

Memorandum to the City of Markham Committee of Adjustment
October 23, 2024

File: A/073/24
Address: 70 Babcombe Drive, Markham (Thornhill)
Applicant: Huis Design Studios (Kurtis Van Keulen)
Hearing Date: Wednesday, October 30, 2024

The following comments are provided on behalf of the West Team:

The Applicant is requesting relief from the following requirements of By-law 2024-19, RES-ENLR, as amended, as it relates to a proposed ground floor and second storey addition to the existing one-storey residential dwelling and a proposed pool cabana accessory structure in the rear yard. The variances requested are to permit:

- a) **By-law 2024-19, Section 6.3.2.2(c)**: a maximum main building coverage of 20.8 percent (290.34 square metres) for the second storey, whereas the by-law permits a maximum main building coverage of 20 percent (278.71 square metres) of the lot area for any storey above the first;
- b) **By-law 2024-19, Section 6.3.2.2(e)**: a maximum distance of the main building from the established line for the storey above the first storey of 16.05 metres, whereas the by-law permits a maximum distance of 14.5 metres for any storey above the first from the established building line;
- c) **By-law 2024-19, Section 6.3.2.2(i)**: a minimum combined interior side yard on both sides of 6.54 metres, whereas the by-law requires a minimum combined interior side yard on both sides of 25 percent (7.62 metres) of the lot width;
- d) **By-law 2024-19, Section 6.3.2.2(j)**: a maximum outside wall height of 7.69 metres, whereas the by-law permits a maximum outside wall height of 7.0 metres; d
- e) **By-law 2024-19, Section 6.3.2, Special Standards(xiv)**: a maximum combined main building coverage of 577.06 square metres, whereas the by-law permits a maximum combined main building coverage of 500 square metres;
- f) **By-law 2024-19, Section 4.8.8 (b)(i)**: a maximum south interior side yard architectural feature/roof overhang encroachment of 1.07 metres, whereas the by-law permits a maximum encroachment into the required interior side yard of 0.45 metres;
- g) **By-law 2024-19, Section 4.8.8(b)(i)**: a maximum north interior side yard eave/roof overhang encroachment of 0.61 metres, whereas the by-law permits a maximum encroachment into the required interior side yard of 0.45 metres;

- h) **By-law 2024-19, Section 4.8.8(c)(i)**: a maximum second storey rear main wall balcony projection of 1.98 metres, whereas the by-law permits a maximum projection of any balcony from the main wall of 1.8 metres;
- i) **By-law 2024-19, Section 4.8.10.1(a)**: a minimum depth of 1.27 metres for the floor of a porch located in the front yard, whereas the by-law requires the floor of a porch located in the front yard to have a minimum depth of 1.8 metres; and
- j) **By-law 2024-19, Section 6.2.1(b)**: a roof projection of 1.52 metres above the maximum outside wall height, whereas the by-law permits a roof structure with a pitch of less than 25 degrees to project only a maximum of 1.0 metre above the maximum outside wall height;

BACKGROUND

Property Description

The 1,393.50 m² (15,000 ft²) Subject Lands are located north of Babcombe Drive, east of Laureleaf Road, and generally south of the Metrolinx Rail corridor (refer to Appendix “A”). The property is located within an established residential neighbourhood comprised of one and two-storey detached dwellings. The surrounding area is undergoing a transition with newer dwellings being developed as infill developments.

There is an existing one-storey detached dwelling on the Subject Lands, which according to assessment records, was constructed in 1965. Mature vegetation exists on the property including a mix of large and medium sized trees in the rear yard.

Proposal

The Applicant is proposing the construction of a second-storey addition to the existing one storey dwelling as well as a proposed pool cabana accessory structure. The proposed gross floor area is 477.68 m² (5,141 ft²), as shown in Appendix “B”.

Official Plan and Zoning

Official Plan 2014 (partially approved on November 24, 2017, and updated on April 9, 2018)

The Official Plan designates the Subject Lands “Residential Low Rise”, which provides for low-rise housing forms including single detached dwellings. Section 8.2.3.5 of the Official Plan outlines infill development criteria for the “Residential Low Rise” designation with respect to height, massing, and setbacks. These criteria are established to ensure that infill developments are appropriate for the site and generally consistent with the zoning requirements for adjacent properties and properties along the same street, while accommodating a diversity of building styles. In considering applications for development approval in a “Residential Low Rise” area, which includes variances, development is required to meet the general intent of the above noted development criteria. In addition,

regard shall be had for the retention of existing trees and vegetation. Planning Staff have had regard for the requirements of the infill development criteria in the preparation of the comments provided below.

Zoning By-Law 2024-19, as amended

The Subject Lands are zoned “Residential Established Neighbourhood Low Rise (RES-ENLR) zone requirements of By-law 2024-19, as amended, as it relates to a proposed second-storey addition and pool cabana accessory structure. The proposed development does not comply with By-law 2024-19 with respect to the maximum main building coverage, maximum distance of the main building from the established line for the storey above the first storey, minimum combined interior side yard, maximum outside wall height, maximum south interior side yard architectural feature/roof overhang encroachment, maximum north interior side yard eave/roof overhang encroachment, maximum second storey rear main wall balcony projection, minimum depth, and maximum roof projection.

Zoning Preliminary Review (ZPR) Undertaken

The Applicant has completed a Zoning Preliminary Review (ZPR) on June 25, 2024 to confirm the variances required for the proposed development.

COMMENTS

The *Planning Act* states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained;
- d) The general intent and purpose of the Official Plan must be maintained.

Increased Maximum Main Building Coverage for the Second Storey Variance

The Applicant is requesting relief for a maximum main building coverage of 20.8% (290.34 m²), whereas By-law 2024-19 permits a maximum main building coverage of 20% (278.71 m²) for any storey above the first. The intent of the maximum building coverage requirements include but are not limited to ensuring appropriate angular planes and to maintain the built form and character of the neighbourhood.

The proposed second-storey building coverage includes the second-storey balcony which adds approximately 23.56 m² (253.50 ft²) to the overall second-storey building coverage area. The accessible area of the second-storey balcony is limited to 1.98 m (6.50 ft) from the rear building wall. Excluding the rear second-storey balcony, the proposed second-storey building lot coverage is approximately 266.78 m² which complies with what the By-law permits.

The proposed second-storey building coverage will not extend significantly beyond the building footprint and there remains a generous rear yard setback (~58 feet or 17.7 metres). Staff are of the opinion that the requested variance is minor in nature as the proposed increase in the second-storey building coverage will not significantly add to the scale and massing of the dwelling.

Increased Maximum Distance from Established Building Line Variance

The Applicant is requesting to permit a maximum distance of the main building from the established building line for any storey above the first storey of 16.05 metres (52.68 feet), whereas the By-law permits a maximum distance of 14.5 metres (47.57 feet). This represents an increase of 1.55 metres (5.09 feet).

The intent of the maximum distance from the established building line for any storey above the first includes considerations for sunlight, shadowing, and the built form and character of the neighborhood. Staff are of the opinion that the proposed extension to a distance of 16.05 metres (52.68 feet) for the second storey will have limited impact on the streetscape and neighboring properties, as the setbacks are generally maintained and the two-storey scale is consistent with other infill developments in the area.

Minimum Combined Interior Side Yard Setback Variance

The Applicant is requesting relief to permit a minimum combined interior side yard of 6.54 metres, whereas By-law 2024-19 requires a minimum combined interior side yard on both sides of 7.62 metres (25 percent of the lot width). This represents a reduction of 1.08 metres (3.54 feet). The intent of the minimum combined interior side yard requirement is to ensure adequate separation between adjacent properties, for access and safety.

Staff are of the opinion that the proposed combined side yard of 6.54 metres will not negatively impact the neighboring properties, and consider the requested variance to be consistent with similar developments in the area that have reduced side yard setbacks.

Increased Maximum Outside Wall Height Variance

The Applicant is requesting relief to permit a maximum outside wall height of 7.69 metres (25.23 feet), whereas By-law 2024-19 permits a maximum outside wall height of 7.0 metres (22.97 feet). This represents an increase of 0.69 metres (2.26 feet). By-law 2024-19 calculates outside wall height as the vertical distance from established grade to the highest top plate of the outside wall of the upper most floor or storey.

Staff are of the opinion that the proposed maximum outside wall height will not significantly impact the visual appearance of the property or the surrounding area and that the requested variance is minor in nature.

Increased Maximum Main Building Coverage Variance

The Applicant is requesting to permit a maximum combined main building coverage of 577.06 m² (6,206.67 ft²), whereas By-law 2024-19 permits a maximum combined main building coverage of 500 m² (5,382.28 ft²). This represents an increase of 77.06 m² (829.39 ft²).

The intent of the maximum permitted building coverage provision in the By-law includes but is not limited to ensuring appropriate proportions of the dwelling to the lot size, and within the context of the surrounding neighbourhood.

The proposed coverage includes the second-storey balcony/rear unenclosed canopy which adds approximately 47.13 m² (507 ft²) to the overall building coverage area. Excluding the rear unenclosed canopy, the proposed combined building coverage is approximately 529.93 m² (5,704 ft²), which is approximately 6 percent greater than what the Bylaw permits.

Given that the proposed building coverage does not extend significantly beyond the building footprint and there remains a generous rear yard setback (~58 feet or 17.7 metres), the proposed increase in the building coverage will not significantly add to the scale and massing of the dwelling. Staff have reviewed the proposed coverage and are of the opinion that the increase will not negatively impact the character of the neighborhood or the amenity areas of adjacent properties.

Increased Maximum South and North Interior Side Yard Encroachment Variances

The Applicant is requesting relief for a maximum south interior side yard architectural feature/roof overhang encroachment of 1.07 metres, whereas By-law 2024-19 permits a maximum encroachment into the required interior side yard of 0.45 metres. This represents an increase of 0.62 metres (2.03 feet). The Applicant is also requesting relief for a maximum north interior side yard eave/roof overhang encroachment of 0.61 metres, whereas By-law 2024-19 permits a maximum encroachment into the required interior side yard of 0.45 metres. This represents an increase of 0.16 metres (0.52 feet).

The intent of the maximum encroachment requirement is to maintain adequate spacing between structures and access for adjacent dwellings. Staff are of the opinion that the proposed encroachment will not negatively impact the adjacent dwelling(s).

Staff find that the increase in south and north interior side yard encroachment is compatible with the character of the neighborhood, and therefore have no objections to the requested variance.

Increased Maximum Second Storey Rear Main Wall Balcony Projection Variance

The Applicant is requesting relief for a maximum second storey rear main wall balcony projection of 1.98 metres, whereas By-law 2024-19 permits a maximum projection of any balcony from the main wall of 1.8 metres. This represents an increase of 0.18 metres (0.59 feet).

Staff are of the opinion that the proposed balcony projection is reasonable, does not significantly impact the adjacent dwellings and the variance request is minor in nature.

Reduced Minimum Porch Depth Variance

The Applicant is seeking relief for a minimum porch depth of 1.27 metres in the front yard, whereas By-law 2024-19 requires a minimum depth of 1.8 metres. This represents a shortfall of 0.53 metres (1.74 feet).

Staff find that the requested reduction in porch depth is minor in nature and compatible with the existing development patterns, supporting the application for this variance.

Increase in Roof Projection Above Maximum Outside Wall Height

The Applicant is requesting relief for a roof projection of 1.52 metres above the maximum outside wall height, whereas By-law 2024-19 permits a roof structure with a pitch of less than 25 degrees to project only a maximum of 1.0 metre above the maximum outside wall height. This represents an increase of 0.52 metres (1.71 feet).

The intent of the maximum roof projection is to generally maintain a consistent roofline and prevent excessive height that may negatively impact the surrounding adjacent dwellings. Staff are of the opinion that the proposed roof projection is consistent with the design of the building and will not create any adverse impacts to neighboring properties.

Metrolinx Comments

Metrolinx provided advisory comments on this application on September 26, 2024 (Appendix D), requiring the implementation of mitigation measures to attenuate the impact generated by the railway located north of the Subject Lands.

PUBLIC INPUT SUMMARY

No written submissions were received as of October 23, 2024. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

CONCLUSION

Planning Staff have reviewed the application with respect to Section 45(1) of the *Planning Act*, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the

request variances meet the four tests of the *Planning Act* and have no objection. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the Applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the *Planning Act* required for the granting of minor variances.

Please refer to Appendix “C” for conditions to be attached to any approval of this application.

PREPARED BY:



Hussnain Mohammad, Planner 1, Development Facilitation Office

REVIEWED BY:



Rick Cefaratti, MCIP RPP, Senior Planner, West District

APPENDICES

Appendix “A” – Aerial Context Photo

Appendix “B” – Plans

Appendix “C” – A/073/24 Conditions of Approval

Appendix “D” – Metrolinx Advisory Comments



Legend

- TRCA Regulation Limit 2023
- Aerial 2023**
- Red: Band_1
- Green: Band_2
- Blue: Band_3
- Parcel**
- Park Facility
- Parks**
- Under Development
- <all other values>

1: 2,257



114.7 0 57.33 114.7 Meters

Notes

Appendix B

File: 24.181208.000.00:MNV

Date: 10/24/2024

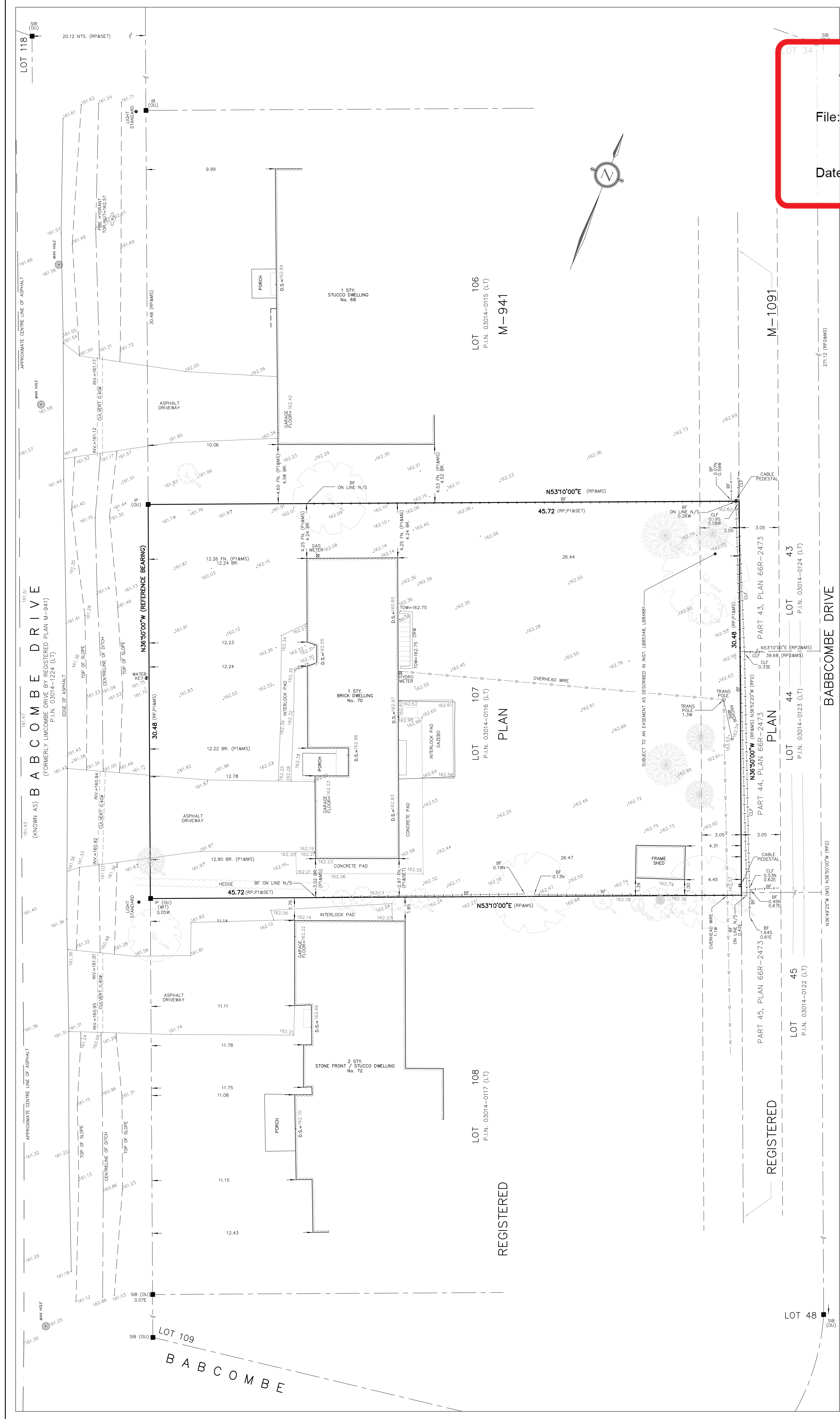
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DISTANCES SHOWN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

ELEVATION NOTE
ELEVATIONS ARE REFERRED TO THE CANADIAN GEODETIC VERTICAL DATUM (CGVD-1928-1978) AND ARE DERIVED FROM CITY OF MARKHAM BENCHMARK No. M03-009, HAVING A PUBLISHED ELEVATION OF 160.803 METERS.

BEARING NOTE
BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE EASTERLY LIMIT OF LIMCOMBE DRIVE AS SHOWN ON REGISTERED PLAN M-941 HAVING A BEARING OF N36°50'00"W.

LEGEND

■	DENOTES	SURVEY MONUMENT FOUND
□	DENOTES	SURVEY MONUMENT PLANTED
IB	DENOTES	IRON BAR
SIB	DENOTES	STANDARD IRON BAR
IP	DENOTES	IRON PIPE
CP	DENOTES	CONCRETE PIN
OU	DENOTES	ORIGIN UNKNOWN
CC	DENOTES	CUT CROSS
WT	DENOTES	WITNESS
MH	DENOTES	MANHOLE
B.C.	DENOTES	BEGINNING OF CURVE
OH	DENOTES	OVERHEAD UTILITY CABLES
DT	DENOTES	DECIDUOUS TREE
CT	DENOTES	CONIFEROUS TREE
LS	DENOTES	LIGHT STANDARD
INV	DENOTES	INVERT ELEVATION
HYD	DENOTES	FIRE HYDRANT
CRW	DENOTES	CONCRETE RETAINING WALL
TOW	DENOTES	TOP OF WALL ELEVATION
NTS	DENOTES	NOT TO SCALE
MS	DENOTES	MEASURED
FN.	DENOTES	FOUNDATION
BR	DENOTES	BRICK
ST	DENOTES	STUCCO
SI	DENOTES	SIDING
STY.	DENOTES	STOREY
CLF	DENOTES	CHAIN LINK FENCE
BF	DENOTES	BOARD FENCE
D.S.	DENOTES	DOOR SILL ELEVATION
FTE	DENOTES	FINISHED FLOOR ELEVATION
GFE	DENOTES	GARAGE FLOOR ELEVATION
RP	DENOTES	REGISTERED PLAN M-941
RP2	DENOTES	REGISTERED PLAN M-1091
P1	DENOTES	PLAN BY FRED SCHAEFFER O.L.S. DATED JULY 18, 1965
P2	DENOTES	PLAN 66R-2473



THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR
In accordance with Regulation 1006, Section 29(3)

PART 2
REGISTERED EASEMENTS/RIGHTS-OF-WAY - SUBJECT TO AN EASEMENT AS DESCRIBED IN INSTRUMENT No. LB85348 AND LB84881

ADDITIONAL REMARKS - MAKE NOTE OF THE LOCATION OF FENCES AND PHYSICAL FEATURES AS DEPICTED ON THE FACE OF THIS PLAN. BUILDING TIES ARE TO BRICK/CONCRETE UNLESS OTHERWISE NOTED

THIS PLAN WAS PREPARED FOR TOBY MA AND THE UNDERSIGNED ASSUMES NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON NOVEMBER 21, 2023

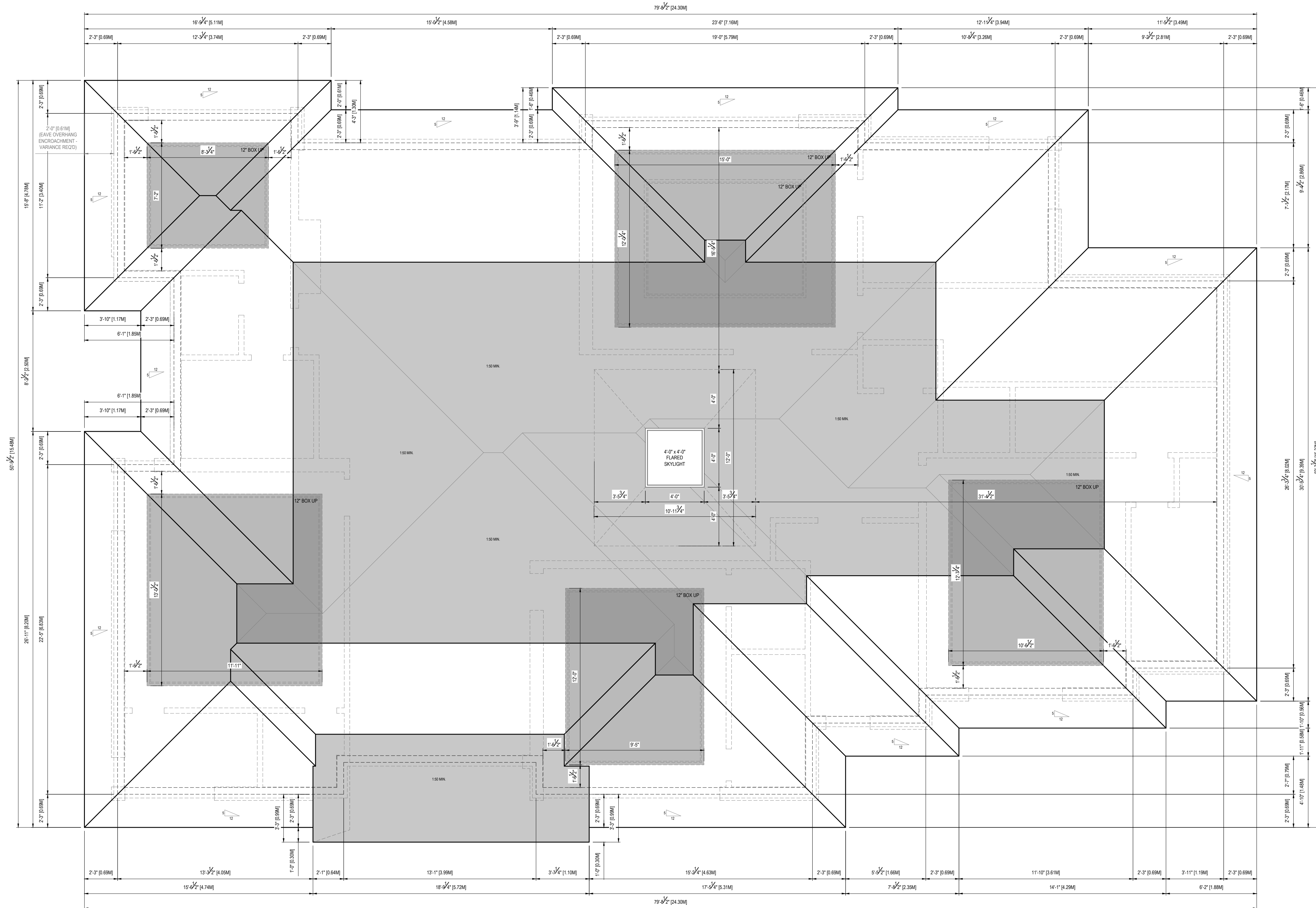
NOVEMBER 22, 2023

GUIDO V. GONSOLO
ON TARIO LAND SURVEYOR

Appendix B

File: 24.181208.000.00.MNV

Date: 10/24/2024
MM/DD/YYYY



1/8" = 1'-0"
ROOF PLAN

huis design studio
CUSTOM HOME DESIGN

HUIS DESIGN STUDIO LTD.
CUSTOM HOME DESIGN
14 COMESTOGA DRIVE #201 BRAMPTON, ON L6Z 4N5
T: 1.833.456.4847 (HUIS) E: INFO@HUISDESIGNSTUDIO.COM
HUISDESIGNSTUDIO.COM

GENERAL NOTES

1. DRAWINGS ARE TO BE READ NOT SCALED. DO NOT BEGIN CONSTRUCTION UNTIL DESIGNER OR PROJECT MANAGER HAS BEEN NOTIFIED. UPON COMPLETION OF ANY STAGE OF CONSTRUCTION, THE DESIGNER OR PROJECT MANAGER SHALL BE NOTIFIED TO ENSURE PROPER INSPECTION. ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER. IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF HUIS DESIGN STUDIO. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.

QUALIFICATION INFORMATION

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AS WELL AS HAVING THE QUALIFICATION AND REQUIREMENTS MANIFESTED BY THE ONTARIO BUILDING CODE TO BE A DESIGNER.

NAME: KURTIS VAN KELLEEN
B.C.I.N.: 21373

REGISTRATION INFORMATION

REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIV. C3.2.4 OF THE ONTARIO BUILDING CODE.

HUIS DESIGN STUDIO: 118545
FIRM NAME: B.C.I.N.

REVISION LIST		DATE
1	AS PER ZONING COMMENTS	06/24/2024
2	-	MM/DD/YYYY
3	-	MM/DD/YYYY
4	-	MM/DD/YYYY
5	-	MM/DD/YYYY

ISSUE LIST		DATE
1	ISSUED FOR PERMIT	12/19/2023
2	ISSUED FOR COA	07/05/2024
3	ISSUED FOR COA RESUB	09/20/2024
4	-	MM/DD/YYYY
5	-	MM/DD/YYYY

PROJECT NORTH: TRUE NORTH

DRAWING TITLE: ROOF PLAN
DRAWN BY: J.H.
CHECKED BY: K.V.K.
PROJECT ADDRESS: 75 BARCOMBE DRIVE
PROJECT NO.: 2023-071
SHEET NO.: A104

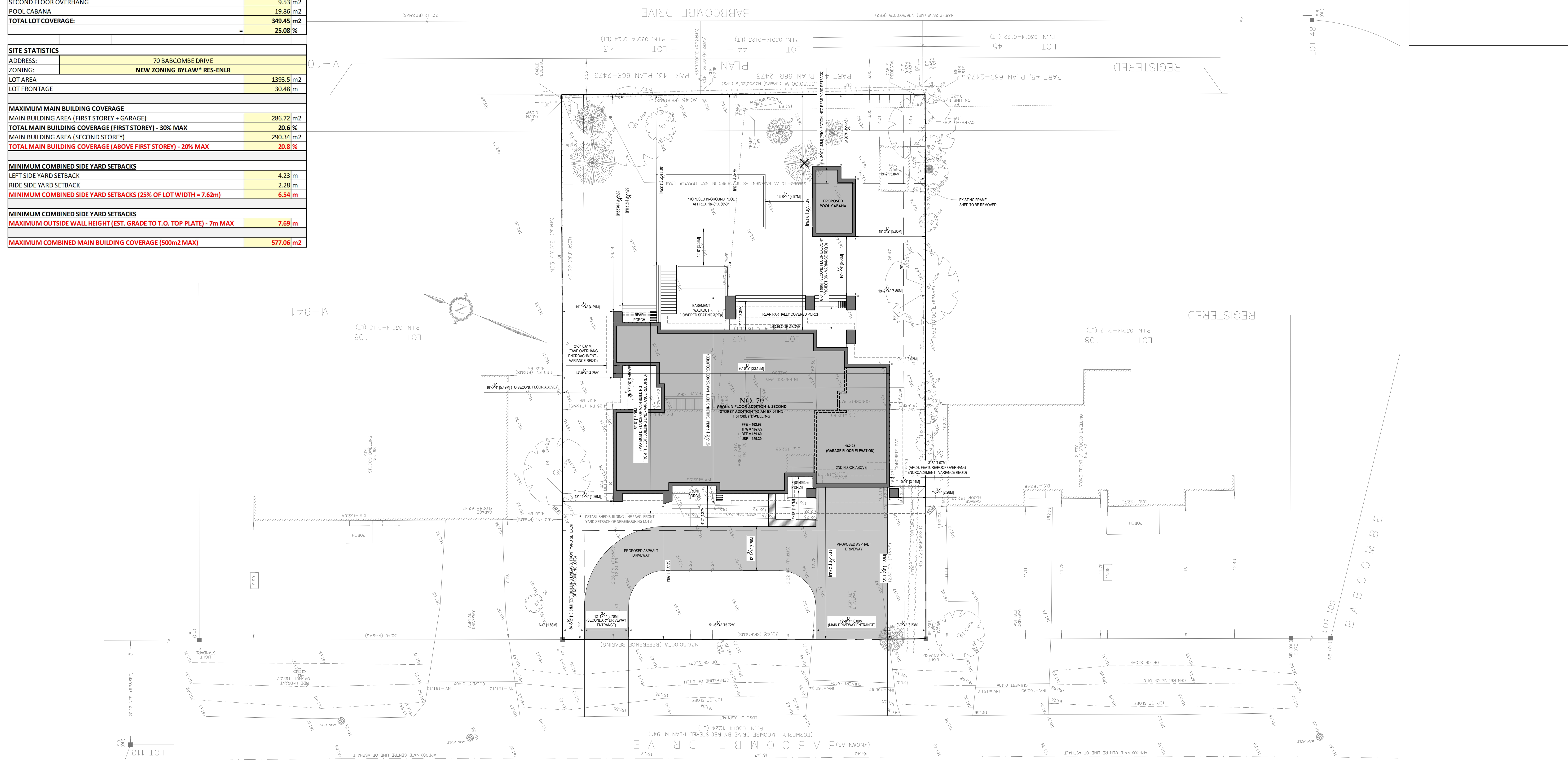
Appendix B

File: 24.181208.000.00.MNV

Date: 10/24/2024
MM/DD/YYYY

SITE STATISTICS	
ADDRESS:	70 BABCOMBE DRIVE
ZONING:	SR3 - SINGLE DETACHED RESIDENTIAL
LOT AREA	1393.5 m ²
LOT FRONTAGE	30.48 m
CROWN OF ROAD	161.47
HEIGHT TO HIGHEST RIDGE	9.78 m
GFA	
GROUND FLOOR	232.47 m ²
SECOND FLOOR	290.34 m ²
GARAGE	54.25 m ²
STAIRS + OPEN AREAS TO BE DEDUCTED	45.13 m ²
TOTAL	477.68 m²
LOT COVERAGE	
DWELLING FOOTPRINT (INCL GARAGE)	277.60 m ²
FRONT PORCHES	8.2 m ²
FRONT COLUMN	0.58 m ²
REAR PORCHES	33.68 m ²
SECOND FLOOR OVERHANG	9.53 m ²
POOL CABANA	19.86 m ²
TOTAL LOT COVERAGE:	349.45 m²
	25.05 %

SITE STATISTICS	
ADDRESS:	70 BABCOMBE DRIVE
ZONING:	NEW ZONING BYLAW * RES-ENLR
LOT AREA	1393.5 m ²
LOT FRONTAGE	30.48 m
MAXIMUM MAIN BUILDING COVERAGE	
MAIN BUILDING AREA (FIRST STOREY + GARAGE)	286.72 m ²
TOTAL MAIN BUILDING COVERAGE (FIRST STOREY) - 30% MAX	20.6 %
MAIN BUILDING AREA (SECOND STOREY)	290.34 m ²
TOTAL MAIN BUILDING COVERAGE (ABOVE FIRST STOREY) - 20% MAX	20.8 %
MINIMUM COMBINED SIDE YARD SETBACKS	
LEFT SIDE YARD SETBACK	4.23 m
RIGHT SIDE YARD SETBACK	2.28 m
MINIMUM COMBINED SIDE YARD SETBACKS (25% OF LOT WIDTH = 7.62m)	6.54 m
MINIMUM COMBINED SIDE YARD SETBACKS	
MAXIMUM OUTSIDE WALL HEIGHT (EST. GRADE TO T.O. TOP PLATE) - 7m MAX	7.69 m
MAXIMUM COMBINED MAIN BUILDING COVERAGE (500m² MAX)	577.06 m²



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QUALIFICATION INFORMATION

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REGISTRATION INFORMATION

REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIV. C-3.2.4 OF THE ONTARIO BUILDING CODE.

NAME: B.C.I.N.
FIRM NAME: B.C.I.N.

REVISION LIST	
1	AS PER ZONING COMMENTS
2	
3	
4	
5	

PROJECT NORTH TRUE NORTH

DRAWING TITLE: ARCHITECTURAL SITE PLAN
DRAWN BY: J.H. **CHECKED BY:** K.V.K.
PROJECT ADDRESS: 70 BABCOMBE DRIVE
PROJECT NO.: 2023-011
SHEET NO.: 1/10

ISSUE LIST

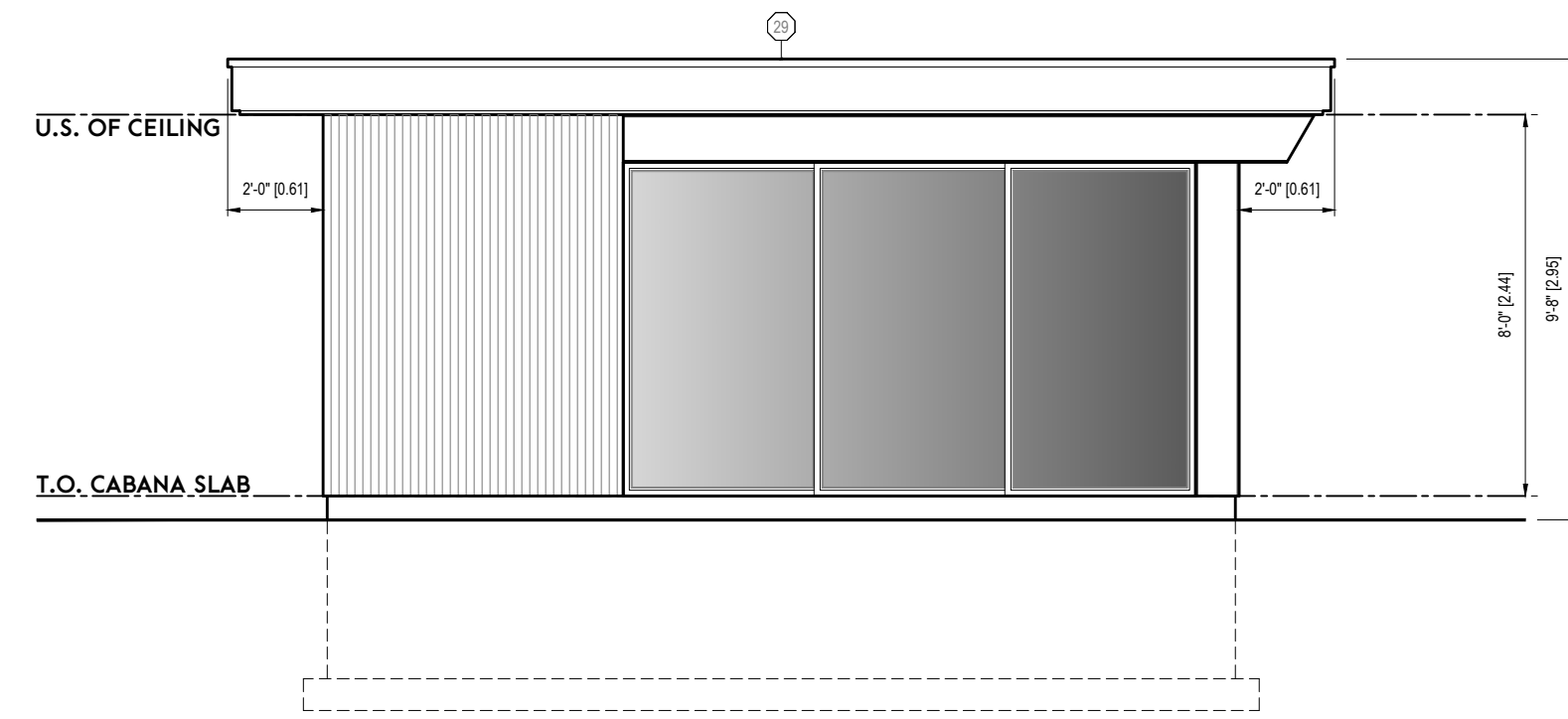
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3	ISSUED FOR COA RESUB	09/20/2024
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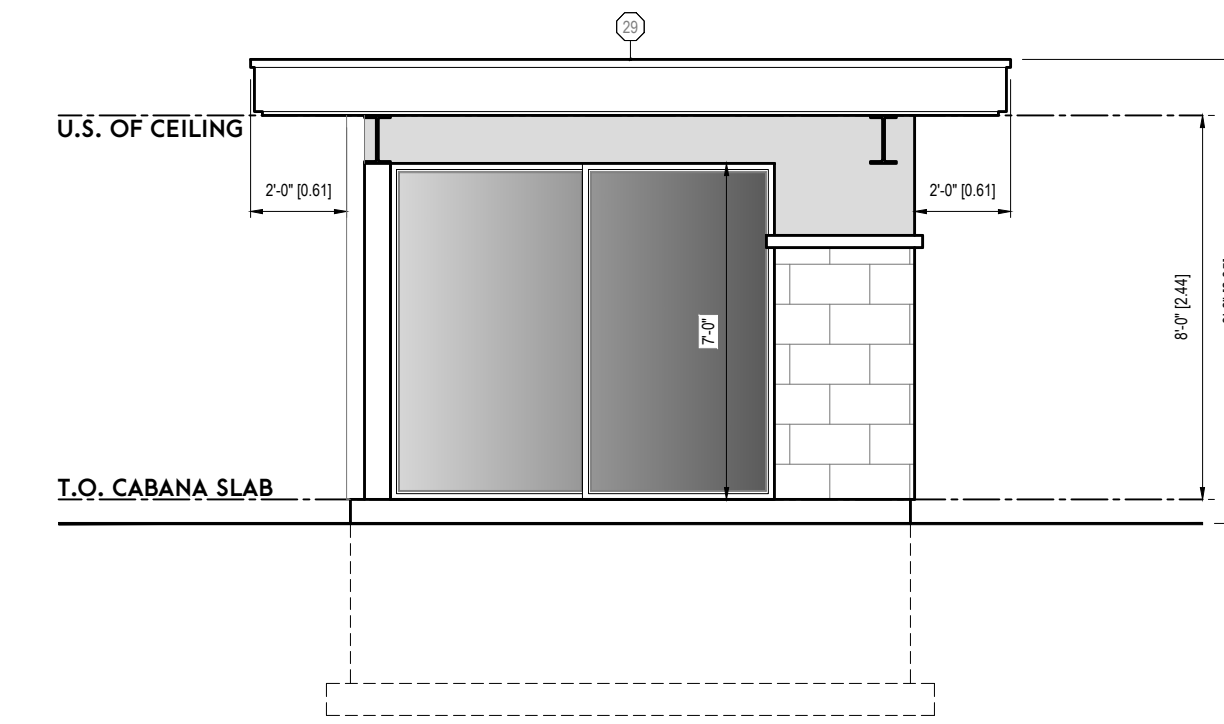
Appendix B

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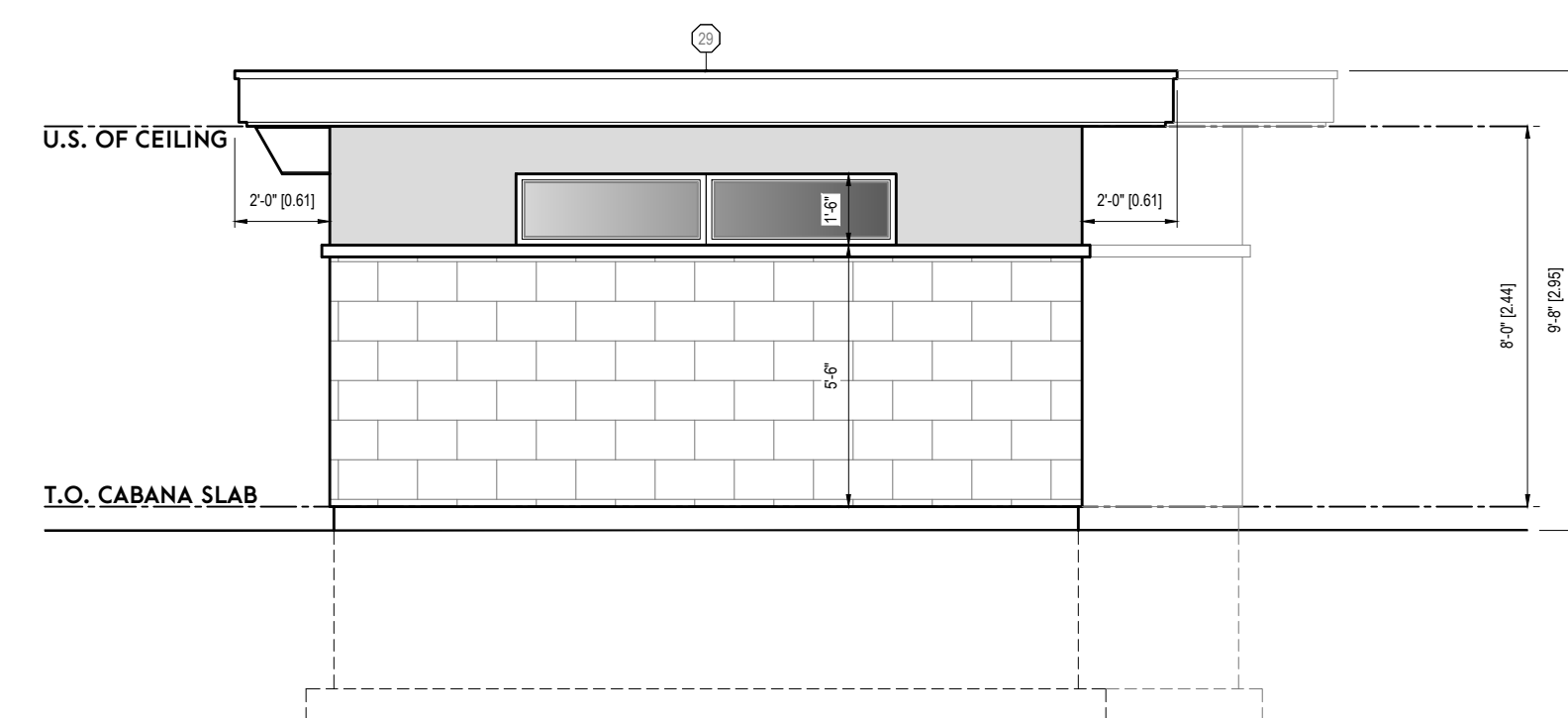
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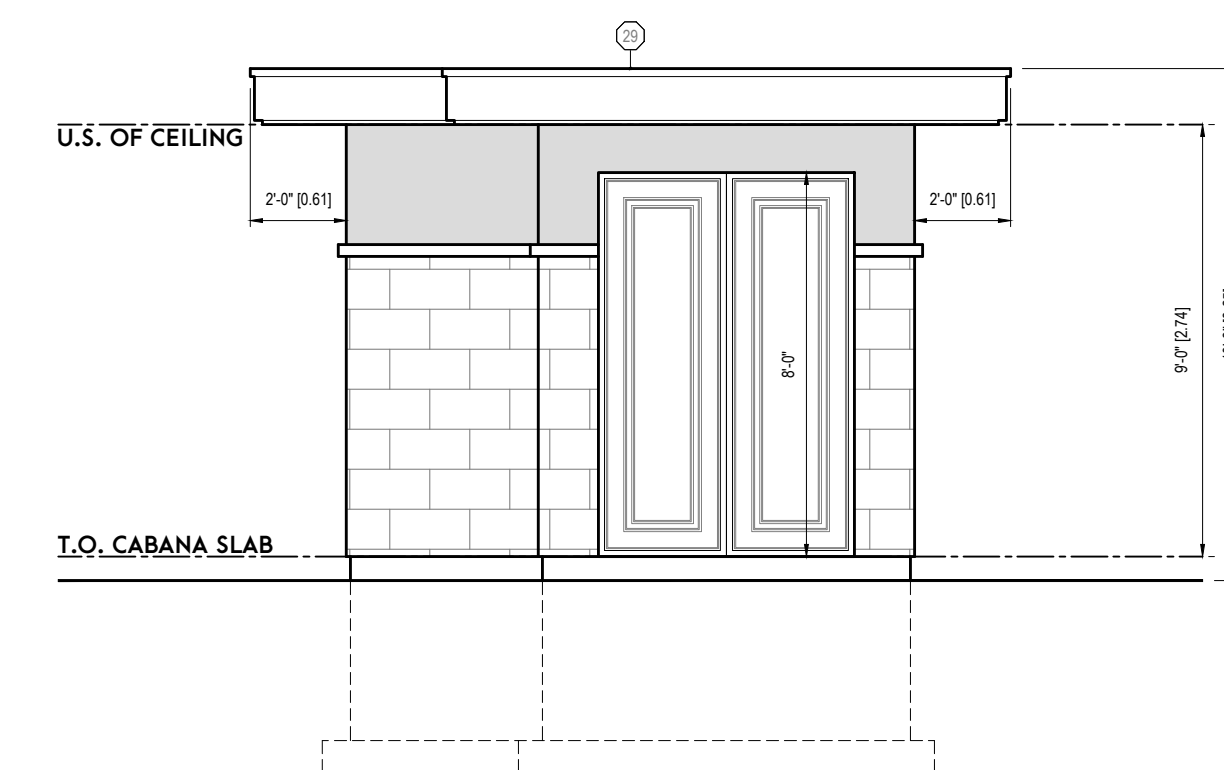
01-CABANA ELEVATION




02-CABANA ELEVATION



03-CABANA ELEVATION



04-CABANA ELEVATION



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NAME: _____ B.C.I.N.: _____
FIRM NAME: _____ B.C.I.N.: _____

REVISION LIST

NO.	DESCRIPTION	DATE
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3	ISSUED FOR COA RESUB	09/20/2024
4	-	MM/DD/YYYY
5	-	MM/DD/YYYY

DRAWING TITLE: CABANA ELEVATIONS
DRAWN BY: J.H. **CHECKED BY:** K.V.K.
PROJECT ADDRESS: 70 BARKCOMBE DRIVE
PROJECT NO.: 2023-071 **SCALE:** 1/8" = 1'-0"
SHEET NO.: _____

A201A

Appendix B

File: 24.181208.000.00.MNV

Date: 10/24/2024

MM/DD/YYYY



1/8" = 1'-0"
FRONT ELEVATION



HUIS DESIGN STUDIO LTD.
CUSTOM HOME DESIGN
1A COMESTOGA DRIVE #201 BRAMPTON, ON L6Z 4N6
T. 905.456.4847 (HUIS) E. INFO@HUISDESIGNSTUDIO.COM
HUISDESIGNSTUDIO.COM

GENERAL NOTES
DRAWINGS ARE TO BE READ NOT SCALED. DO NOT BEGIN CONSTRUCTION UNTIL DESIGNER OR PROJECT MANAGER HAS BEEN NOTIFIED. UPON COMPLETION OF ANY STAGE OF CONSTRUCTION, THE DESIGNER OR PROJECT MANAGER SHALL BE NOTIFIED TO ENSURE PROPER INSPECTION. ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER. IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF HUIS DESIGN STUDIO. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.

QUALIFICATION INFORMATION
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AS WELL AS HAVING THE QUALIFICATION AND REQUIREMENTS MANICATED BY THE ONTARIO BUILDING CODE TO BE A DESIGNER.

REGISTRATION INFORMATION
REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIV. C3.2.4 OF THE ONTARIO BUILDING CODE.

NAME: B.C.I.N.
FIRM NAME: B.C.I.N.

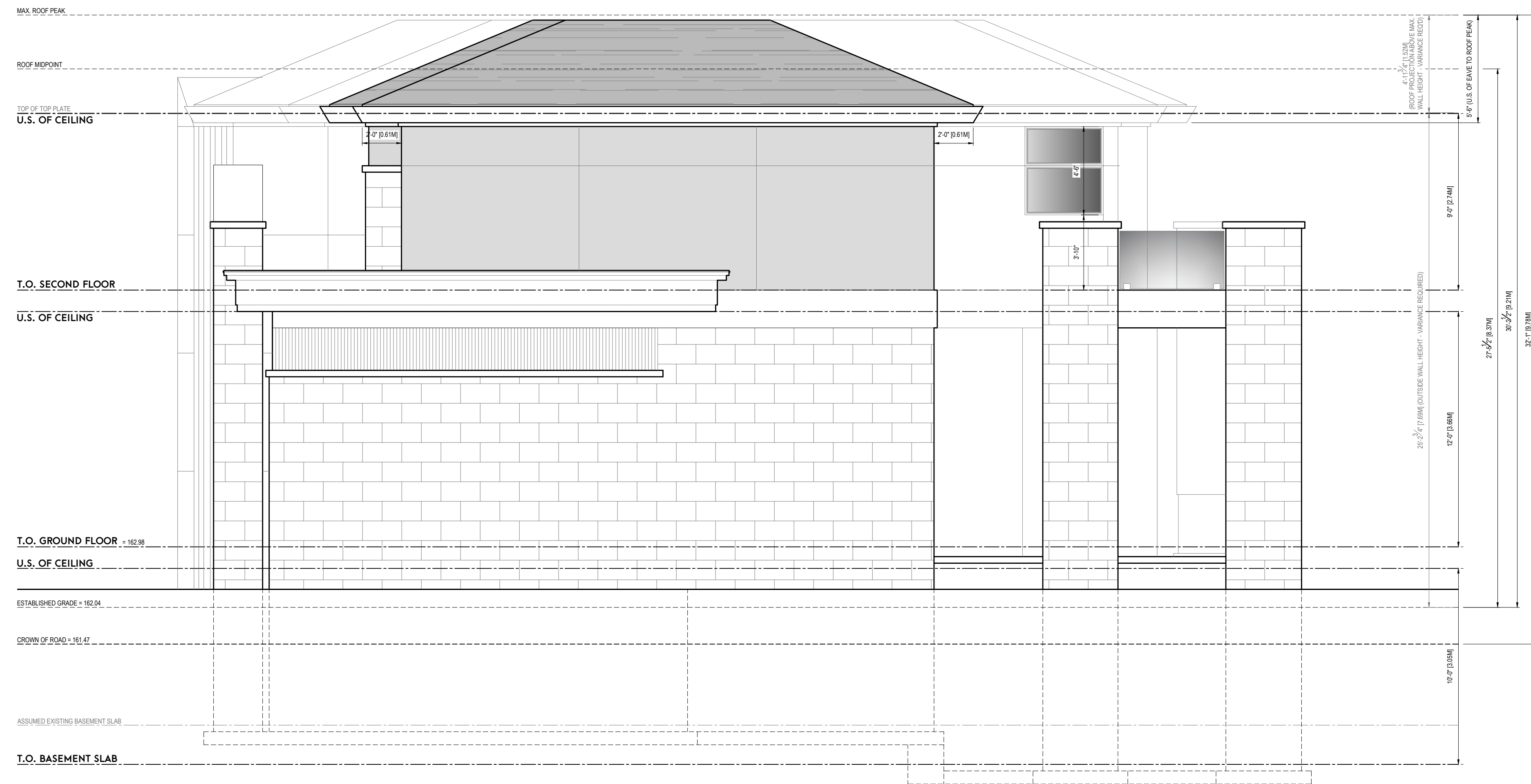
REVISION LIST		ISSUE LIST	
1	AS PER ZONING COMMENTS	1	ISSUED FOR PERMIT
2		2	ISSUED FOR COA
3		3	ISSUED FOR COA RESUB
4		4	
5		5	

DRAWING TITLE: ARCHITECTURAL ELEVATIONS
DRAWN BY: INITIALS CHECKED BY: K.V.K.
PROJECT ADDRESS: 75 BARKCOMBE DRIVE
PROJECT NO.: 2023-071
SHEET NO.:
SCALE: 1/8" = 1'-0"
DATE: 10/24/2024

Appendix B

File: 24.181208.000.00.MNV

Date: 10/24/2024
MM/DD/YYYY



SPATIAL SEPARATION			
EXPOSING BUILDING FACE:	1132.82 SQ. FT.	105.24 SQ.M	
UNPROTECTED OPENINGS:	18.94 SQ. FT.	1.59 %	
PERMITTED:	113.28 SQ. FT.	10.00 %	
LIMITING DISTANCE: 3.01M (10.04 FT PER TABLE 9.10.13.4)			

RIGHT ELEVATION

huis design studio
CUSTOM HOME DESIGN

HUIS DESIGN STUDIO LTD.
CUSTOM HOME DESIGN
14 COMESTOGA DRIVE #201 BRAMPTON, ON L6Z 4N5
T: 905.496.4847 (HUIS) E: INFO@HUISDESIGNSTUDIO.COM
HUISDESIGNSTUDIO.COM

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REGISTRATION INFORMATION

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FIRM NAME B.C.I.N.

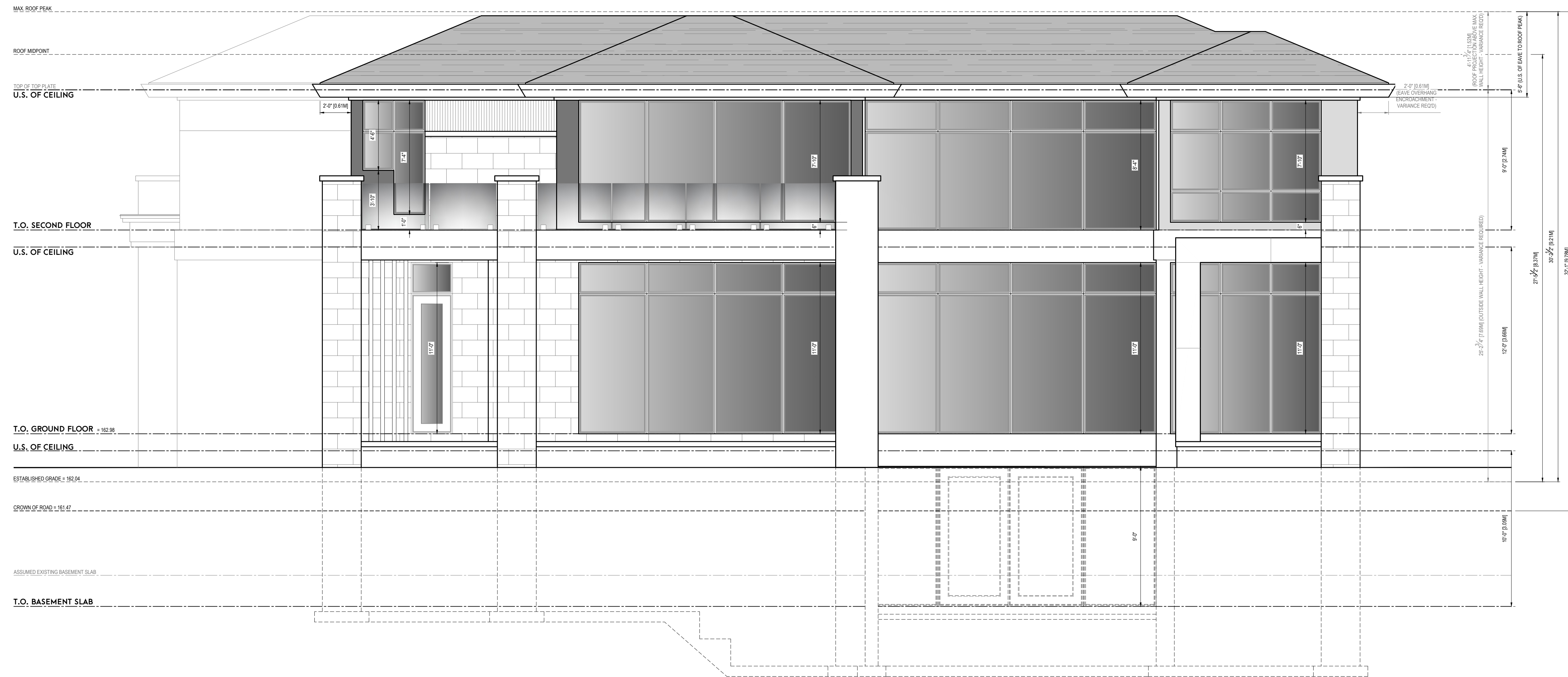
REVISION LIST			
1	AS PER ZONING COMMENTS	06/24/2024	
2	-	MM/DD/YYYY	
3	-	MM/DD/YYYY	
4	-	MM/DD/YYYY	
5	-	MM/DD/YYYY	

DRAWING TITLE: ARCHITECTURAL ELEVATIONS
DRAWN BY: J.H. **CHECKED BY:** K.V.K.
PROJECT ADDRESS: 75 BARKCOMBE DRIVE
PROJECT NO.: 2023-071
SHEET NO.:

Appendix B

File: 24.181208.000.00.MNV

Date: 10/24/2024
MM/DD/YYYY



REAR ELEVATION

huis design studio
CUSTOM HOME DESIGN

HUIS DESIGN STUDIO LTD.
CUSTOM HOME DESIGN
1A COMESTOGA DRIVE #201 BRAMPTON, ON L6Z 4N6
T: 905.496.4847 (HUIS) E: INFO@HUISDESIGN.CA
HUISDESIGN.CA

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QUALIFICATION INFORMATION

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REGISTRATION INFORMATION

REGISTERED UNDER DIV. C-3.2.4 OF THE ONTARIO BUILDING CODE

FIRM NAME B.C.I.N.

REVISION LIST	
1	AS PER ZONING COMMENTS 06/24/2024
2	MM/DD/YYYY
3	MM/DD/YYYY
4	MM/DD/YYYY
5	MM/DD/YYYY

ISSUE LIST

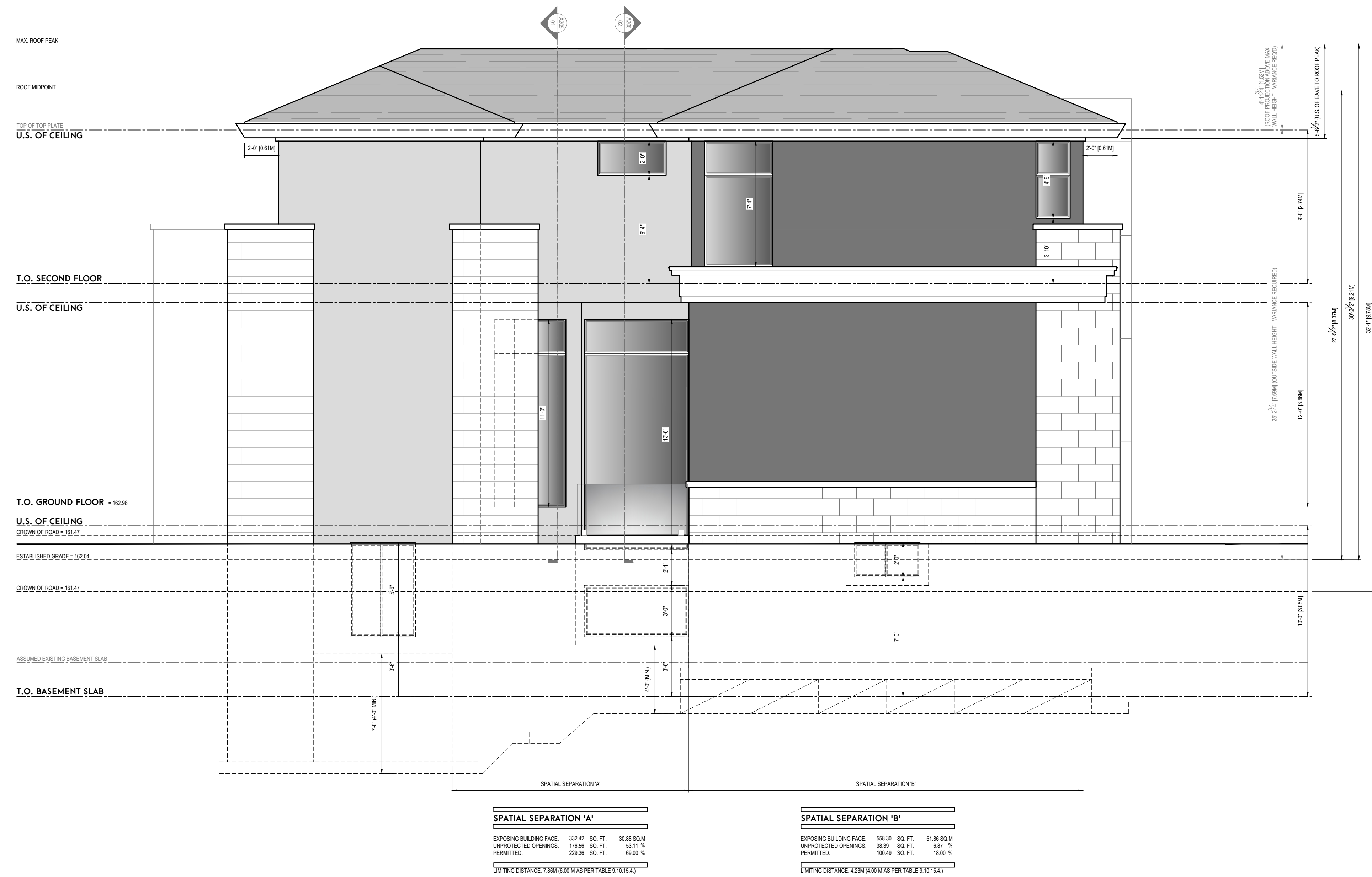
1	ISSUED FOR PERMIT	12/19/2023
2	ISSUED FOR COA	07/05/2024
3	ISSUED FOR COA RESUB	09/20/2024
4	MM/DD/YYYY	
5	MM/DD/YYYY	

DRAWING TITLE: ARCHITECTURAL ELEVATIONS
DRAWN BY: J.H. **CHECKED BY:** K.V.K.
PROJECT ADDRESS: 75 BARCOMBE DRIVE
PROJECT NO.: 2023-071
SHEET NO.:

Appendix B

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LEFT ELEVATION



GENERAL NOTES
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FIRM NAME B.C.I.N.
M.M.D.D.YYYY

REVISION LIST		
1	AS PER ZONING COMMENTS	06/24/2024
2	-	M.M.D.D.YYYY
3	-	M.M.D.D.YYYY
4	-	M.M.D.D.YYYY
5	-	M.M.D.D.YYYY

ISSUE LIST		
1	ISSUED FOR PERMIT	12/19/2023
2	ISSUED FOR COA	07/05/2024
3	ISSUED FOR COA RESUB	09/20/2024
4	-	M.M.D.D.YYYY
5	-	M.M.D.D.YYYY

DRAWING TITLE: ARCHITECTURAL ELEVATIONS
DRAWN BY: J.H. **CHECKED BY:** K.V.K.
PROJECT ADDRESS: 75 BARCOMBE DRIVE
PROJECT NO.: 2023-071
SHEET NO.:

APPENDIX “C” – A/073/24 Conditions of Approval

CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/073/24

1. The variances apply only to the proposed development as long as it remains; and
2. That the variances apply only to the proposed development, in substantial conformity with the plans attached as Appendix “B” to this Staff Report, and that the Secretary-Treasurer receive written confirmation from the Supervisor of the Committee of Adjustment or designate that this condition has been fulfilled to their satisfaction.
3. Submission of a Tree Assessment and Preservation Plan, prepared by a Qualified Tree Expert in accordance with the City’s Tree Assessment and Preservation Plan (TAPP) Requirements (2024) as amended, to be reviewed and approved by the City, and that the Secretary-Treasurer receive written confirmation from the Tree Preservation By-law Administrator that this condition has been fulfilled to his/her satisfaction, and that any detailed Siting, Lot Grading and Servicing Plan required as a condition of approval reflects the Tree Assessment and Preservation Plan.
4. That prior to the commencement of construction or demolition, tree protection is erected and maintained around all trees on site, neighbouring properties, and street trees, in accordance with the City’s Streetscape Manual (2009) as amended, and inspected by City Staff to the satisfaction of the Tree Preservation By-law Administrator.

CONDITIONS PREPARED BY:



Hussnain Mohammad, Planner 1, Development Facilitation Office

TO: Shawna Houser, Secretary-Treasurer, Committee of Adjustment, City of Markham

DATE: September 26, 2024

RE: Adjacent Development Review: A/073/24
70 Babcombe Dr, Markham, ON
Minor Variance

Dear Committee of Adjustment,

Metrolinx is in receipt of the Minor Variance application for 70 Babcombe Drive, Markham, to request relief from the requirements of By-law 2024-19, as amended, as circulated on September 24th, 2024, and to be heard by the Committee as early as Wednesday October 30th, 2024. Metrolinx's comments on the subject application are noted below:

- The subject property is located within 300m of the Metrolinx Bala Subdivision which carries Metrolinx's Richmond Hill GO Train service.

GO/HEAVY-RAIL - ADVISORY COMMENTS

- The Proponent is advised of the following:
 - **Warning:** The Applicant is advised that the subject land is located within Metrolinx's 300 metres railway corridor zone of influence and as such is advised that Metrolinx and its assigns and successors in interest has or have a right-of-way within 300 metres from the subject land. The Applicant is further advised that there may be alterations to or expansions of the rail or other transit facilities on such right-of-way in the future including the possibility that Metrolinx or any railway entering into an agreement with Metrolinx to use the right-of-way or their assigns or successors as aforesaid may expand or alter their operations, which expansion or alteration may affect the environment of the occupants in the vicinity, notwithstanding the inclusion of any noise and vibration attenuating measures in the design of the development and individual lots, blocks or units.

Should you have any questions or concerns, please contact jenna.auger@metrolinx.com.

Best Regards,

Jenna Auger

Third Party Project Review

Metrolinx | 10 Bay Street | Toronto | Ontario | M5J 2S3

T: (416) 881-0579