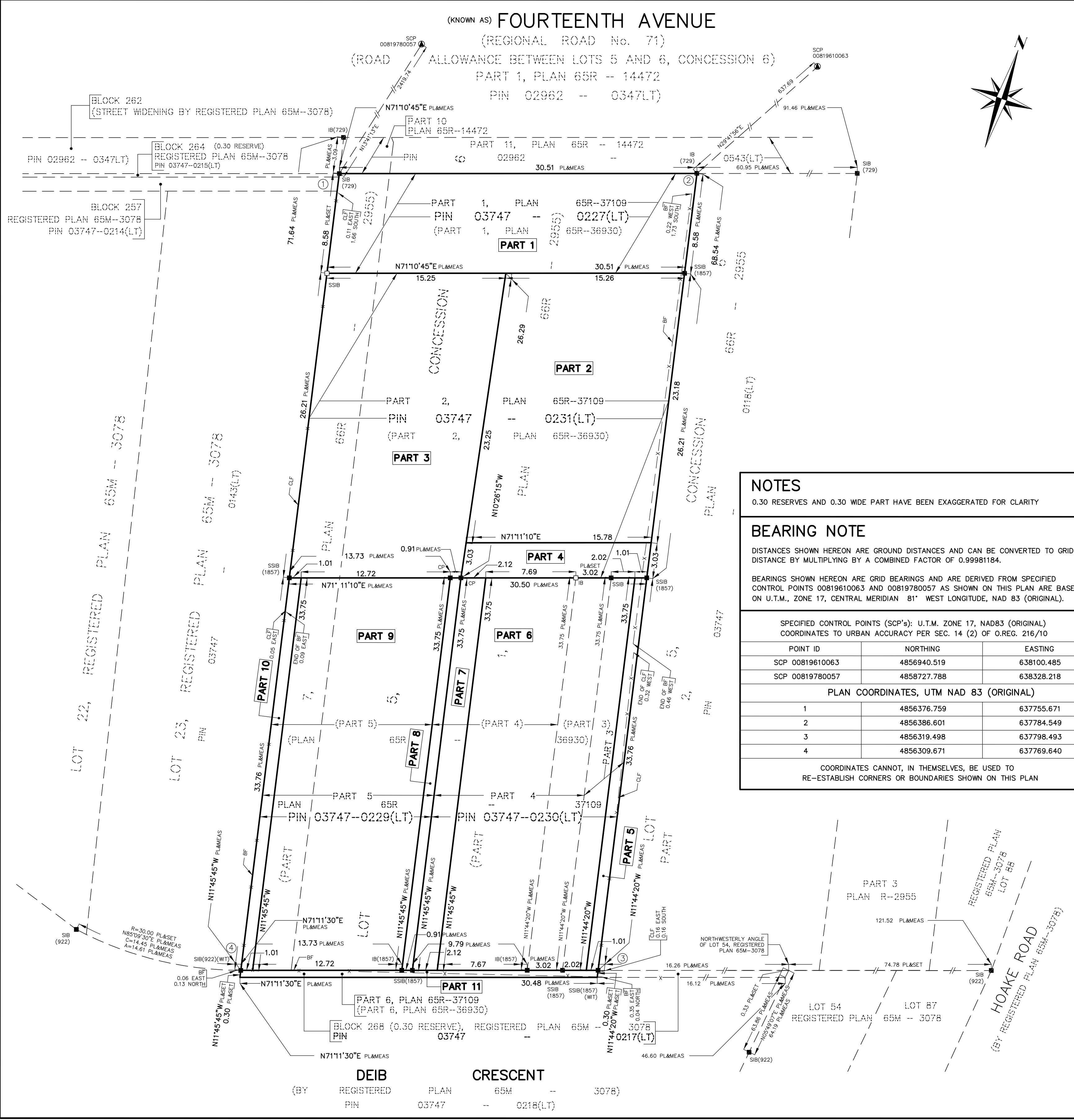
NAD\_1983\_UTM\_Zone\_17N  
© City of Markham

DISCLAIMER: The information is presented on a best-efforts basis, and should not be relied upon for making financial, survey, legal or other commitments. If you have questions or comments regarding the data displayed on this map, please email [cgis@markham.ca](mailto:cgis@markham.ca) and you will be directed to the appropriate department.

Notes

5077 14th Avenue, 52 Deib Crescent and 54 Deib Crescent





I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

DATE \_\_\_\_\_, 2023

R. SHANMUGARAJAH  
ONTARIO LAND SURVEYOR

PLAN 65R-14472

RECEIVED \_\_\_\_\_

DATE \_\_\_\_\_, 2023

REPRESENTATIVE FOR  
LAND REGISTRAR FOR THE  
YORK REGION (No. 65)

SCHEDULE				
PART	LOT/BLOCK	CONCESSION/PLAN	PIN	AREA
1			ALL OF PIN 03747-0227(LT)	259.8 m <sup>2</sup>
2				356.9 m <sup>2</sup>
3			ALL OF PIN 03747-0231(LT)	388.7 m <sup>2</sup>
4				47.6 m <sup>2</sup>
5			ALL OF PIN 03747-0230(LT)	33.84 m <sup>2</sup>
6	PART OF LOT 5	6	ALL OF PIN 03747-0230(LT)	426.12 m <sup>2</sup>
7				71.00 m <sup>2</sup>
8			ALL OF PIN 03747-0229(LT)	30.48 m <sup>2</sup>
9				426.06 m <sup>2</sup>
10				33.83 m <sup>2</sup>
11	PART OF BLOCK 268	REGISTERED PLAN 65M-3078	PART OF PIN 03747-0217(LT)	9.1 m <sup>2</sup>

PLAN OF SURVEY OF  
PART OF BLOCK 268  
REGISTERED PLAN 65M-3078 AND  
PART OF LOT 5, CONCESSION 6  
(FORMERLY TOWNSHIP OF MARKHAM)  
CITY OF MARKHAM  
REGIONAL MUNICIPALITY OF YORK

SCALE 1:200

THAM SURVEYING LIMITED, O.L.S.

**METRIC**  
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**NOTES**  
0.30 RESERVES AND 0.30 WIDE PART HAVE BEEN EXAGGERATED FOR CLARITY

**BEARING NOTE**  
DISTANCES SHOWN HEREON ARE GROUND DISTANCES AND CAN BE CONVERTED TO GRID DISTANCE BY MULTIPLYING BY A COMBINED FACTOR OF 0.99981184.

BEARINGS SHOWN HEREON ARE GRID BEARINGS AND ARE DERIVED FROM SPECIFIED CONTROL POINTS 00819610063 AND 00819780057 AS SHOWN ON THIS PLAN ARE BASED ON U.T.M., ZONE 17, CENTRAL MERIDIAN 81° WEST LONGITUDE, NAD 83 (ORIGINAL).

SPECIFIED CONTROL POINTS (SCP's): U.T.M. ZONE 17, NAD83 (ORIGINAL)  
COORDINATES TO URBAN ACCURACY PER SEC. 14 (2) OF O.REG. 216/10

POINT ID	NORTHING	EASTING
SCP 00819610063	4856940.519	638100.485
SCP 00819780057	4858727.788	638328.218

PLAN COORDINATES, UTM NAD 83 (ORIGINAL)

	NORTHING	EASTING
1	4856376.759	637755.671
2	4856386.601	637784.549
3	4856319.498	637798.493
4	4856309.671	637769.640

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN

**LEGEND**

- DENOTES MONUMENT SET
- DENOTES MONUMENT FOUND
- SIB DENOTES STANDARD IRON BAR
- SSIB DENOTES SHORT STANDARD IRON BAR
- IB DENOTES IRON BAR
- CP DENOTES CONCRETE PIN
- SCP DENOTES SPECIFIED CONTROL POINT
- PL DENOTES PLAN 65R-37109
- (1857) DENOTES THAM SURVEYING LIMITED, O.L.S.
- (922) DENOTES SCHAEFFER DZALDOC BENNETT LTD., O.L.S.
- (729) DENOTES D.H. BLACK, O.L.S.
- PIN DENOTES PROPERTY IDENTIFIER NUMBER
- MEAS DENOTES MEASURED
- BF DENOTES BOARD FENCE
- CLF DENOTES CHAIN LINK FENCE
- ORP DENOTES OBSERVED REFERENCE POINT

**SURVEYOR'S CERTIFICATE**

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2023.

DATE \_\_\_\_\_, 2023

R. SHANMUGARAJAH  
ONTARIO LAND SURVEYOR

THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER \_\_\_\_\_

**THAM SURVEYING LIMITED**  
ONTARIO LAND SURVEYORS

8888 KEELE STREET, UNIT 7 PHONE: 905-761-6521 FAX: 905-761-6523  
VAUGHAN, ONTARIO, L4K 2N2 www.thamsurveying.ca

DRAWN BY: S.J./M.S.R./S.G.	CHECKED BY: R.S.	CAD NUMBER: 22-032-01-RPLAN	JOB NUMBER: 22-032-01
-------------------------------	---------------------	--------------------------------	--------------------------





5077 14th AVENUE  
MARKHAM, ON

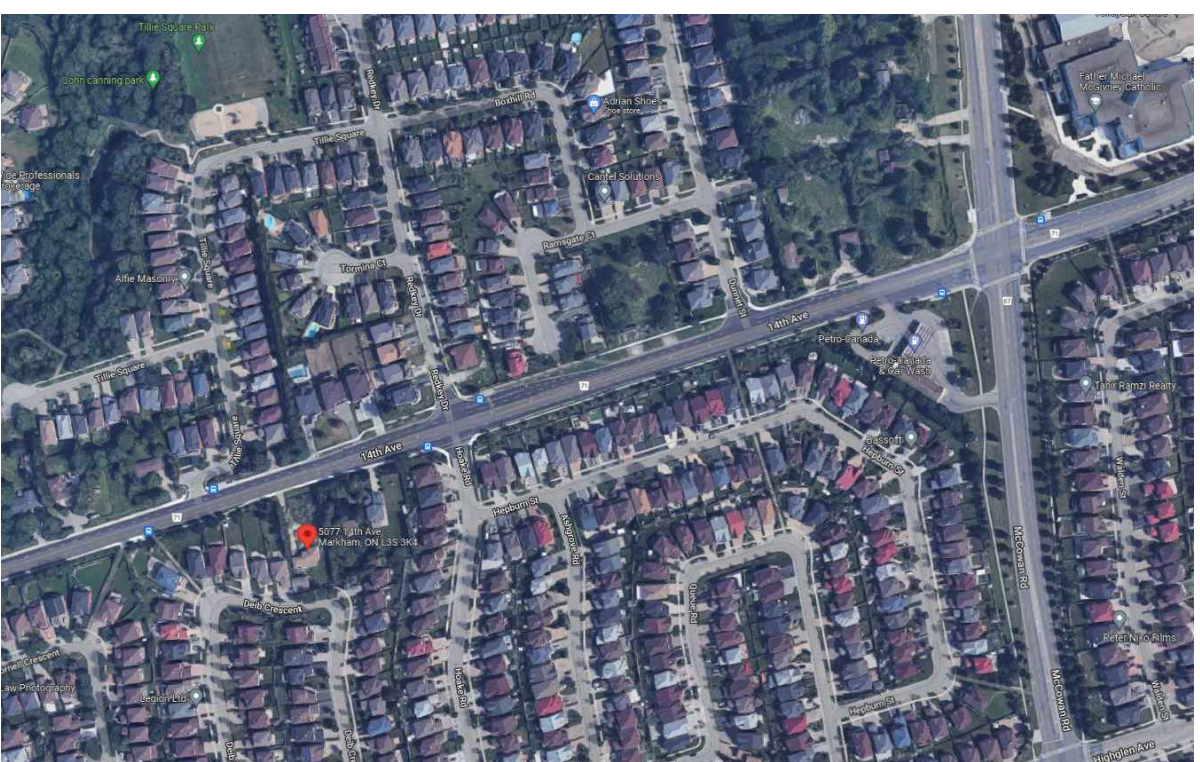
KBK ARCHITECTS INC.  
T: (800)-203-7010  
INFO@KBKARCHITECTS.CA  
SUITE #300, 25 SHEPPARD AVE. W. TORONTO

**SCOPE**

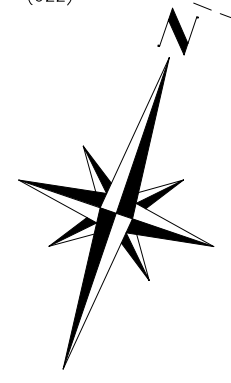
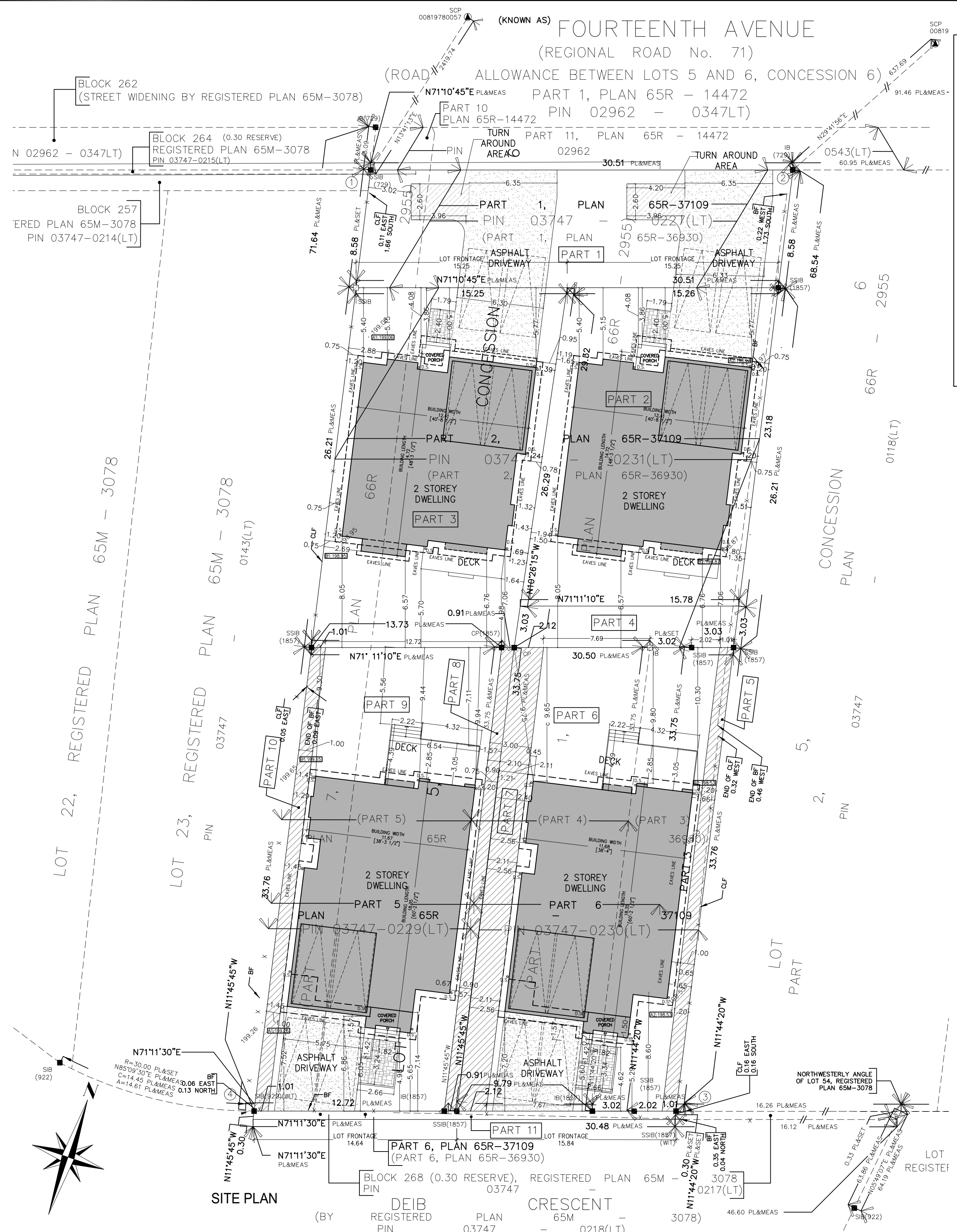
1. CONSENT APPLICATION TO SEVER 5077 14TH AVENUE INTO 4 LOTS
2. 2 DETACHED DWELLINGS FRONTING ON 14TH AVENUE
3. 2 DETACHED DWELLING FRONTING ON DEIB CRESCENT

**GENERAL NOTES**

1. CONTRACTOR MUST VISIT SITE TO FAMILIARIZE WITH EXISTING CONDITIONS BEFORE QUOTING FOR THE JOB.
2. VERIFY ALL EXISTING MEMBER SIZES, ELEVATIONS, AND DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORKS.
3. REPORT ANY DISCREPANCIES TO ENGINEER IMMEDIATELY FOR ADVISE.
4. CONTRACTOR TO SUBMIT DETAIL SHOP DRAWINGS PRIOR TO FABRICATION.
5. REFER TO NOTES AND SCHEDULES FOR SPECIFICATIONS & GENERAL NOTES.
6. DIMENSIONS MARKED ON STRUCTURAL DRAWINGS ARE FOR DESIGN ONLY. CONTRACTOR IS REQUIRED TO FOLLOW MEASURE ALL DIMENSIONS, LEVELS & CONDITIONS ON SITE.
- DISCREPANCY BETWEEN STRUCTURAL & ON SITE CONDITIONS MUST BE BROUGHT TO THE ATTENTION OF ENGINEER & OWNER PRIOR TO COMMENCING ANY CONSTRUCTION AND FABRICATION.
7. THESE NOTES AND ALL NOTES ARE PART OF THE WHOLE APPLICATION.
- CONTRACTOR(S) MUST GO THROUGH NOTES AND TREAT ALL DRAWINGS AS PART OF ONE APPLICATION.
8. PRIOR TO THE REMOVAL OF ANY INTERIOR WALLS, VERIFY THE CONSTRUCTION AND SUPPORT REQUIREMENTS OF THE CEILING JOISTS OR BOTTOM CHORDS OF ROOF TRUSSES (ABOVE). IF CEILING JOISTS BEAR ON INTERIOR WALLS, METHOD AND DESIGN OF SUPPORT FOR THE CEILING AREA TO BE PROVIDED TO INSPECTOR ON SITE FOR APPROVAL.
9. CONTRACTORS AND OWNERS REQUIRING ADDITIONAL INFORMATION OR CLARIFICATIONS ON THE DRAWINGS DURING CONSTRUCTION MUST CONTACT KBK ARCHITECTS INC BY EMAIL TO [INFO@KBKARCHITECTS.CA].
- CONTRACTOR(S) AND CLIENT(S) ARE REQUESTED TO SEND A REQUEST FOR INFORMATION IN SUCH CASES, AND UNDERSTAND THAT THE REPLY TYPICALLY TAKES 48 HOURS. CLIENT(S) AND CONTRACTOR(S) ARE ASKED NOT TO MAKE PHONE CALLS WITH SUCH INQUIRES TO AVOID MISCOMMUNICATION, AND TO HAVE ALL COMMUNICATIONS AS RFI'S IN WRITING



KEY PLAN



**Appendix C**

File: 23.130048.00.00.CSNT

Date: 10/27/23

DESIGNER'S STAMP

**GENERAL NOTES**

- ALL DRAWINGS ARE THE PROPERTY OF KBK ARCHITECTS AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM KBK ARCHITECTS INC.
- CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE ENGINEER OR KBK ARCHITECTS
- ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE.
- | NO. | ISSUED FOR       | DATE         |
|-----|------------------|--------------|
| 1   | PRE-CONSULTATION | JAN 09, 2023 |
| 2   | ZPR SUBMISSION   | JAN 25, 2023 |
| 3   | ZPR RESUBMISSION | FEB 13, 2023 |
| 4   | ZPR RESUBMISSION | FEB 24, 2023 |
| 5   | ZPR RESUBMISSION | JUN 09, 2023 |



**KBK ARCHITECTS INC.**  
T: 1 (800)-203-7010  
INFO@KBKARCHITECTS.CA  
SUITE 300, 25 SHEPPARD AVE. WEST  
Toronto M2N 6S6 Ontario

PROJECT ADDRESS  
5077 14TH AVENUE,  
MARKHAM - NORTH

DRAWING  
FULL DEVELOPMENT  
SITE PLAN

DRAWN	INGR.	DRAWING NO
TIN/ASM	JL	
PLOTTED DATE SEP 28, 2023		
SCALE 1 : 200		
CHECKED KYLE KHADRA		

**A0.1**





5077 14th AVENUE  
MARKHAM, ON

**KBK ARCHITECTS INC.**  
T: 1(800)-203-7010  
INFO@KBKARCHITECTS.CA  
SUITE #300, 25 SHEPPARD AVE. W, TORONTO

# DETACHED SINGLE FAMILY NORTH LOTS

Appendix D

File: 23.130048.000.00.CSNT

Date: 10/27/23

**SCOPE**

1. CONSENT APPLICATION TO SEVER 5077 14TH AVENUE INTO 4 LOTS
2. 2 DETACHED DWELLINGS FRONTING ON 14TH AVENUE
3. 2 DETACHED DWELLING FRONTING ON DEIB CRESCENT

**GENERAL NOTES**

1. CONTRACTOR MUST VISIT SITE TO FAMILIARIZE WITH EXISTING CONDITIONS BEFORE QUOTING FOR THE JOB.
2. VERIFY ALL EXISTING MEMBER SIZES, ELEVATIONS, AND DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORKS.
3. REPORT ANY DISCREPANCIES TO ENGINEER IMMEDIATELY FOR ADVISE.
4. CONTRACTOR TO SUBMIT DETAIL SHOP DRAWINGS PRIOR TO FABRICATION.
5. REFER TO NOTES AND SCHEDULES FOR SPECIFICATIONS & GENERAL NOTES.
6. DIMENSIONS MARKED ON STRUCTURAL DRAWINGS ARE FOR DESIGN ONLY. CONTRACTOR IS REQUIRED TO FOLLOW MEASURE ALL DIMENSIONS, LEVELS & CONDITIONS ON SITE.

DISCREPANCY BETWEEN STRUCTURAL & ON SITE CONDITIONS MUST BE BROUGHT TO THE ATTENTION OF ENGINEER & OWNER PRIOR TO COMMENCING ANY CONSTRUCTION AND FABRICATION.

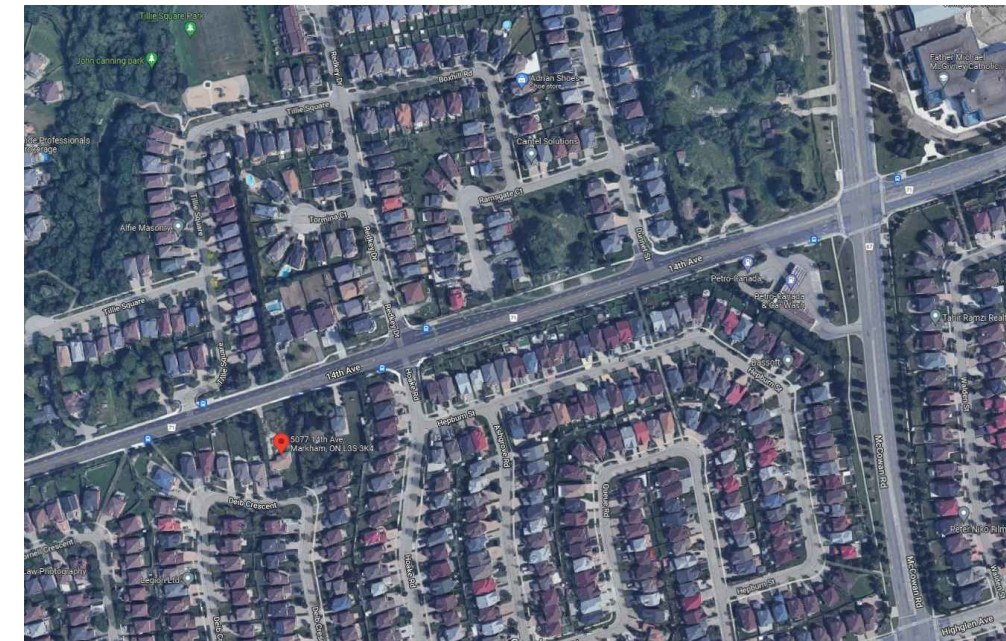
7. THESE NOTES AND ALL NOTES ARE PART OF THE WHOLE APPLICATION.

CONTRACTOR(S) MUST GO THOUGHT NOTES AND TREAT ALL DRAWINGS AS PART OF ONE APPLICATION.

8. PRIOR TO THE REMOVAL OF ANY INTERIOR WALLS, VERIFY THE CONSTRUCTION AND SUPPORT REQUIREMENTS OF THE CEILING JOISTS OR BOTTOM CHORDS OF ROOF TRUSSES (ABOVE). IF CEILING JOISTS BEAR ON INTERIOR WALLS, METHOD AND DESIGN OF SUPPORT FOR THE CEILING AREA TO BE PROVIDED TO INSPECTOR ON SITE FOR APPROVAL.

9. CONTRACTORS AND OWNERS REQUIRING ADDITIONAL INFORMATION OR CLARIFICATIONS ON THE DRAWINGS DURING CONSTRUCTION MUST CONTACT KBK ARCHITECTS INC BY EMAIL TO [INFO@KBKARCHITECTS.CA].

CONTRACTOR(S) AND CLIENT(S) ARE REQUESTED TO SEND A REQUEST FOR INFORMATION IN SUCH CASES, AND UNDERSTAND THAT THE REPLY TYPICALLY TAKES 48 HOURS. CLIENT(S) AND CONTRACTOR(S) ARE ASKED NOT TO MAKE PHONE CALLS WITH SUCH INQUIRES TO AVOID MISCOMMUNICATION, AND TO HAVE ALL COMMUNICATIONS AS RFI'S IN WRITING



KEY PLAN



DESIGNERS STAMP

**GENERAL NOTES**

ALL DRAWINGS ARE THE PROPERTY OF KBK ARCHITECTS AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM KBK ARCHITECTS INC.

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE ENGINEER OR KBK ARCHITECTS

ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE.

NO.	ISSUED FOR	DATE
1	PRE-CONSULTATION	JAN 09, 2023
2	ZPR SUBMISSION	JAN 25, 2023
3	ZPR RESUBMISSION	FEB 13, 2023
4	ZPR RESUBMISSION	FEB 24, 2023
5	ZPR RESUBMISSION	JUN 09, 2023



**KBK ARCHITECTS INC.**

T: 1 (800)-203-7010  
INFO@KBKARCHITECTS.CA  
Suite 300, 25 Sheppard Ave. West  
Toronto M2N 6S6 Ontario

**PROJECT ADDRESS**

5077 14TH AVENUE,  
MARKHAM - NORTH

**DRAWING**

KEY PLAN

DRAWN	MNGR.	DRAWING NO
TIN/ASM	JL	A1.0
PLOTTED DATE		
JUN 09, 2023		
SCALE		
@18"X24"		
1 : 150		
CHECKED		
KYLE KHADRA		



(KNOWN AS) **FOURTEENTH AVENUE**  
 (REGIONAL ROAD No. 71)  
 (ROAD ALLOWANCE BETWEEN LOTS 5 AND 6, CONCESSION 6)



Lot Coverage Part 2,4	sqm	Lot Coverage Part 3	sqm
Lot Area	404.48	Lot Area	388.69
Dwelling Footprint	162.90	Dwelling Footprint	162.90
Covered Porch	3.73	Covered Porch	3.73
Total	166.63	Total	166.63
Percentage	41.20%	Percentage	42.87%

	Proposed North Lot Part 2,4		Proposed North Lot Part 3	
	sqm	sqft	sqm	sqft
Lot Area	404.48	4,353.78	388.69	4,183.77
First Floor Area	127.43	1,371.63	127.43	1,371.63
Second Floor Area	159.52	1,717.03	159.52	1,717.03
Basement	124.44	1,339.46	124.44	1,339.46
GFA	286.95	3,088.66	286.95	3,088.66
FSI	70.94%	sqm	73.82%	sqm
Coverage	41.20%	166.63	42.87%	166.63

Zoning Information North Lots	Zone: R8H		
		Part 2,4	Part 3
Lot Area	Allowed	404.48	388.69
Max Height	9.8m	8.38	8.38
Max. Height (Flat roof)	8.0m	N/A	N/A
Max Coverage (Net)	35%	41.20%	42.87%
Max. FSI (Net Lot area) x 45%	45%	70.94%	73.82%
Building Depth	16.8m	14.72m	14.72m
<b>Setbacks</b>			
Front Yard	7.62m	5.00m	5.00m
Encroachment by the stair in front	0.45m	0.93m	0.93m
Rear Yard	7.62m	6.57m	6.57m
Interior Side Yard 1 Storey Portion	1.21m	1.65/1.20m	1.20/1.24m
Interior Side Yard 2 Storey Portion	1.82m	1.65/1.20m	1.20/1.24m



GENERAL NOTES  
 ALL DRAWINGS ARE THE PROPERTY OF KALGREENS ARCHITECTS AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM KALGREENS ARCHITECTS INC.

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE ENGINEER OR KALGREENS ARCHITECTS

ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE.

NO.	ISSUED FOR	DATE
1	PRE-CONSULTATION	JAN 09, 2023
2	ZPR SUBMISSION	JAN 25, 2023
3	ZPR RESUBMISSION	FEB 13, 2023
4	ZPR RESUBMISSION	FEB 24, 2023
5	ZPR RESUBMISSION	JUN 09, 2023



PROJECT ADDRESS  
 5077 14TH AVENUE, MARKHAM - NORTH

DRAWING  
 SITE PLAN

DRAWN	MNGR.	DRAWING NO
TIN/ASM	JL	A1.1
PLOTTED DATE SEP 28, 2023		
SCALE @18"x24" 1 : 150		
CHECKED KYLE KHADRA		

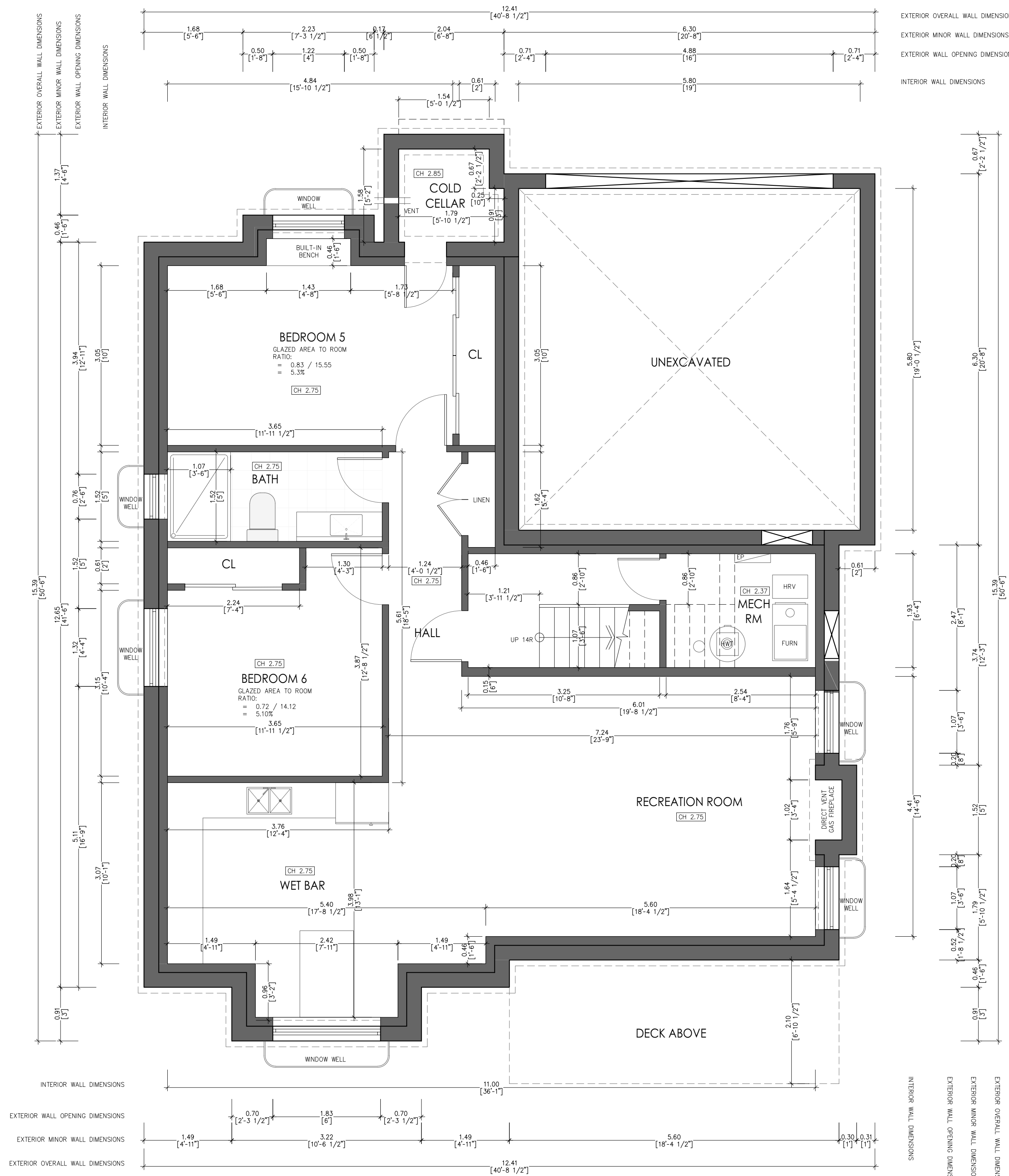
VIEW OF 14TH STREET

**Appendix D**

File: 23.130048.00.00.CSNT

Date: 10/27/23

VIEW OF TREES



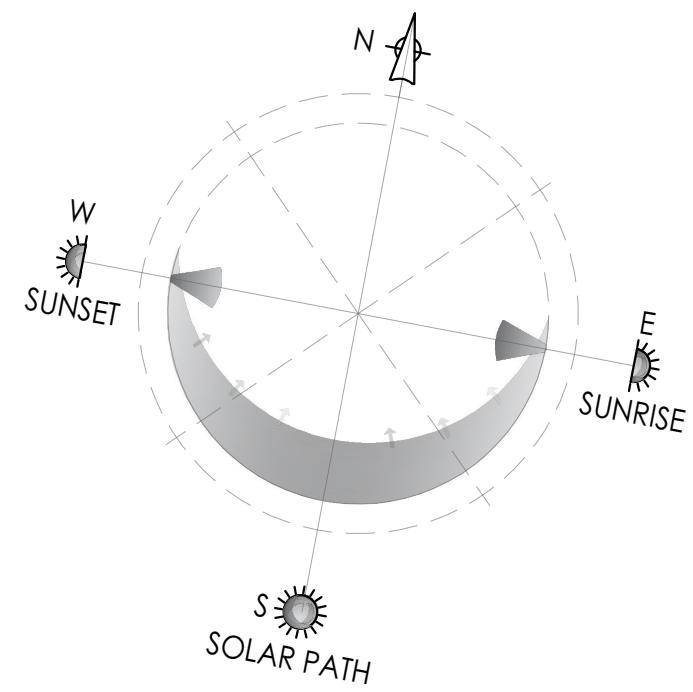
EXTERIOR OVERALL WALL DIMENSIONS  
 EXTERIOR MINOR WALL DIMENSIONS  
 EXTERIOR WALL OPENING DIMENSIONS  
 INTERIOR WALL DIMENSIONS

VIEW OF TREES



**BASEMENT FLOOR PLAN**  
 AREA = 111.35 SQM (1,199 SQFT)  
 TOTAL AREA = 272.38 SQM (2,931 SQFT)

VIEW OF NEIGHBOUR



DESIGNER'S STAMP

GENERAL NOTES

ALL DRAWINGS ARE THE PROPERTY OF KBK ARCHITECTS AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM KBK ARCHITECTS INC.

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE ENGINEER OR KBK ARCHITECTS

ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE.

NO.	ISSUED FOR	DATE
1	PRE-CONSULTATION	JAN 09, 2023
2	ZPR SUBMISSION	JAN 25, 2023
3	ZPR RESUBMISSION	FEB 13, 2023
4	ZPR RESUBMISSION	FEB 24, 2023
5	ZPR RESUBMISSION	JUN 09, 2023



**KBK ARCHITECTS INC.**  
 T: 1 (800)-203-7010  
 INFO@KBKARCHITECTS.CA  
 Suite 300, 25 Sheppard Ave. West  
 Toronto M2N 6S6 Ontario

PROJECT ADDRESS  
 5077 14TH AVENUE,  
 MARKHAM - NORTH

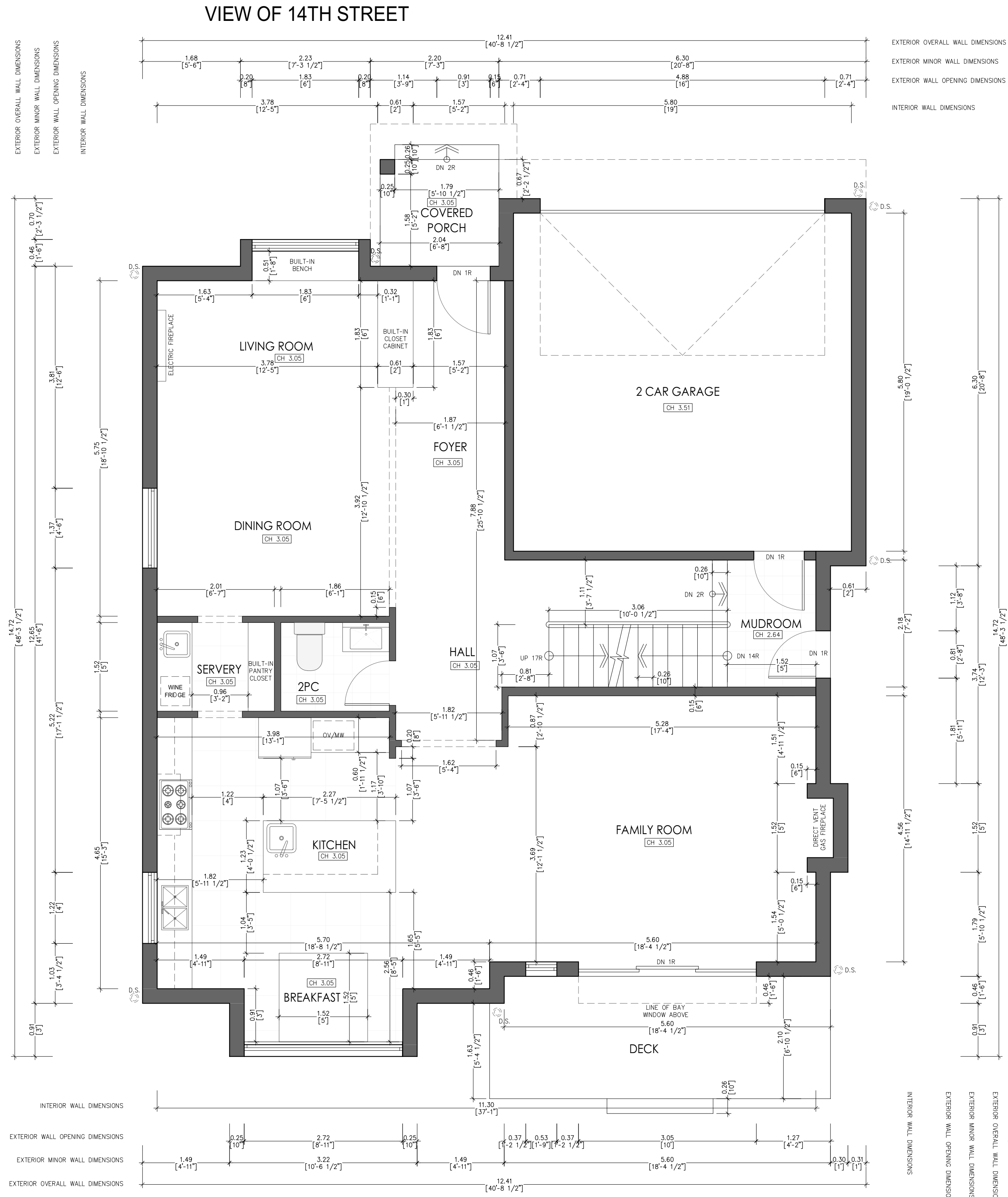
DRAWING  
 BASEMENT FLOOR PLAN

DRAWN: TIN/ASM MNGR: J.L.  
 PLOTTED DATE: JUN 09, 2023  
 SCALE: @18"x24"  
 CHECKED: KYLE KHADRA  
 DRAWING NO: **A2.1**



VIEW OF TREES

VIEW OF TREES



**FIRST FLOOR PLAN**

AREA = 127.43 SQM (1,372 SQFT)  
TOTAL AREA = 272.38 SQM (2,931 SQFT)

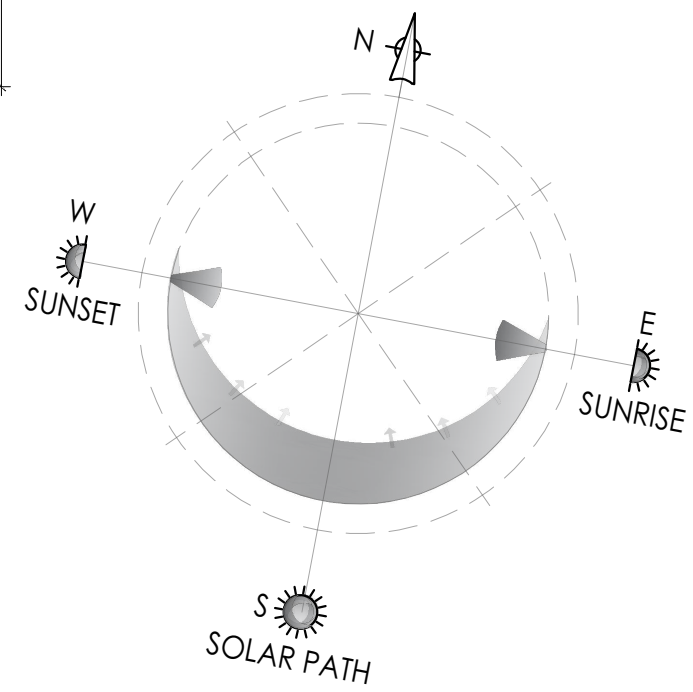
VIEW OF NEIGHBOUR

EXTERIOR OVERALL WALL DIMENSIONS  
EXTERIOR MINOR WALL DIMENSIONS  
EXTERIOR WALL OPENING DIMENSIONS  
INTERIOR WALL DIMENSIONS

EXTERIOR OVERALL WALL DIMENSIONS  
EXTERIOR MINOR WALL DIMENSIONS  
EXTERIOR WALL OPENING DIMENSIONS  
INTERIOR WALL DIMENSIONS

INTERIOR WALL DIMENSIONS  
EXTERIOR WALL OPENING DIMENSIONS  
EXTERIOR MINOR WALL DIMENSIONS  
EXTERIOR OVERALL WALL DIMENSIONS

INTERIOR WALL DIMENSIONS  
EXTERIOR WALL OPENING DIMENSIONS  
EXTERIOR MINOR WALL DIMENSIONS  
EXTERIOR OVERALL WALL DIMENSIONS



DESIGNERS STAMP

GENERAL NOTES

ALL DRAWINGS ARE THE PROPERTY OF KBK ARCHITECTS AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM KBK ARCHITECTS INC.  
CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE ENGINEER OR KBK ARCHITECTS  
ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE.

NO.	ISSUED FOR	DATE
1	PRE-CONSULTATION	JAN 09, 2023
2	ZPR SUBMISSION	JAN 25, 2023
3	ZPR RESUBMISSION	FEB 13, 2023
4	ZPR RESUBMISSION	FEB 24, 2023
5	ZPR RESUBMISSION	JUN 09, 2023

**KBK ARCHITECTS INC.**  
T: 1 (800) 203-7010  
INFO@KBKARCHITECTS.CA  
Suite 300, 25 Sheppard Ave. West  
Toronto M2N 6S6 Ontario

PROJECT ADDRESS  
5077 14TH AVENUE,  
MARKHAM - NORTH

DRAWING  
FIRST FLOOR PLAN

DRAWN	INGR.	DRAWING NO.
TIN/ASM	JL	A2.2
PLOTTED DATE JUN 09, 2023		
SCALE 1:50 @ 18" x 24"		
CHECKED KYLE KHADRA		

VIEW OF 14TH STREET

Appendix D

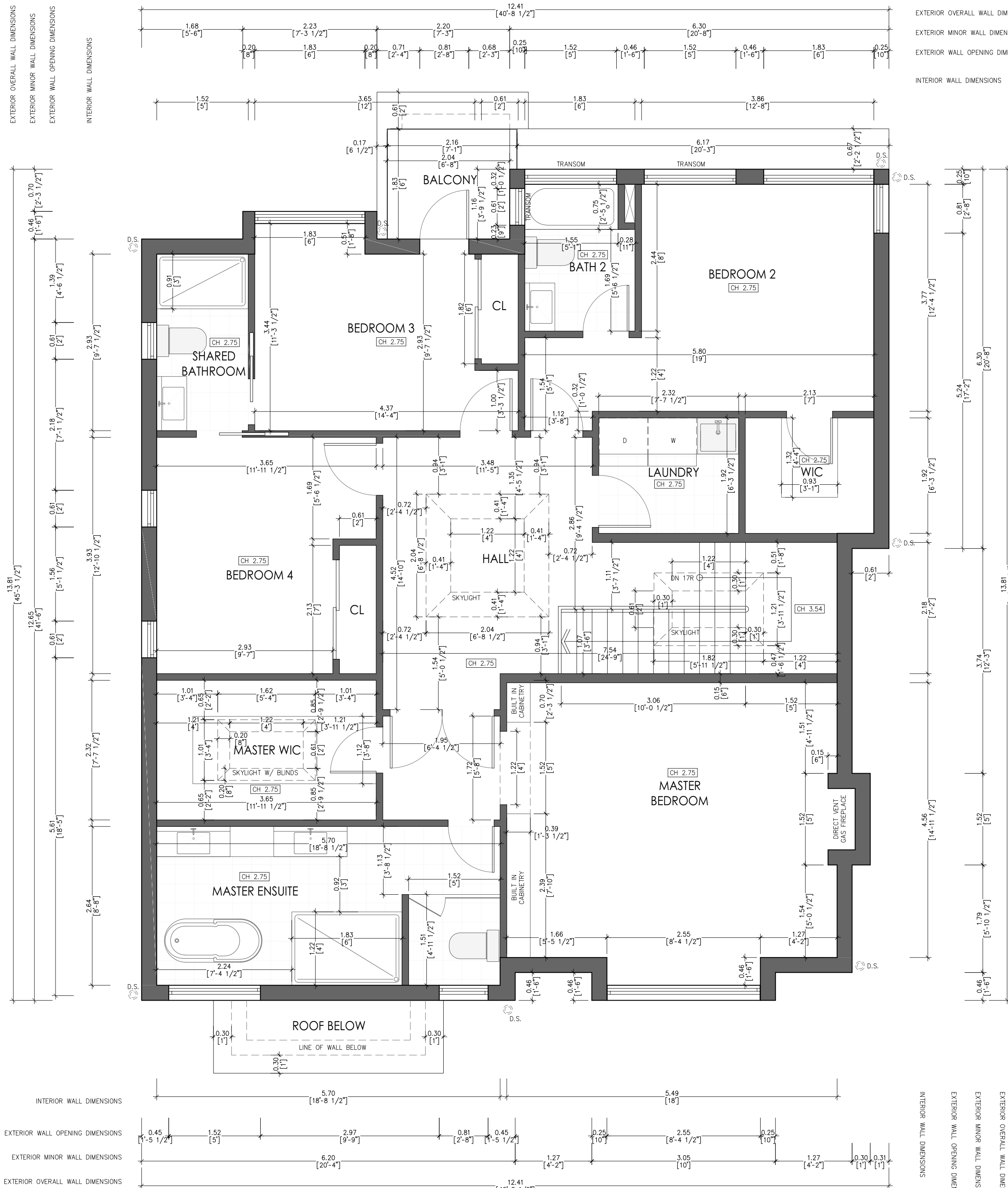
File: 23.130048.00.00.CSNT

Date: 10/27/23

MMDDYY

VIEW OF TREES

VIEW OF TREES



EXTERIOR OVERALL WALL DIMENSIONS  
EXTERIOR MINOR WALL DIMENSIONS  
EXTERIOR WALL OPENING DIMENSIONS  
INTERIOR WALL DIMENSIONS

EXTERIOR OVERALL WALL DIMENSIONS  
EXTERIOR MINOR WALL DIMENSIONS  
EXTERIOR WALL OPENING DIMENSIONS  
INTERIOR WALL DIMENSIONS

DESIGNERS STAMP

GENERAL NOTES  
ALL DRAWINGS ARE THE PROPERTY OF KBK ARCHITECTS AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM KBK ARCHITECTS INC.  
CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE ENGINEER OR KBK ARCHITECTS  
ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE.

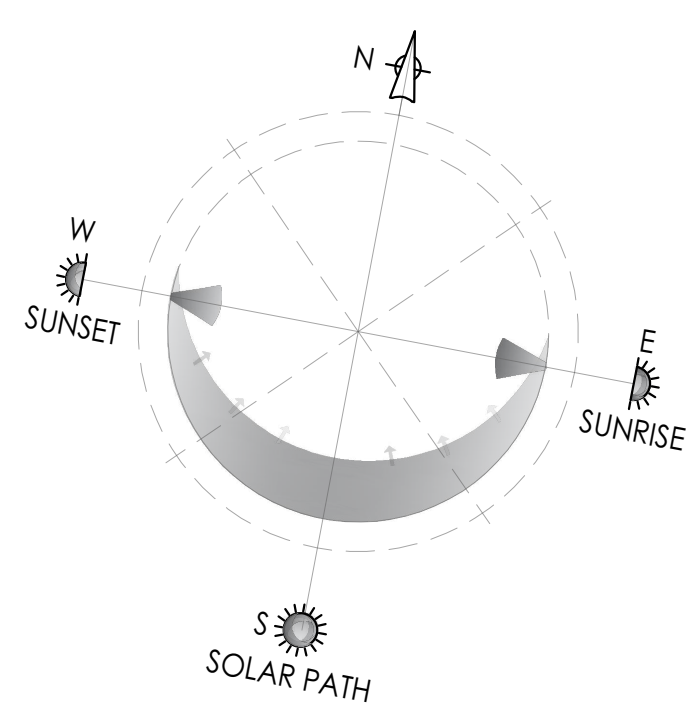
NO.	ISSUED FOR	DATE
1	PRE-CONSULTATION	JAN 09, 2023
2	ZPR SUBMISSION	JAN 25, 2023
3	ZPR RESUBMISSION	FEB 13, 2023
4	ZPR RESUBMISSION	FEB 24, 2023
5	ZPR RESUBMISSION	JUN 09, 2023

**KBK ARCHITECTS INC.**  
T: 1 (800) 203-7010  
INFO@KBKARCHITECTS.CA  
Suite 300, 25 Sheppard Ave. West  
Toronto M2N 6S6 Ontario

PROJECT ADDRESS  
5077 14TH AVENUE,  
MARKHAM - NORTH

DRAWING  
SECOND FLOOR PLAN

DRAWN	MNGR.	DRAWING NO.
TIN/ASM	JL	A2.3
PLOTTED DATE JUN 09, 2023		
SCALE 1/8"=1'-0"		
CHECKED KYLE KHADRA		



**SECOND FLOOR PLAN**  
AREA = 159.52 SQM (1,717 SQFT)  
TOTAL AREA = 272.38 SQM (2,931 SQFT)

VIEW OF NEIGHBOUR

VIEW OF 14TH STREET

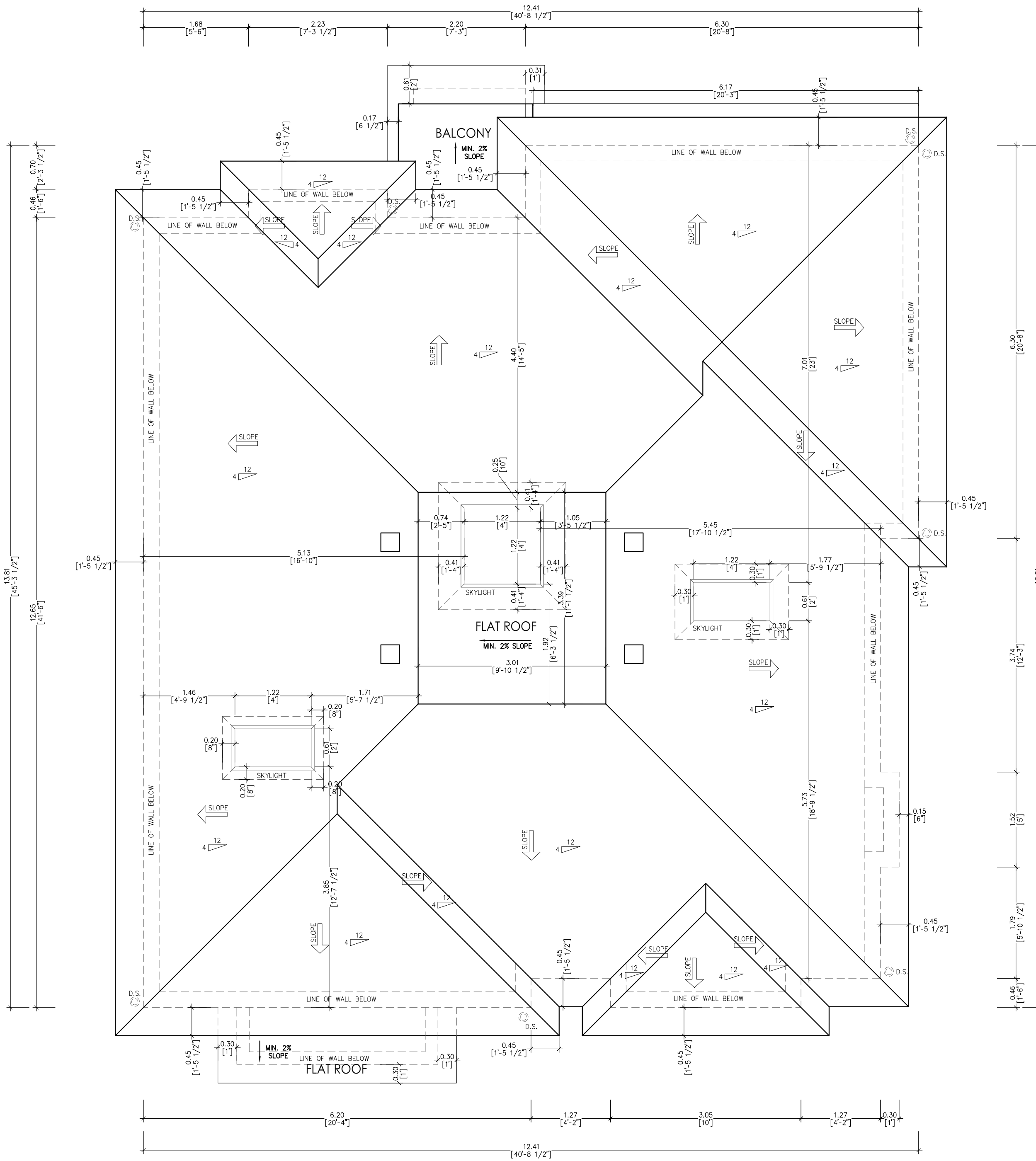
Appendix D

File: 23.130048.000.00.CSNT

Date: 10/27/23

MMDDYYYY

VIEW OF TREES

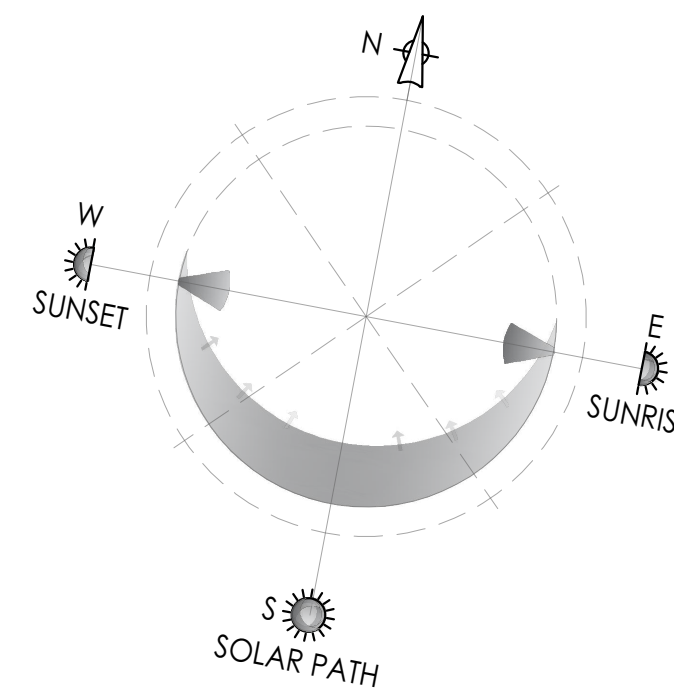


VIEW OF TREES



ROOF PLAN

VIEW OF NEIGHBOUR



DESIGNERS STAMP

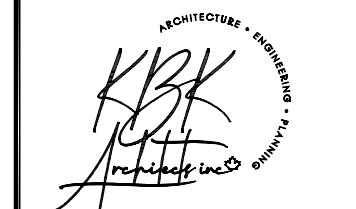
GENERAL NOTES

ALL DRAWINGS ARE THE PROPERTY OF KBK ARCHITECTS AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM KBK ARCHITECTS INC.

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE ENGINEER OR KBK ARCHITECTS

ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE.

NO.	ISSUED FOR	DATE
1	PRE-CONSULTATION	JAN 09, 2023
2	ZPR SUBMISSION	JAN 25, 2023
3	ZPR RESUBMISSION	FEB 13, 2023
4	ZPR RESUBMISSION	FEB 24, 2023
5	ZPR RESUBMISSION	JUN 09, 2023



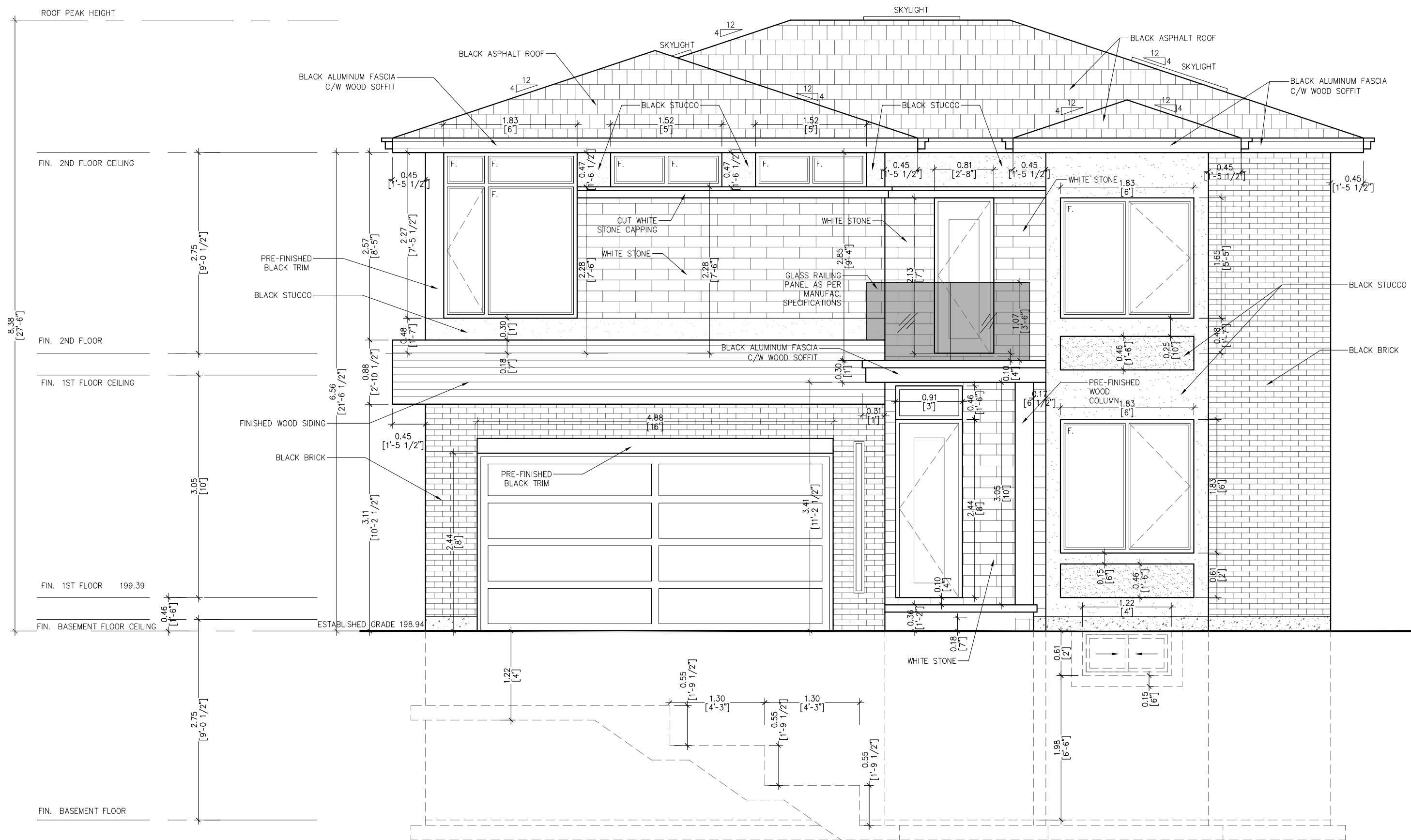
**KBK ARCHITECTS INC.**  
 T: 1 (800)-203-7010  
 INFO@KBKARCHITECTS.CA  
 Suite 300, 25 Sheppard Ave. West  
 Toronto M2N 6S6 Ontario

PROJECT ADDRESS  
 5077 14TH AVENUE,  
 MARKHAM - NORTH

DRAWING  
 ROOF PLAN

DRAWN	MNGR.	DRAWING NO
TIN/ASM	JL	A2.4
PLOTTED DATE JUN 09, 2023		
SCALE 18"x24" 1 : 50		
CHECKED KYLE KHADRA		





FRONT ELEVATION  
NORTH

DESIGNER'S STAMP

GENERAL NOTES

ALL DRAWINGS ARE THE PROPERTY OF KBK ARCHITECTS AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM KBK ARCHITECTS INC.

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE ENGINEER OR KBK ARCHITECTS

ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE.

NO.	ISSUED FOR	DATE
1	PRE-CONSULTATION	JAN 09, 2023
2	ZPR SUBMISSION	JAN 25, 2023
3	ZPR RESUBMISSION	FEB 13, 2023
4	ZPR RESUBMISSION	FEB 24, 2023
5	ZPR RESUBMISSION	JUN 09, 2023



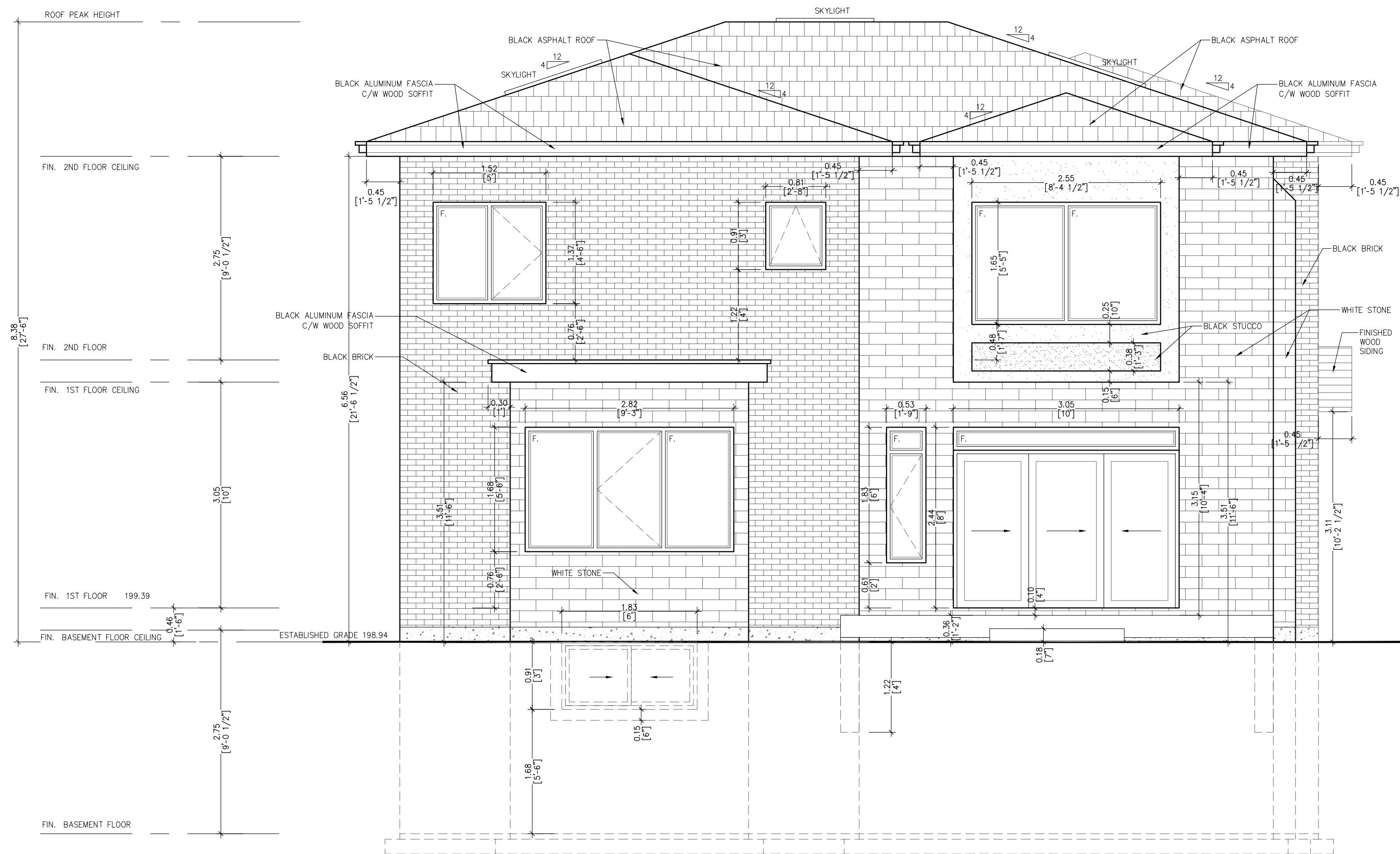
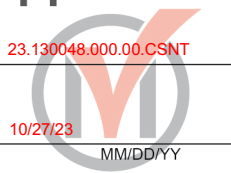
KBK ARCHITECTS INC.

T: 1 (800) 203-7010  
INFO@KBKARCHITECTS.CA  
Suite 300, 25 Sheppard Ave. West  
Toronto M2N 6S6 Ontario

PROJECT ADDRESS  
5077 14TH AVENUE  
MARKHAM - NORTH

DRAWING  
FRONT ELEVATION  
NORTH

DRAWN TIN/ASM	MNGR. JL	DRAWING NO
PLOTTED DATE JUN 09, 2023		A3.1
SCALE 1 : 50		
CHECKED KYLE KHADRA		



REAR ELEVATION  
SOUTH

DESIGNER'S STAMP

GENERAL NOTES

ALL DRAWINGS ARE THE PROPERTY OF KBK ARCHITECTS AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM KBK ARCHITECTS INC.

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE ENGINEER OR KBK ARCHITECTS

ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE.

NO.	ISSUED FOR	DATE
1	PRE-CONSULTATION	JAN 09, 2023
2	ZPR SUBMISSION	JAN 25, 2023
3	ZPR RESUBMISSION	FEB 13, 2023
4	ZPR RESUBMISSION	FEB 24, 2023
5	ZPR RESUBMISSION	JUN 09, 2023



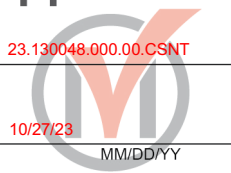
KBK ARCHITECTS INC.

T: 1 (800)-203-7010  
INFO@KBKARCHITECTS.CA  
Suite 300, 25 Sheppard Ave. West  
Toronto M2N 6S6 Ontario

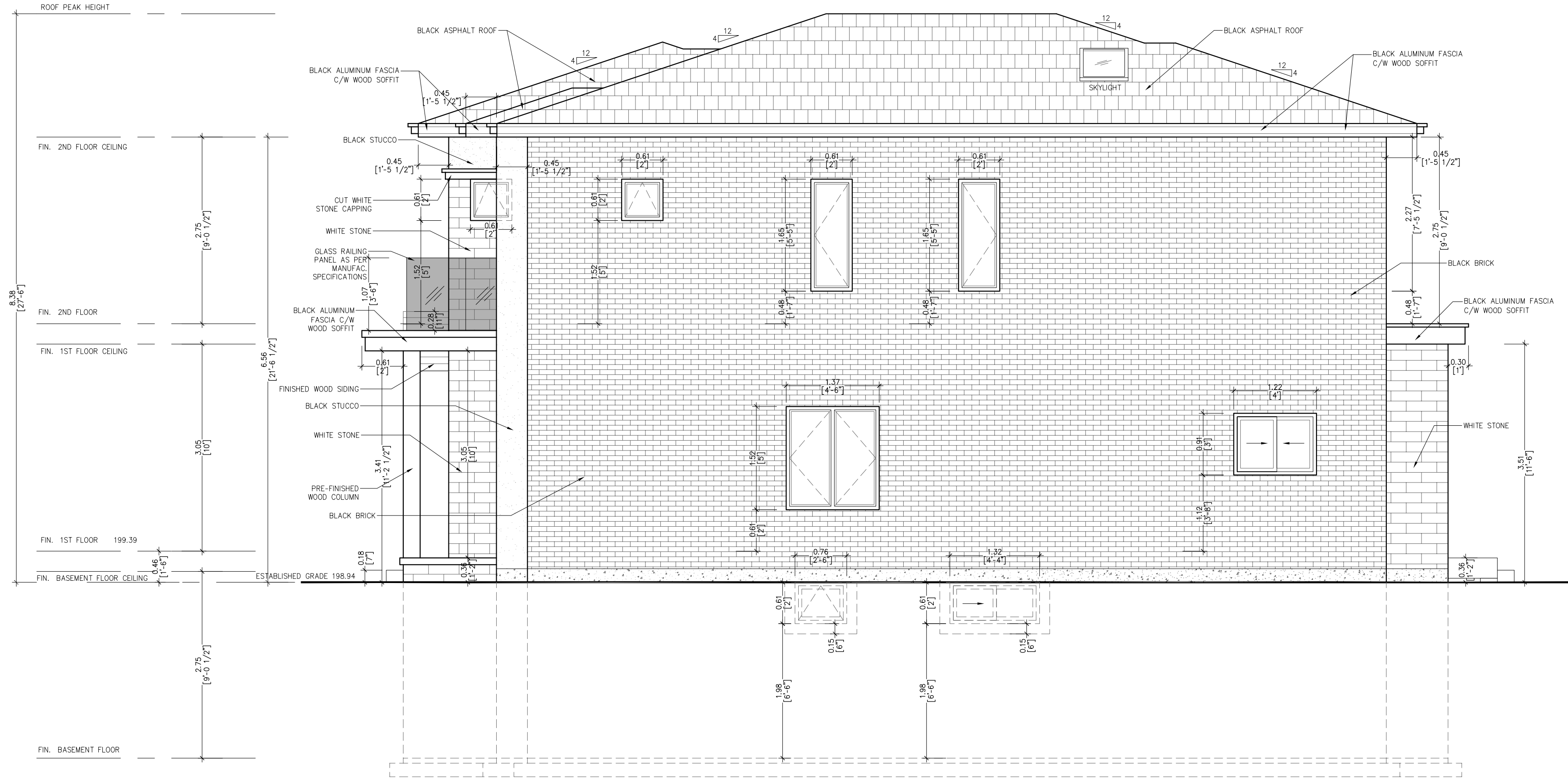
PROJECT ADDRESS  
5077 14TH AVENUE,  
MARKHAM - NORTH

DRAWING  
REAR ELEVATION  
SOUTH

DRAWN	MNGR.	DRAWING NO
TIN/ASM	JL	
PLOTTED DATE JUN 09, 2023		A3.2
SCALE 1/8"=1'-0"		
CHECKED KYLE KHADRA		



WALL AREA = 82.97 SQ.M  
 UNPROTECTED OPENING AREA = 5.58 SQ.M  
 RATIO = 6.725% (MAX. 7%)  
 LIMITING DISTANCE = 1.65m



WEST SIDE ELEVATION

DESIGNER'S STAMP

GENERAL NOTES

ALL DRAWINGS ARE THE PROPERTY OF KBK ARCHITECTS AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM KBK ARCHITECTS INC.

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE ENGINEER OR KBK ARCHITECTS

ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE.

NO.	ISSUED FOR	DATE
1	PRE-CONSULTATION	JAN 09, 2023
2	ZPR SUBMISSION	JAN 25, 2023
3	ZPR RESUBMISSION	FEB 13, 2023
4	ZPR RESUBMISSION	FEB 24, 2023
5	ZPR RESUBMISSION	JUN 09, 2023

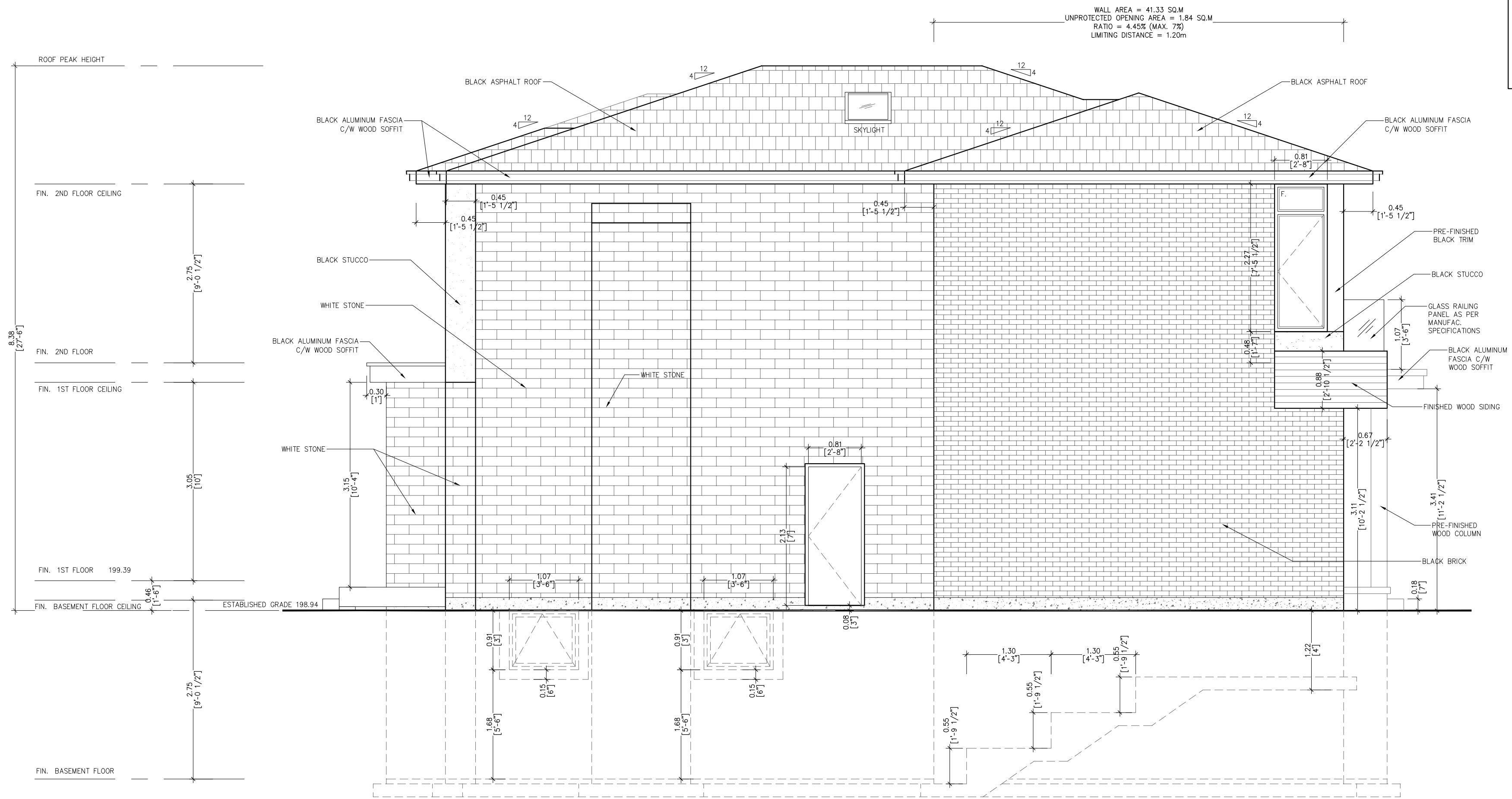
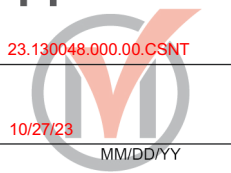


**KBK ARCHITECTS INC.**  
 T: 1 (800) 203-7010  
 INFO@KBKARCHITECTS.CA  
 Suite 300, 25 Sheppard Ave. West  
 Toronto M2N 6S6 Ontario

PROJECT ADDRESS  
 5077 14TH AVENUE,  
 MARKHAM - NORTH

DRAWING  
 WEST SIDE ELEVATION

DRAWN	MNGR.	DRAWING NO
TIN/ASM	JL	A3.3
PLOTTED DATE		
JUN 09, 2023		
SCALE		
1 : 50		
CHECKED		
KYLE KHADRA		



DESIGNER'S STAMP

GENERAL NOTES

ALL DRAWINGS ARE THE PROPERTY OF KBK ARCHITECTS AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM KBK ARCHITECTS INC.

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE ENGINEER OR KBK ARCHITECTS

ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE.

NO.	ISSUED FOR	DATE
1	PRE-CONSULTATION	JAN 09, 2023
2	ZPR SUBMISSION	JAN 25, 2023
3	ZPR RESUBMISSION	FEB 13, 2023
4	ZPR RESUBMISSION	FEB 24, 2023
5	ZPR RESUBMISSION	JUN 09, 2023



**KBK ARCHITECTS INC.**  
T: 1 (800) 203-7010  
INFO@KBKARCHITECTS.CA  
Suite 300, 25 Sheppard Ave. West  
Toronto M2N 6S6 Ontario

PROJECT ADDRESS  
5077 14TH AVENUE  
MARKHAM - NORTH

DRAWING  
EAST SIDE ELEVATION

DRAWN	MNGR.	DRAWING NO.
TIN/ASM	JL	A3.4
PLOTTED DATE JUN 09, 2023		
SCALE 18"x24" 1 : 50		
CHECKED KYLE KHADRA		

EAST SIDE ELEVATION





5077 14th AVENUE  
MARKHAM, ON

**KBK ARCHITECTS INC.**  
T: 1(800)-203-7010  
INFO@KBKARCHITECTS.CA  
SUITE #300, 25 SHEPPARD AVE. W, TORONTO

# DETACHED SINGLE FAMILY SOUTH LOTS

**Appendix E**

File: 23.130048.000.00.CSNT

Date: 10/27/23

**SCOPE**

1. CONSENT APPLICATION TO SEVER 5077 14TH AVENUE INTO 4 LOTS
2. 2 DETACHED DWELLINGS FRONTING ON 14TH AVENUE
3. 2 DETACHED DWELLING FRONTING ON DEIB CRESCENT

**GENERAL NOTES**

1. CONTRACTOR MUST VISIT SITE TO FAMILIARIZE WITH EXISTING CONDITIONS BEFORE QUOTING FOR THE JOB.
2. VERIFY ALL EXISTING MEMBER SIZES, ELEVATIONS, AND DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORKS.
3. REPORT ANY DISCREPANCIES TO ENGINEER IMMEDIATELY FOR ADVISE.
4. CONTRACTOR TO SUBMIT DETAIL SHOP DRAWINGS PRIOR TO FABRICATION.
5. REFER TO NOTES AND SCHEDULES FOR SPECIFICATIONS & GENERAL NOTES.
6. DIMENSIONS MARKED ON STRUCTURAL DRAWINGS ARE FOR DESIGN ONLY. CONTRACTOR IS REQUIRED TO FOLLOW MEASURE ALL DIMENSIONS, LEVELS & CONDITIONS ON SITE.

DISCREPANCY BETWEEN STRUCTURAL & ON SITE CONDITIONS MUST BE BROUGHT TO THE ATTENTION OF ENGINEER & OWNER PRIOR TO COMMENCING ANY CONSTRUCTION AND FABRICATION.

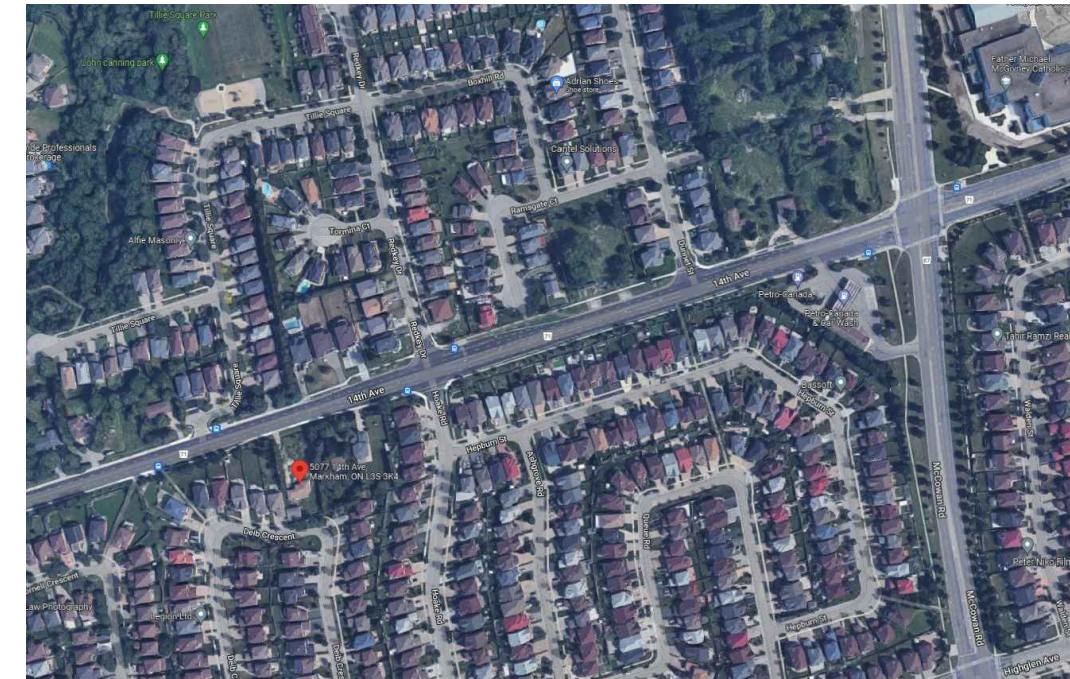
7. THESE NOTES AND ALL NOTES ARE PART OF THE WHOLE APPLICATION.

CONTRACTOR(S) MUST GO THOUGH NOTES AND TREAT ALL DRAWINGS AS PART OF ONE APPLICATION.

8. PRIOR TO THE REMOVAL OF ANY INTERIOR WALLS, VERIFY THE CONSTRUCTION AND SUPPORT REQUIREMENTS OF THE CEILING JOISTS OR BOTTOM CHORDS OF ROOF TRUSSES (ABOVE). IF CEILING JOISTS BEAR ON INTERIOR WALLS, METHOD AND DESIGN OF SUPPORT FOR THE CEILING AREA TO BE PROVIDED TO INSPECTOR ON SITE FOR APPROVAL.

9. CONTRACTORS AND OWNERS REQUIRING ADDITIONAL INFORMATION OR CLARIFICATIONS ON THE DRAWINGS DURING CONSTRUCTION MUST CONTACT KBK ARCHITECTS INC BY EMAIL TO [INFO@KBKARCHITECTS.CA]

CONTRACTOR(S) AND CLIENT(S) ARE REQUESTED TO SEND A REQUEST FOR INFORMATION IN SUCH CASES, AND UNDERSTAND THAT THE REPLY TYPICALLY TAKES 48 HOURS. CLIENT(S) AND CONTRACTOR(S) ARE ASKED NOT TO MAKE PHONE CALLS WITH SUCH INQUIRES TO AVOID MISCOMMUNICATION, AND TO HAVE ALL COMMUNICATIONS AS RFI'S IN WRITING



KEY PLAN



DESIGNER'S STAMP

**GENERAL NOTES**

ALL DRAWINGS ARE THE PROPERTY OF KBK ARCHITECTS AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM KBK ARCHITECTS INC.

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE ENGINEER OR KBK ARCHITECTS

ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE.

NO.	ISSUED FOR	DATE
1	PRE-CONSTN RESUB	JAN 09, 2023
2	ZPR SUBM	JAN 25, 2023
3	ZPR RESUBM	FEB 13, 2023
4	ZPR RESUBM	FEB 24, 2023
5	ZPR RESUBM	JUN 09, 2023



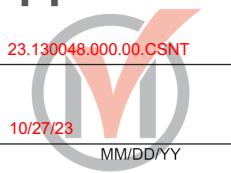
**KBK ARCHITECTS INC.**  
T: 1 (800)-203-7010  
INFO@KBKARCHITECTS.CA  
Suite 300, 25 Sheppard Ave. West  
Toronto M2N 6S6 Ontario

PROJECT ADDRESS  
5077 14TH AVENUE,  
MARKHAM - SOUTH

DRAWING  
COVER PAGE

DRAWN	MNGR.	DRAWING NO
TIN/ASM	JL	A1.0
PLOTTED DATE JUN 09, 2023		
SCALE @18"x24" 1 : 150		
CHECKED KYLE KHADRA		





Establish Grade South	
A1	199.26
A2	198.53
B1	199.65
B2	198.53
Total	795.97
Average	198.99

Lot Coverage Part 6		Lot Coverage Part 7	
Lot Area	sqm	Lot Area	sqm
Dwelling Footprint	186.75	Dwelling Footprint	186.75
Covered Porch	4.33	Covered Porch	4.33
Total	191.08	Total	191.08
Percentage	36.00%	Percentage	38.96%

	Proposed South Lot Part 6		Proposed South Lot Part 7	
	sqm	sqft	sqm	sqft
Lot Area	530.84	5,713.91	490.40	5,278.62
First Floor Area	153.85	1,656.03	153.85	1,656.03
Second Floor Area	182.54	1,964.84	182.54	1,964.84
Basement	152.53	1,641.82	152.53	1,641.82
GFA	336.39	3,620.87	336.39	3,620.87
FSI	63.37%	sqm	68.60%	sqm
Coverage	36.00%	191.08	38.96%	191.08

Zoning Information South Lots		Zone: R1 (BY-LAW 1229 as amended)		
		Part 6	Part 7	
Lot Area		530.84	490.40	
		Allowed	Provided	Provided
Max Height	9.8m	9.07m	9.07m	
Max. Height (Flat roof)	8.0m	N/A	N/A	
Max Coverage (Net)	35%	36.00%	38.96%	
Max. FSI (Net Lot area) x 45%	45%	63.37%	68.60%	
Building Depth	16.8m	18.35m	18.35m	
Setbacks				
Front Yard	7.62m	5.29m	5.65m	
Encroachment by the stair in front	0.45m	0.77m	0.77m	
Rear Yard	7.62m	9.65m	9.29m	
Interior Side Yard 1 Storey Portion	1.21m	1.65/2.56m	1.45/1.67m	
Interior Side Yard 2 Storey Portion	1.82m	1.65/2.56m	1.45/1.67m	

	Landscaped Area South lot Part 6		Landscaped Area South lot Part 7	
	Area (sq.m)	Percentage	Area (sq.m)	Percentage
Front Yard Area	110.83	100%	107.10	100%
Driveway	39.68	35.80%	41.76	38.99%
Landscaped Area	71.15	64.20%	65.34	61.01%
Steps & Walkway	9.43	13.25%	9.43	14.43%
Soft Landscape	61.72	86.75%	55.91	85.57%
Total yard		55.69%		52.20%



GENERAL NOTES  
 ALL DRAWINGS ARE THE PROPERTY OF KBK ARCHITECTS AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM KBK ARCHITECTS INC.  
 CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE ENGINEER OR KBK ARCHITECTS  
 ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE.

NO.	ISSUED FOR	DATE
1	PRE-CONSTN	RESUB JAN 09, 2023
2	ZPR SUBM	JAN 25, 2023
3	ZPR RESUBM	FEB 13, 2023
4	ZPR RESUBM	FEB 24, 2023
5	ZPR RESUBM	JUN 09, 2023



KBK ARCHITECTS INC.  
 T: 1 (800)-203-7010  
 INFO@KBKARCHITECTS.CA  
 Suite 300, 25 Sheppard Ave. West  
 Toronto M2N 6S6 Ontario

PROJECT ADDRESS  
 5077 14TH AVENUE,  
 MARKHAM - SOUTH

DRAWING  
 SITE PLAN

DRAWN TIN/ASM MNGR. JL  
 DRAWING NO.

PLOTTED DATE  
 JUN 09, 2023

SCALE @18"x24"  
 1 : 150  
 CHECKED KYLE KHADRA

A1.1





VIEW OF TREES

Appendix E

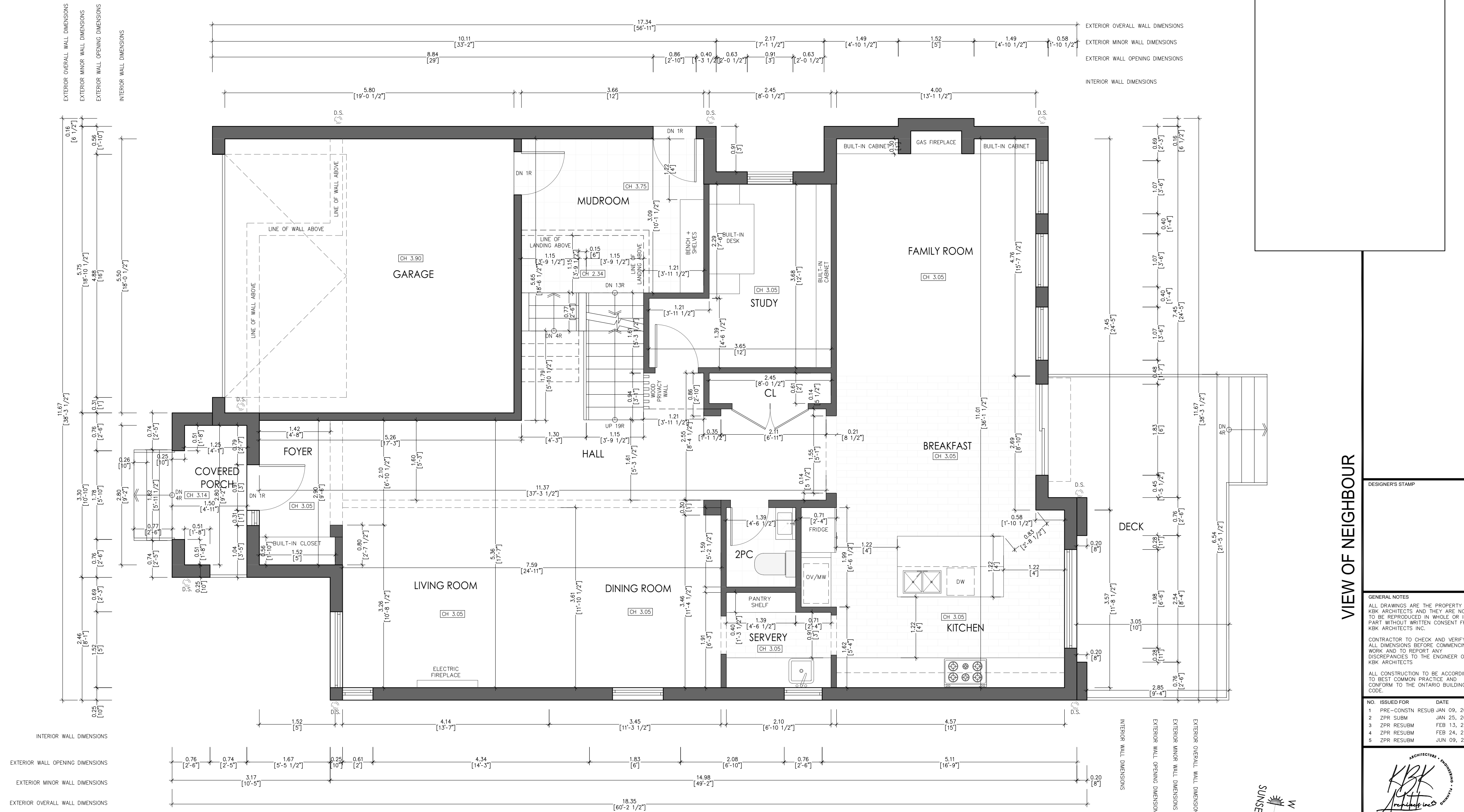
File: 23.130048.000.00.CSNT

Date: 10/27/23

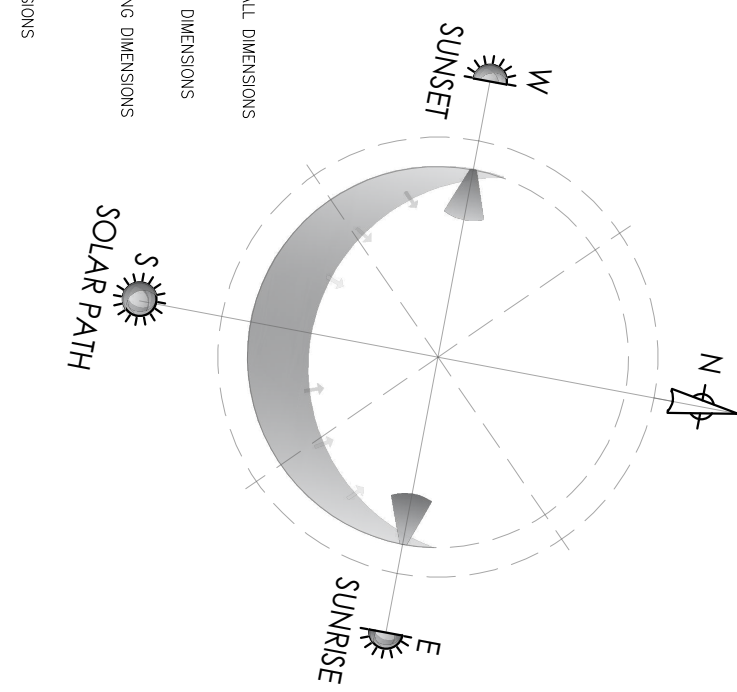


VIEW OF DEIB CRESCENT

VIEW OF NEIGHBOUR



**FIRST FLOOR PLAN**  
 153.85 SQ.M (1656.02 SQ.FT)  
 TOTAL: 336.49 SQ.M (3621.94 SQ.FT)



DESIGNER'S STAMP

GENERAL NOTES  
 ALL DRAWINGS ARE THE PROPERTY OF KBK ARCHITECTS AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM KBK ARCHITECTS INC.

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE ENGINEER OR KBK ARCHITECTS

ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE.

NO.	ISSUED FOR	DATE
1	PRE-CONSTN RESUB	JAN 09, 2023
2	ZPR SUBM	JAN 25, 2023
3	ZPR RESUBM	FEB 13, 2023
4	ZPR RESUBM	FEB 24, 2023
5	ZPR RESUBM	JUN 09, 2023



PROJECT ADDRESS  
 5077 14TH AVENUE,  
 MARKHAM - SOUTH

DRAWING  
**FIRST FLOOR PLAN**

DRAWN	INGR.	DRAWING NO
TIN/ASM	JL	<b>A2.2</b>
PLOTTED DATE JUN 09, 2023		
SCALE 1 : 50		
CHECKED KYLE KHADRA		



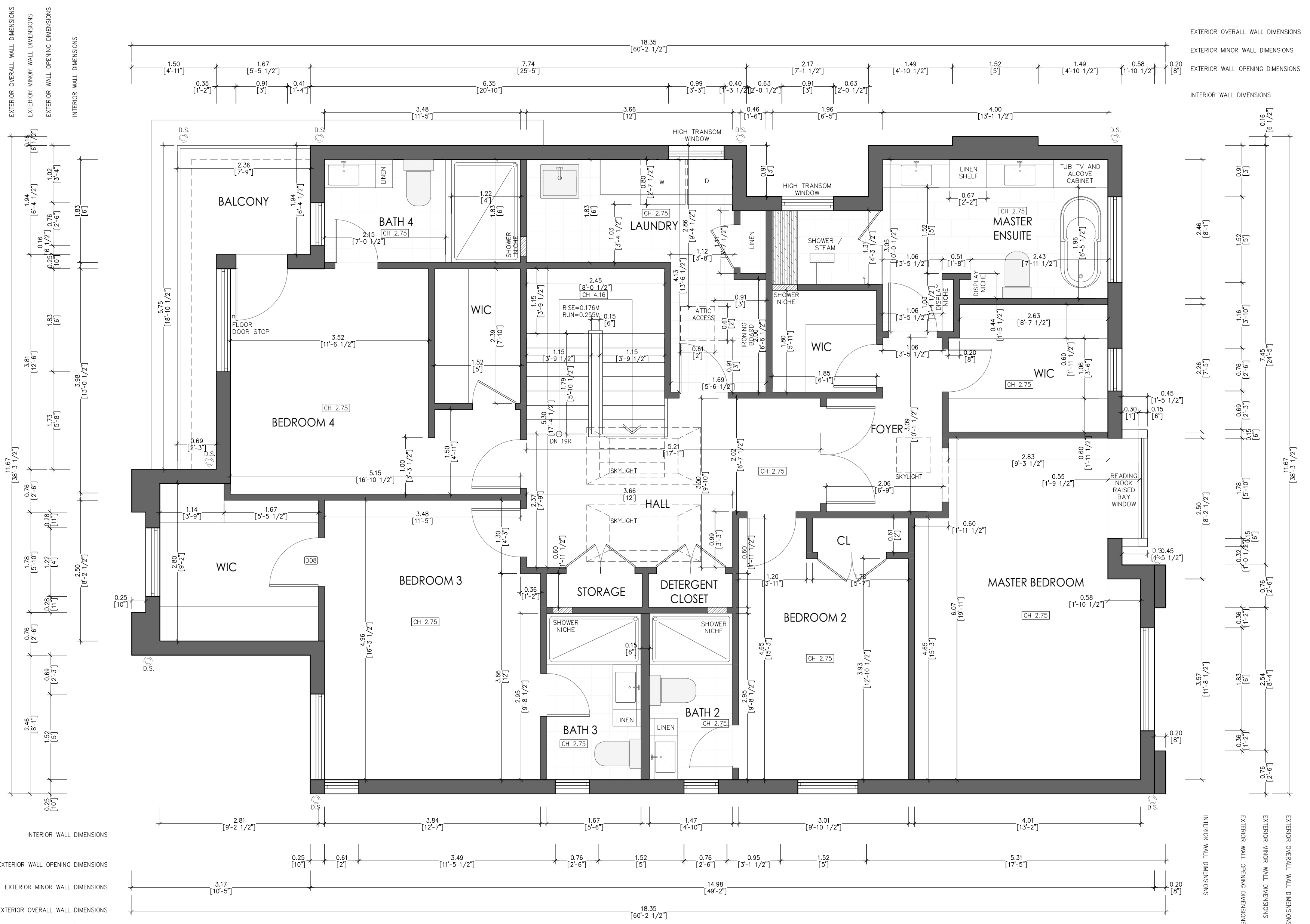
VIEW OF TREES

Appendix E

File: 23.130048.00.00.CSNT

Date: 10/27/23

MMDDYY



EXTERIOR OVERALL WALL DIMENSIONS  
EXTERIOR MINOR WALL DIMENSIONS  
EXTERIOR WALL OPENING DIMENSIONS  
INTERIOR WALL DIMENSIONS

INTERIOR WALL DIMENSIONS  
EXTERIOR WALL OPENING DIMENSIONS  
EXTERIOR MINOR WALL DIMENSIONS  
EXTERIOR OVERALL WALL DIMENSIONS

EXTERIOR OVERALL WALL DIMENSIONS  
EXTERIOR MINOR WALL DIMENSIONS  
EXTERIOR WALL OPENING DIMENSIONS  
INTERIOR WALL DIMENSIONS

INTERIOR WALL DIMENSIONS  
EXTERIOR WALL OPENING DIMENSIONS  
EXTERIOR MINOR WALL DIMENSIONS  
EXTERIOR OVERALL WALL DIMENSIONS

VIEW OF DEIB CRESCENT

VIEW OF NEIGHBOUR



**SECOND FLOOR PLAN**  
182.64 SQ.M (1965.92 SQ.FT)

VIEW OF TREES

DESIGNERS STAMP

GENERAL NOTES

ALL DRAWINGS ARE THE PROPERTY OF KBK ARCHITECTS AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM KBK ARCHITECTS INC.

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE ENGINEER OR KBK ARCHITECTS

ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE.

NO.	ISSUED FOR	DATE
1	PRE-CONSTN RESUB	JAN 09, 2023
2	ZPR SUBM	JAN 25, 2023
3	ZPR RESUBM	FEB 13, 2023
4	ZPR RESUBM	FEB 24, 2023
5	ZPR RESUBM	JUN 09, 2023



**KBK ARCHITECTS INC.**  
T: 1 (800)-203-7010  
INFO@KBKARCHITECTS.CA  
Suite 300, 25 Sheppard Ave. West  
Toronto M2N 6S6 Ontario

PROJECT ADDRESS  
5077 14TH AVENUE,  
MARKHAM - SOUTH

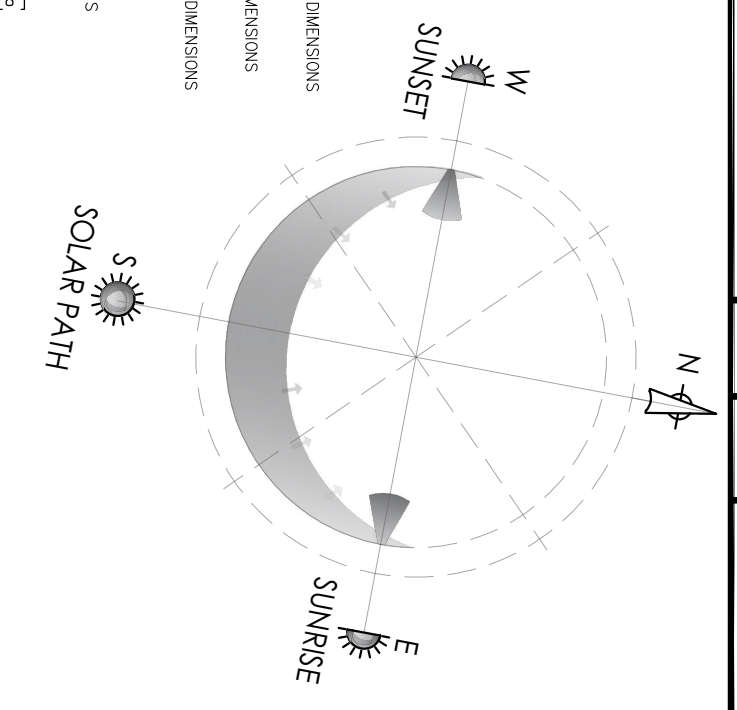
DRAWING  
SECOND FLOOR PLAN

DRAWN MNGR. DRAWING NO.  
TIN/ASM JL

PLOTTED DATE  
JUN 09, 2023

SCALE 1:50 A2.3

CHECKED  
KYLE KHADRA

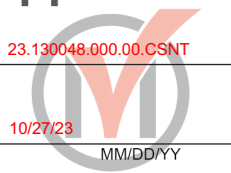


VIEW OF TREES

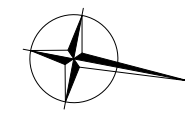
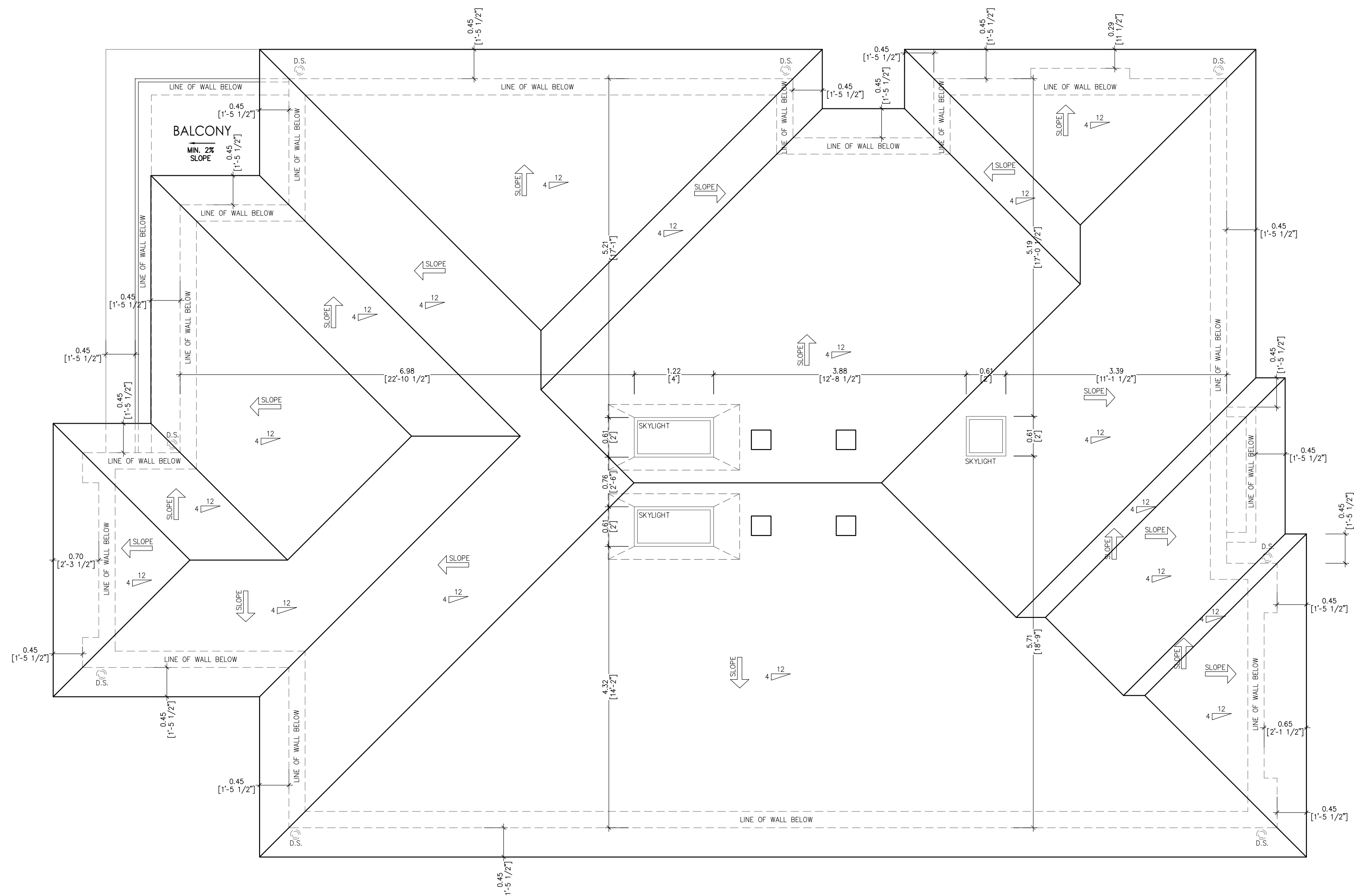
Appendix E

File: 23.130048.00.00.CSNT

Date: 10/27/23



VIEW OF DEIB CRESCENT



ROOF PLAN

VIEW OF NEIGHBOUR

VIEW OF TREES

DESIGNER'S STAMP

GENERAL NOTES

ALL DRAWINGS ARE THE PROPERTY OF KBK ARCHITECTS AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM KBK ARCHITECTS INC.

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE ENGINEER OR KBK ARCHITECTS

ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE.

NO.	ISSUED FOR	DATE
1	PRE-CONSTN	RESUB JAN 09, 2023
2	ZPR SUBM	JAN 25, 2023
3	ZPR RESUBM	FEB 13, 2023
4	ZPR RESUBM	FEB 24, 2023
5	ZPR RESUBM	JUN 09, 2023

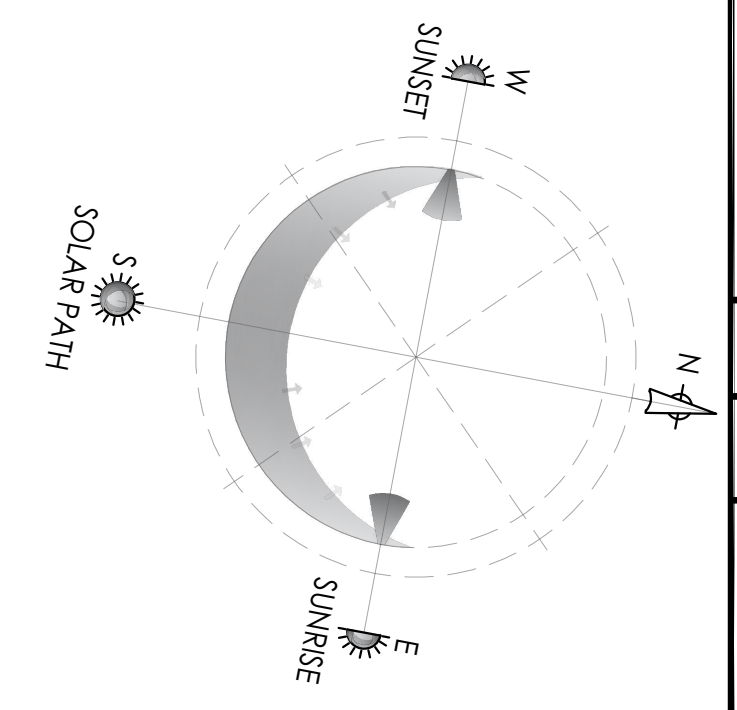


**KBK ARCHITECTS INC.**  
 T: 1 (800)-203-7010  
 INFO@KBKARCHITECTS.CA  
 Suite 300, 25 Sheppard Ave. West  
 Toronto M2N 6S6 Ontario

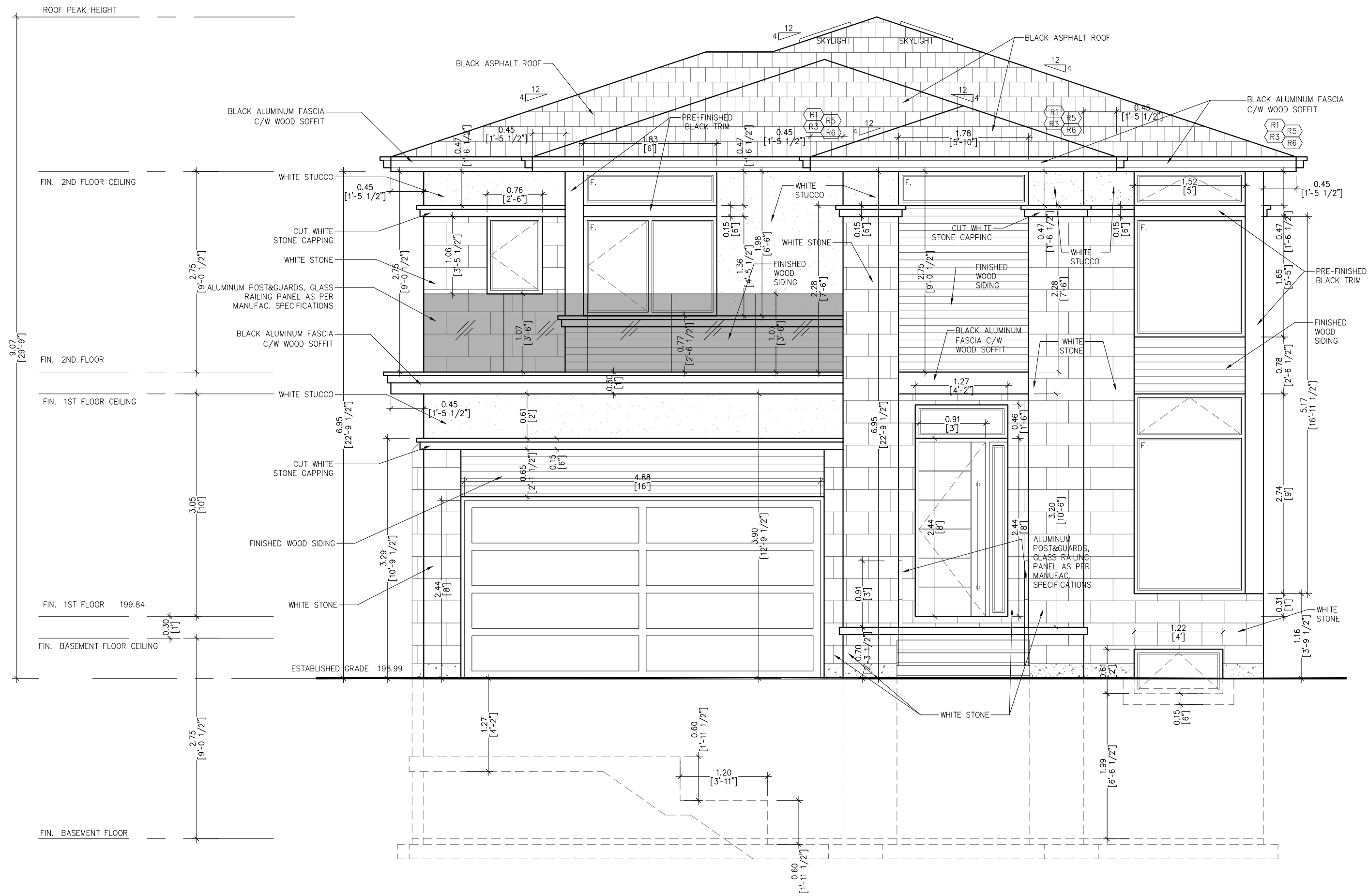
PROJECT ADDRESS  
 5077 14TH AVENUE,  
 MARKHAM - SOUTH

DRAWING  
 ROOF PLAN

DRAWN	MNGR.	DRAWING NO
TIN/ASM	JL	A2.4
PLOTTED DATE JUN 09, 2023		
SCALE 1/8"=1'-0"		
CHECKED KYLE KHADRA		



TOTAL WALL AREA = 421.23 SQM  
 TOTAL WINDOW = 53.28 SQM  
 12.65%



FRONT ELEVATION  
 SOUTH

DESIGNER'S STAMP

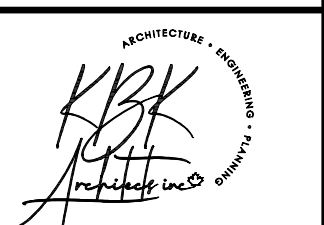
GENERAL NOTES

ALL DRAWINGS ARE THE PROPERTY OF KBK ARCHITECTS AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM KBK ARCHITECTS INC.

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE ENGINEER OR KBK ARCHITECTS

ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE.

NO.	ISSUED FOR	DATE
1	PRE-CONSTN RESUB	JAN 09, 2023
2	ZPR SUBM	JAN 25, 2023
3	ZPR RESUBM	FEB 13, 2023
4	ZPR RESUBM	FEB 24, 2023
5	ZPR RESUBM	JUN 09, 2023



KBK ARCHITECTS INC.

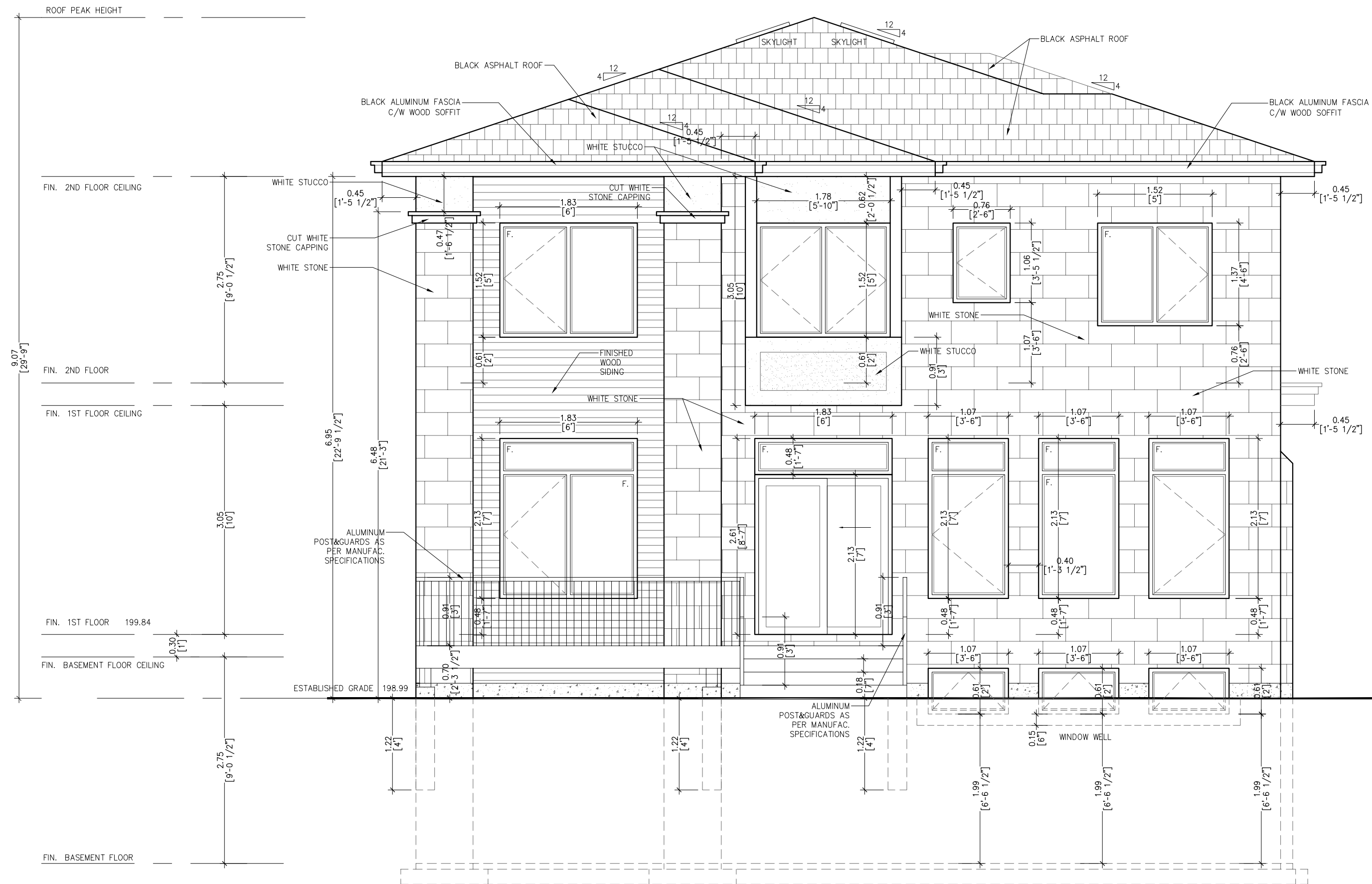
T: 1 (800) 203-7010  
 INFO@KBKARCHITECTS.CA  
 Suite 300, 25 Sheppard Ave. West  
 Toronto M2N 6S6 Ontario

PROJECT ADDRESS  
 5077 14TH AVENUE,  
 MARKHAM - SOUTH

DRAWING  
 FRONT ELEVATION

DRAWN	MNGR.	DRAWING NO
TIN/ASM	JL	
PLOTTED DATE JUN 09, 2023		
SCALE 1/8"=1'-0"		
1 : 50		
CHECKED KYLE KHADRA		

A3.1



REAR ELEVATION  
NORTH

DESIGNERS STAMP

GENERAL NOTES

ALL DRAWINGS ARE THE PROPERTY OF KBK ARCHITECTS AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM KBK ARCHITECTS INC.

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE ENGINEER OR KBK ARCHITECTS

ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE.

NO.	ISSUED FOR	DATE
1	PRE-CONSTN RESUB	JAN 09, 2023
2	ZPR SUBM	JAN 25, 2023
3	ZPR RESUBM	FEB 13, 2023
4	ZPR RESUBM	FEB 24, 2023
5	ZPR RESUBM	JUN 09, 2023



KBK ARCHITECTS INC.

T: 1 (800)-203-7010  
INFO@KBKARCHITECTS.CA  
Suite 300, 25 Sheppard Ave. West  
Toronto M2N 6S6 Ontario

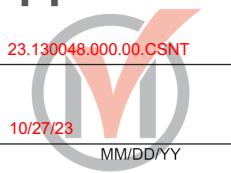
PROJECT ADDRESS  
5077 14TH AVENUE,  
MARKHAM - SOUTH

DRAWING  
REAR ELEVATION

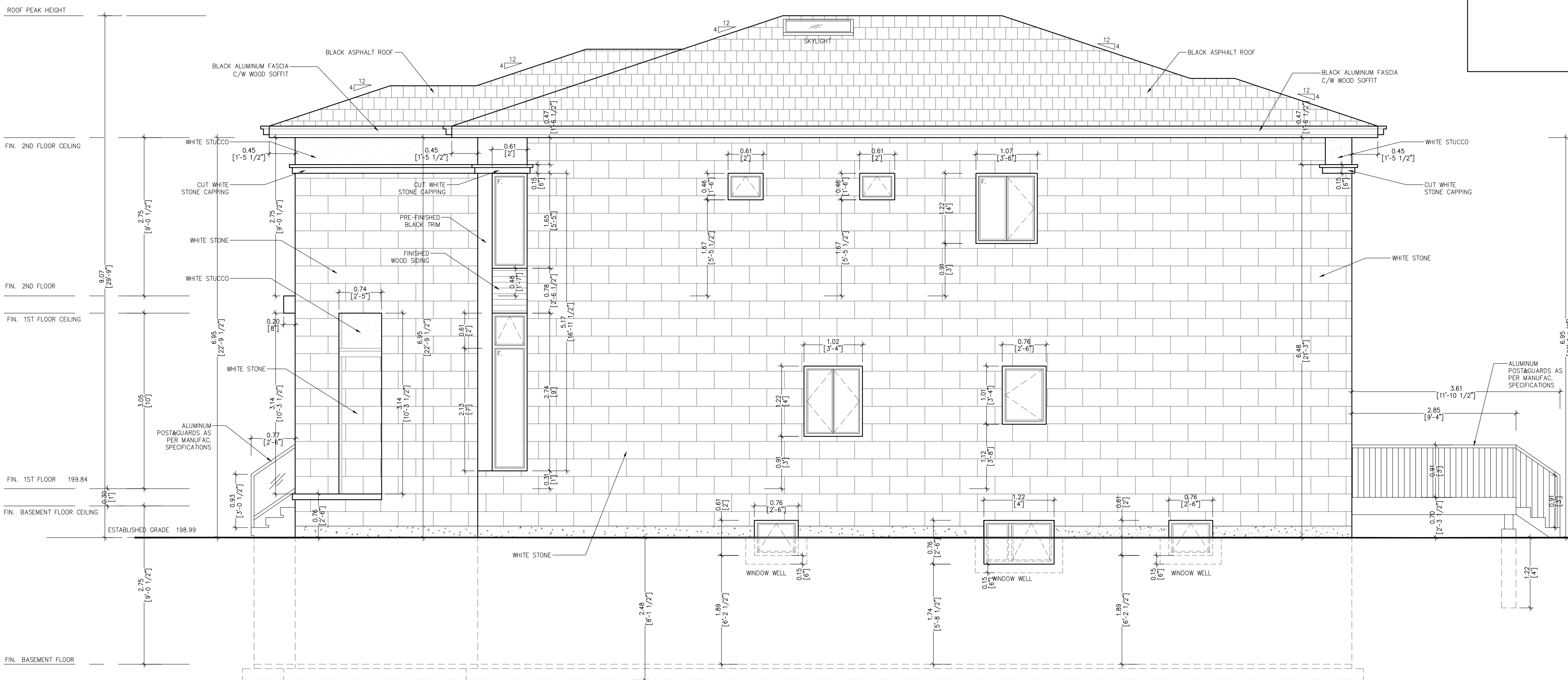
DRAWN	MNGR.	DRAWING NO.
TIN/ASM	JL	
PLOTTED DATE JUN 09, 2023		
SCALE @18"x24" 1 : 50		
CHECKED KYLE KHADRA		

A3.2





WALL AREA = 105.52 SQ.M  
UNPROTECTED OPENING AREA = 2.37 SQ.M  
RATIO = 6.98% (MAX. 7%)  
LIMITING DISTANCE = 1.57m



**EAST SIDE ELEVATION**

DESIGNERS STAMP

GENERAL NOTES

ALL DRAWINGS ARE THE PROPERTY OF KBK ARCHITECTS AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM KBK ARCHITECTS INC.

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE ENGINEER OR KBK ARCHITECTS

ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE.

NO.	ISSUED FOR	DATE
1	PRE-CONSTN	RESUB JAN 09, 2023
2	ZPR SUBM	JAN 25, 2023
3	ZPR RESUBM	FEB 13, 2023
4	ZPR RESUBM	FEB 24, 2023
5	ZPR RESUBM	JUN 09, 2023

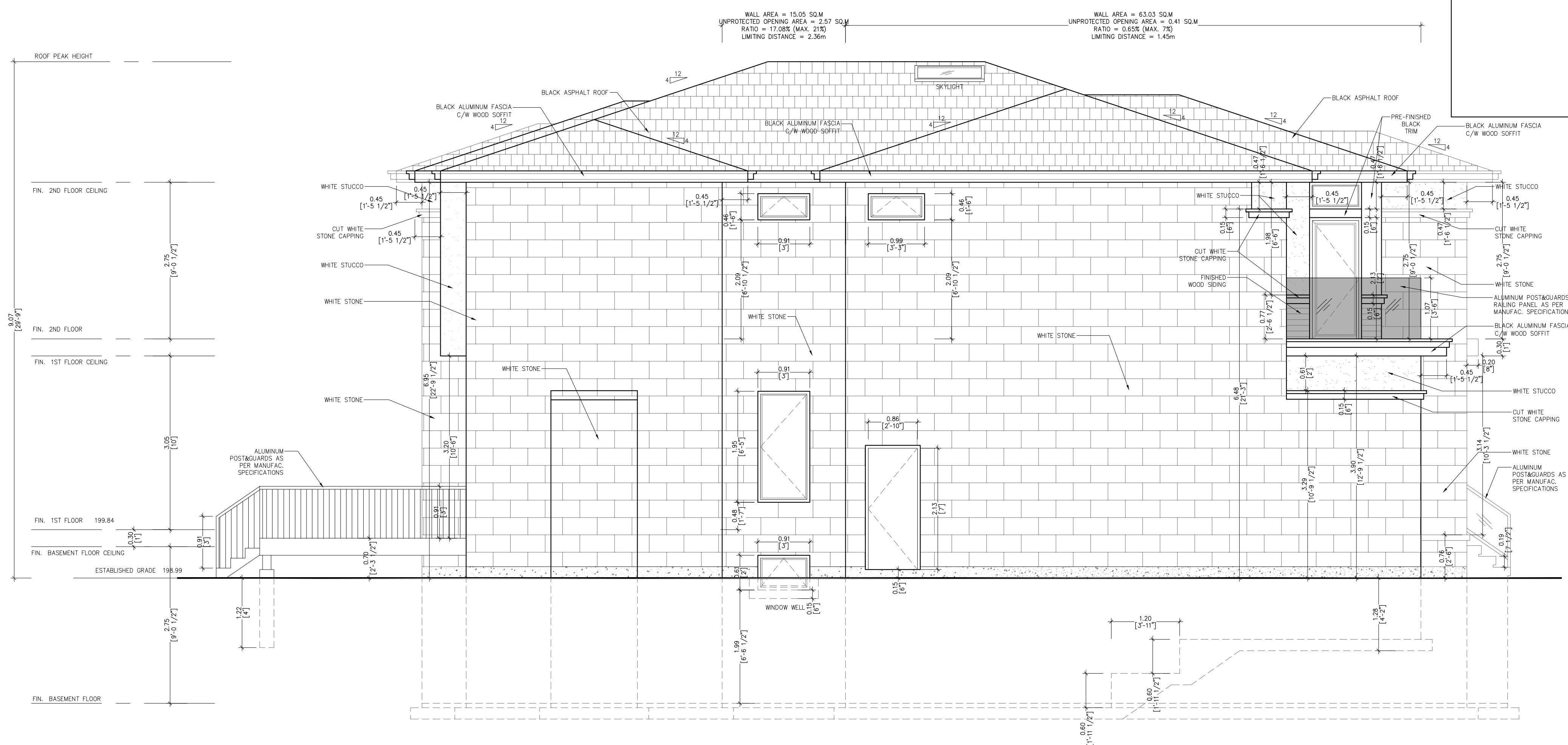
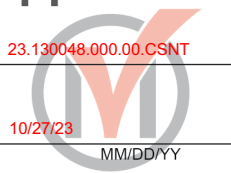


**KBK ARCHITECTS INC.**  
T: 1 (800)-203-7010  
INFO@KBKARCHITECTS.CA  
Suite 300, 25 Sheppard Ave. West  
Toronto M2N 6S6 Ontario

PROJECT ADDRESS  
5077 14TH AVENUE,  
MARKHAM - SOUTH

DRAWING  
EAST SIDE ELEVATION

DRAWN	MNGR.	DRAWING NO.
TIN/ASM	JL	A3.3
PLOTTED DATE JUN 09, 2023		SCALE 1/50
CHECKED KYLE KHADRA		



WEST SIDE ELEVATION

DESIGNER'S STAMP

GENERAL NOTES

ALL DRAWINGS ARE THE PROPERTY OF KBK ARCHITECTS AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM KBK ARCHITECTS INC.

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE ENGINEER OR KBK ARCHITECTS

ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE.

NO.	ISSUED FOR	DATE
1	PRE-CONSTN	RESUB JAN 09, 2023
2	ZPR SUBM	JAN 25, 2023
3	ZPR RESUBM	FEB 13, 2023
4	ZPR RESUBM	FEB 24, 2023
5	ZPR RESUBM	JUN 09, 2023



**KBK ARCHITECTS INC.**  
T: 1 (800) 203-7010  
INFO@KBKARCHITECTS.CA  
Suite 300, 25 Sheppard Ave. West  
Toronto M2N 6S6 Ontario

PROJECT ADDRESS  
5077 14TH AVENUE,  
MARKHAM - SOUTH

DRAWING  
WEST SIDE ELEVATION

DRAWN	MNGR.	DRAWING NO
TIN/ASM	JL	A3.4
PLOTTED DATE JUN 09, 2023		
SCALE 1/8"=1'-0"		
CHECKED KYLE KHADRA		

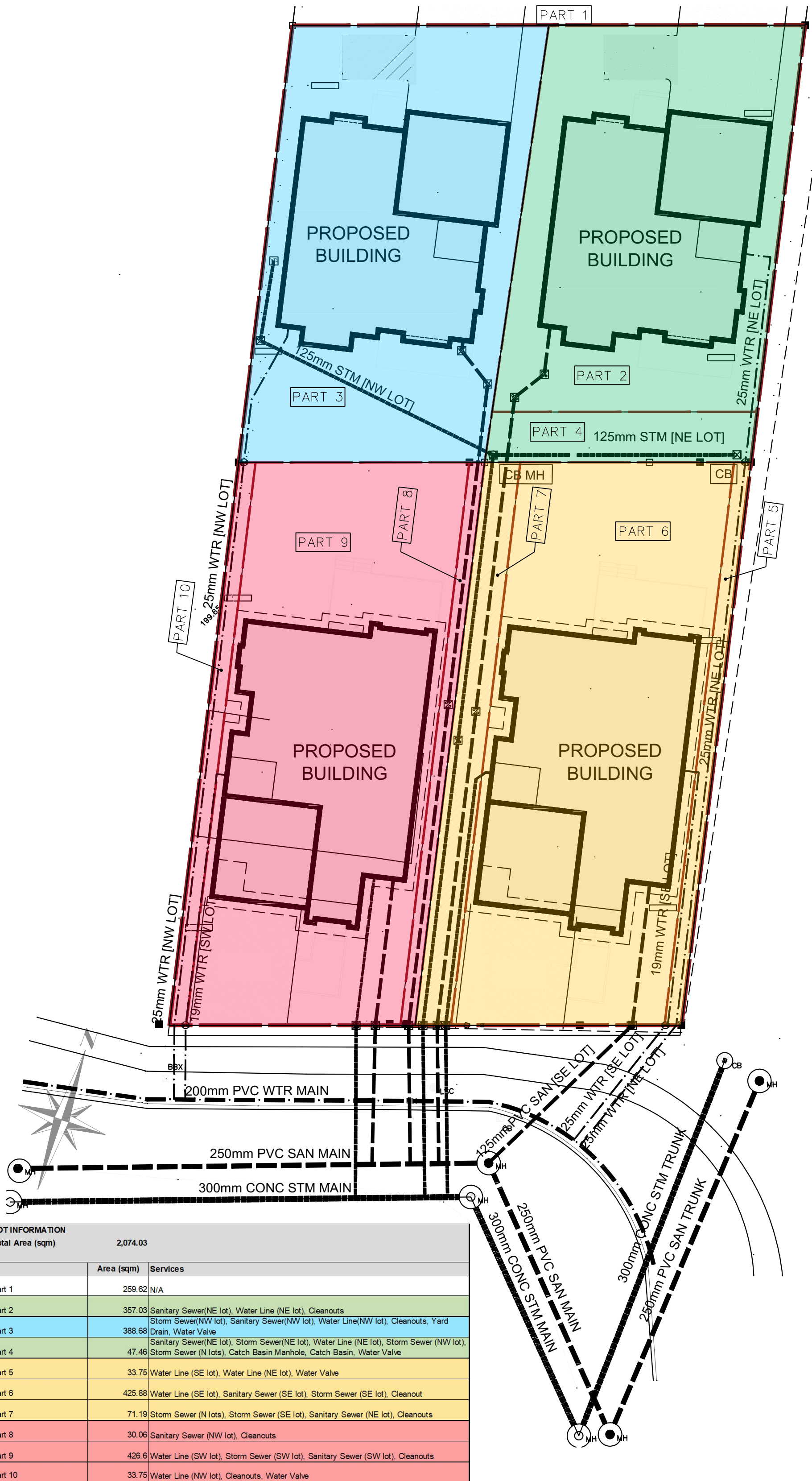


# Appendix F

File: 23.130048.000.00.CSNT

Date: 10/27/23

- NORTHWEST (NW) LOT
- NORTHEAST (NE) LOT
- NORTH (N) LOTS
- SOUTHWEST (SW) LOT
- SOUTHEAST (SE) LOT



LOT INFORMATION		
Part	Area (sqm)	Services
Total Area (sqm) 2,074.03		
Part 1	259.62	N/A
Part 2	357.03	Sanitary Sewer(NE lot), Water Line (NE lot), Cleanouts
Part 3	388.68	Storm Sewer(NW lot), Sanitary Sewer(NW lot), Water Line(NW lot), Cleanouts, Yard Drain, Water Valve
Part 4	47.46	Sanitary Sewer(NE lot), Storm Sewer(NE lot), Water Line (NE lot), Storm Sewer (NW lot), Storm Sewer (N lots), Catch Basin Manhole, Catch Basin, Water Valve
Part 5	33.75	Water Line (SE lot), Water Line (NE lot), Water Valve
Part 6	425.88	Water Line (SE lot), Sanitary Sewer (SE lot), Storm Sewer (SE lot), Cleanout
Part 7	71.19	Storm Sewer (N lots), Storm Sewer (SE lot), Sanitary Sewer (NE lot), Cleanouts
Part 8	30.08	Sanitary Sewer (NW lot), Cleanouts
Part 9	426.6	Water Line (SW lot), Storm Sewer (SW lot), Sanitary Sewer (SW lot), Cleanouts
Part 10	33.75	Water Line (NW lot), Cleanouts, Water Valve

Lot	Parts Included	Total Area (sqm)	Services Combined
Northeast (NE)	2,4	404.49	Sanitary Sewer(NE lot), Storm Sewer(N, NW, NE lots), Water Line (NE lot), Catch Basin Manhole, Catch Basin, Cleanouts, Water Valve
Northwest (NW)	3	388.68	Storm Sewer(NW lot), Sanitary Sewer(NW lot), Water Line(NW lot), Cleanouts, Yard Drain, Water Valve
Southeast (SE)	5,6,7	530.83	Water Line (SE & NE lot), Sanitary Sewer (SE & NE lot), Storm Sewer (N lots, SE lot), Cleanouts, Water Valve
Southwest (SW)	8,9,10	490.41	Water Line (SW & NW lot), Storm Sewer (SW lot), Sanitary Sewer (SW & SW lot), Cleanouts, Water Valve

DESIGNER'S STAMP

GENERAL NOTES

ALL DRAWINGS ARE THE PROPERTY OF KBK ARCHITECTS AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM KBK ARCHITECTS INC.

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE ENGINEER OR KBK ARCHITECTS

ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE.

NO.	ISSUED FOR	DATE
1	PRE-CONSULTATION	JAN 09, 2023
2	ZPR SUBMISSION	JAN 25, 2023
3	ZPR RESUBMISSION	FEB 13, 2023
4	ZPR RESUBMISSION	FEB 24, 2023
5	ZPR RESUBMISSION	JUN 09, 2023



**KBK ARCHITECTS INC.**  
 T: 1 (800)-203-7010  
 INFO@KBKARCHITECTS.CA  
 Suite 300, 25 Sheppard Ave. West  
 Toronto M2N 6S6 Ontario

PROJECT ADDRESS  
 5077 14TH AVENUE,  
 MARKHAM - NORTH

DRAWING  
 SITE SERVICING  
 COLOR-CODED DIAGRAM

DRAWN TIN/ASM MNGR. J.L. DRAWING NO.  
 AUG 29, 2023  
 PLOTTED DATE  
 SCALE @18"x24"  
 1 : 200  
 CHECKED KYLE KHADRA  
**A6.1**

**To:** Melissa Leung, Planning & Urban Design Department

**From:** Winnie Tang, Engineering Department

**Date:** October 30, 2023

**Subject:** Application by ZHX Development Group (B/029/23, B/033/23, B/034/23, A/130/23, A/131/23, A/151/23, A/152/23)

---

**Engineering Comments:**

Engineering has no objection subject to satisfying the following conditions prior to Committee of Adjustment decision:

1. Confirm that there are no existing easements registered on title that will be impacted by the proposed severance.

**Standard Consent Conditions:**

1. Provide zone of influence calculations and cross section drawings for all servicing easements illustrating the expected pipe inverts and foundation depths to determine easement widths for both construction and maintenance access. Please provide a minimum pipe separation of 0.5m outside of pipe to outside of pipe and a minimum 1 metre separation between the pipe and foundation walls.
2. Enter into, register on title and pay the required engineering fee at the execution of, a Development Agreement with the City that shall specifically provide for matters including but not limited to:
  - i. Notice that the lands may not be connected to the City's water system, sewage system and/or drainage system (The "Municipal Services"), and that in order to connect to the Municipal Services, the Owner must submit an application to the City and pay for the connections to the Municipal Services, which shall be installed by the City.
  - ii. Submit site servicing, grading, utility, and erosion and sediment control plan, to the satisfaction of the Director of Engineering;
  - iii. Construct the required servicing, grading, and utilities for this development to the satisfaction of the Director of Engineering;
  - iv. To construct and/or implement any required excavation, removal, relocation, restoration and /or implement of any above or below ground municipal services or



- utilities that may be necessary for this development, to the satisfaction of the Director of Engineering;
- v. Prior to final approval of the Consent, the Owner shall obtain necessary permits pursuant to the Ontario Building Code and shall construct the internal sewer and water systems in order to provide separate and independent plumbing system for each of the severed and retained parcels.

**Standard Consent Advisory Comments:**

1. The Owner will be required to submit a site servicing and grading plan for review and acceptance by the City upon making an application for a building permit.
2. For the lots fronting onto 14th Avenue (Part 1, 2, 3, 4) that there is no sanitary sewer on 14th Avenue and their connection is through a private permanent easement to Deib Crescent.
3. Upon making an application for a building permit, the Owner must make satisfactory arrangements with the City's Engineering Department - Municipal Inspections for the installation of the proposed sanitary, storm and watermain service connections to service the newly created lot and disconnect any unused service connection.

## APPENDIX “H”

### CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF B/029/23 FOR 5077 14<sup>TH</sup> AVENUE (PARTS 2, 3, AND 4)

1. Address all Engineering Comments listed in Appendix “G”, to the satisfaction of the Director of Engineering or their designate;
2. Payment of all outstanding realty taxes and local improvements charges owing to date against both the subject and retained parcels, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled;
3. Submission to the Secretary-Treasurer of the required transfers to effect the severances applied for under Files B/029/23, B/033/23, and B/034/23 in duplicate, conveying the subject lands, and issuance by the Secretary Treasurer of the certificate required under subsection 53(42) of the *Planning Act*;
4. Submission to the Secretary-Treasurer of seven white prints of a deposited reference plan showing the subject land, which conforms substantially to the application as submitted in Appendix “B”;
5. Payment of the required Conveyance Fee for the creation of residential lots per City of Markham Fee By-law 211-83, as amended;
6. The Owner shall enter into a Development Agreement with the City to the satisfaction of the City Solicitor, Director of Planning and Urban Design, Director of Operations, and/or the Director of Engineering, or their designates, which Development Agreement shall be registered on title to the lands in priority to all mortgages, charges, liens and other encumbrances, and the Owner shall procure and cause to be executed and registered at its own cost and expense such discharges, postponements, and subordination agreements as may be required by the City in order to provide for the priority of registration for the Development Agreement on title to the Lands. The Development Agreement shall specifically provide for matters including but not limited to:
  - i) Payment of all applicable fees in accordance with the City’s fee by-law;
  - ii) Submission of securities respecting any works to be provided in accordance with the Development Agreement;
  - iii) Payment of cash-in-lieu of Parkland Dedication in accordance with By-law 195-90, as amended, upon execution of the development agreement;
  - iv) Submission of an Appraisal Report prepared by a member of the Appraisal Institute of Canada in accordance with the City’s terms of

- reference respecting the proposed new lot, to be reviewed and approved by the City;
- v) notice that the lands may not be connected to the City's water system, sewage system and/or drainage system (the "Municipal Services"), and that in order to connect to the Municipal Services, the Owner must submit an application to the City and pay for the connections to the Municipal Services, which shall be installed by the City;
  - vi) Submission of site servicing, grading, utility, and erosion and sediment control plans, to the satisfaction of the Director of Engineering or their designate;
  - vii) Construction of the required servicing, grading, and utilities for the subject development to the satisfaction of the Director of Engineering or their designate; and,
  - viii) To construct and/or implement any required excavation, removal, relocation, restoration and/or implementation of any above or below ground municipal services or utilities that may be necessary for this development, to the satisfaction of the Director of Engineering or their designate.
7. That the Owner obtain and complete the demolition permitting process for the existing dwelling and applicable accessory buildings on the severed and retained parcels and, that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the Chief Building Official or designate;
8. That the Owner obtain necessary permits and/or make alternative servicing easement arrangements to show how individual water and sewer services will be provided for the retained and conveyed lots to the satisfaction of the Director of Engineering, Chief Building Official, and City's Solicitor or their designates; and,
9. Fulfillment of all of the above conditions within two years of the date that notice of the decision was given under Section 53(17) or 53(24) of the *Planning Act, R.S.O. 1990, c.P.13, as amended*.

CONDITONS PREPARED BY:



---

Melissa Leung, RPP, MCIP, Senior Planner, Central District

**APPENDIX "I"**

**CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF B/033/23 FOR 52 DEIB CRESCENT (PARTS 8, 9, AND 10)**

1. Payment of all outstanding realty taxes and local improvements charges owing to date against both the subject and retained parcels, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled;
2. Submission to the Secretary-Treasurer of the required transfers to effect the severances applied for under Files B/029/23, B/033/23, and B/034/23 in duplicate, conveying the subject lands, and issuance by the Secretary Treasurer of the certificate required under subsection 53(42) of the *Planning Act*;
3. Submission to the Secretary-Treasurer of seven white prints of a deposited reference plan showing the subject land, which conforms substantially to the application as submitted in Appendix "B";
4. That the Owner obtain necessary permits and/or make alternative servicing easement arrangements to show how individual water and sewer services will be provided for the retained and conveyed lots to the satisfaction of the Director of Engineering, Chief Building Official, and City's Solicitor or their designates; and,
5. Fulfillment of all of the above conditions within two years of the date that notice of the decision was given under Section 53(17) or 53(24) of the *Planning Act, R.S.O. 1990, c.P.13, as amended*.

CONDITONS PREPARED BY:



---

Melissa Leung, RPP, MCIP, Senior Planner, Central District

**APPENDIX “J”**

**CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF B/034/23 FOR 54 DEIB CRESCENT (PARTS 5, 6, AND 7)**

1. Payment of all outstanding realty taxes and local improvements charges owing to date against both the subject and retained parcels, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled;
2. Submission to the Secretary-Treasurer of the required transfers to effect the severances applied for under Files B/029/23, B/033/23, and B/034/23 in duplicate, conveying the subject lands, and issuance by the Secretary Treasurer of the certificate required under subsection 53(42) of the *Planning Act*;
3. Submission to the Secretary-Treasurer of seven white prints of a deposited reference plan showing the subject land, which conforms substantially to the application as submitted in Appendix “B”;
4. That the Owner obtain necessary permits and/or make alternative servicing easement arrangements to show how individual water and sewer services will be provided for the retained and conveyed lots to the satisfaction of the Director of Engineering, Chief Building Official, and City’s Solicitor or their designates; and,
5. Fulfillment of all of the above conditions within two years of the date that notice of the decision was given under Section 53(17) or 53(24) of the *Planning Act, R.S.O. 1990, c.P.13, as amended*.

CONDITONS PREPARED BY:



---

Melissa Leung, RPP, MCIP, Senior Planner, Central District

**APPENDIX “K”**

**CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF A/151/23 FOR 5077 14<sup>TH</sup> AVENUE (PARTS 2 AND 4)**

1. The variances apply only to the proposed development as long as it remains;
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as ‘Appendix D’ to this Staff Report, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction;
3. Submission of a Tree Assessment and Preservation Plan, prepared by a qualified arborist in accordance with the City's Tree Assessment and Preservation Plan (TAPP) Requirements (June 2019), through the future Residential Infill Grading & Servicing (RIGS) TREE Permit process prior to issuance of building permit.
4. That tree replacements be provided and/or tree replacement fees be paid to the City where required, in accordance with the City's accepted Tree Assessment Preservation Plan (TAPP), through the Residential Infill Grading & Servicing (RIGS) TREE Permit process.
5. That prior to the commencement of construction, demolition and/or issuance of building permit, tree protection be erected and maintained around all trees on site, including City of Markham street trees, in accordance with the City's Tree Preservation By-Law 2008-96 and Conditions of a TREE Permit, to be inspected by City staff.

CONDITONS PREPARED BY:



---

Melissa Leung, RPP, MCIP, Senior Planner, Central District

**APPENDIX “L”**

**CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF A/152/23 FOR 5077 14<sup>TH</sup> AVENUE (PART 3)**

1. The variances apply only to the proposed development as long as it remains;
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as ‘Appendix D’ to this Staff Report, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction;
3. Submission of a Tree Assessment and Preservation Plan, prepared by a qualified arborist in accordance with the City's Tree Assessment and Preservation Plan (TAPP) Requirements (June 2019), through the future Residential Infill Grading & Servicing (RIGS) TREE Permit process prior to issuance of building permit.
4. That tree replacements be provided and/or tree replacement fees be paid to the City where required, in accordance with the City's accepted Tree Assessment Preservation Plan (TAPP), through the Residential Infill Grading & Servicing (RIGS) TREE Permit process.
5. That prior to the commencement of construction, demolition and/or issuance of building permit, tree protection be erected and maintained around all trees on site, including City of Markham street trees, in accordance with the City's Tree Preservation By-Law 2008-96 and Conditions of a TREE Permit, to be inspected by City staff.

CONDITONS PREPARED BY:



---

Melissa Leung, RPP, MCIP, Senior Planner, Central District

**APPENDIX “M”**

**CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF A/130/23 FOR 52 DEIB CRESCENT (PARTS 8, 9, AND 10)**

1. The variances apply only to the proposed development as long as it remains;
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as ‘Appendix E’ to this Staff Report, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction;
3. Submission of a Tree Assessment and Preservation Plan, prepared by a qualified arborist in accordance with the City's Tree Assessment and Preservation Plan (TAPP) Requirements (June 2019), through the future Residential Infill Grading & Servicing (RIGS) TREE Permit process prior to issuance of building permit.
4. That tree replacements be provided and/or tree replacement fees be paid to the City where required, in accordance with the City's accepted Tree Assessment Preservation Plan (TAPP), through the Residential Infill Grading & Servicing (RIGS) TREE Permit process.
5. That prior to the commencement of construction, demolition and/or issuance of building permit, tree protection be erected and maintained around all trees on site, including City of Markham street trees, in accordance with the City's Tree Preservation By-Law 2008-96 and Conditions of a TREE Permit, to be inspected by City staff.

CONDITONS PREPARED BY:



---

Melissa Leung, RPP, MCIP, Senior Planner, Central District



**APPENDIX “N”**

**CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF A/131/23 FOR 54 DEIB CRESCENT (PARTS 5, 6, AND 7)**

1. The variances apply only to the proposed development as long as it remains;
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as ‘Appendix E’ to this Staff Report, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction;
3. Submission of a Tree Assessment and Preservation Plan, prepared by a qualified arborist in accordance with the City's Tree Assessment and Preservation Plan (TAPP) Requirements (June 2019), through the future Residential Infill Grading & Servicing (RIGS) TREE Permit process prior to issuance of building permit.
4. That tree replacements be provided and/or tree replacement fees be paid to the City where required, in accordance with the City's accepted Tree Assessment Preservation Plan (TAPP), through the Residential Infill Grading & Servicing (RIGS) TREE Permit process.
5. That prior to the commencement of construction, demolition and/or issuance of building permit, tree protection be erected and maintained around all trees on site, including City of Markham street trees, in accordance with the City's Tree Preservation By-Law 2008-96 and Conditions of a TREE Permit, to be inspected by City staff.

CONDITONS PREPARED BY:



---

Melissa Leung, RPP, MCIP, Senior Planner, Central District