

Memorandum to the City of Markham Committee of Adjustment

August 30, 2024

File: A/065/24
Address: 70 Halder Crescent, Markham (the “Subject Lands”)
Agent: Brown & Beattie (Allen Kim)
Hearing Date: Wednesday, September 11, 2024

The following comments are provided on behalf of the Central Team:

On January 31, 2024, City of Markham Council enacted the Comprehensive Zoning By-law 2024-19 (“By-law 2024-19”). As By-law 2024-19 is currently under appeal with the Ontario Land Tribunal (the “OLT”), any applications under Section 45 of the *Planning Act* that do not benefit from the transition clauses under Section 1.7 of By-law 2024-19 must comply with By-law 2024-19 and any previous By-laws in effect. As such, the Applicant is requesting relief from the “Residential – Established Neighbourhood Low Rise (RES-ENLR)” zone requirements under By-law 2024-19 and the “Semi-detached Residential Zone 4 (RSD4)” requirements under By-law 90-81, as amended, as it relates to the reduction of the minimum length requirements for a parking space in an enclosed garage. The alterations to the garage are associated with the fire damage repairs and interior alterations for the creation of a basement dwelling unit in a single-detached home. The variances requested are to permit:

a) By-law 2024-19, Section 5.2.5(a):

a minimum length of not less than 4.85 metres for a parking space, whereas the by-law requires a minimum length of not less than 5.8 metres for a parking space;

b) By-law 28-97, Section 6.1.2(b):

a minimum length of not less than 4.85 metres for required parking spaces provided in an enclosed garage, whereas the by-law requires a minimum length of not less than of 5.8 metres for parking spaces provided in an enclosed garage.

BACKGROUND

Application History

This Application was originally heard at the August 14, 2024 Committee of Adjustment hearing (refer to Appendix “A” – A/065/24 August 14, 2024 Staff Report for additional details). The Application was deferred to give the Applicant the opportunity to address concerns related to an additional variance required for the minimum soft landscaping strip abutting the north interior side lot line (Section 4.8.9.2(a)(i)) under By-law 2024-19)

that was flagged by Building Standards through the ongoing permit process (Permit No. 24 167646 HP).

Since the deferral, the Applicant confirmed that the existing landscaping of a precast concrete paver walkway was installed prior to 2024, as indicated on the updated site plan in Appendix "B". Upon further review, Building Standards Staff clarified that the existing landscaping strip will be deemed legally non-complying and that the additional variance for the minimum soft landscaping strip will not be required. As such, the requested variances remain unchanged and Staff's comments from the initial report (Appendix 'A') remains applicable.

PUBLIC INPUT SUMMARY

No written submissions were received as of September 5, 2024. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.


CONCLUSION

Planning Staff have reviewed the application with respect to Section 45(1) of the *Planning Act*, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variance request meets the four tests of the *Planning Act* and have no objection. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the Applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the *Planning Act* required for the granting of minor variances.

Please refer to Appendix "C" for conditions to be attached to any approval of this application.

PREPARED BY:



Barton Leung, Senior Planner, Central District

REVIEWED BY:



Melissa Leung, RPP MCIP, Senior Planner, Central District

File Path: Amanda\File\ 24 179085 \Documents\District Team Comments Memo

APPENDICES

Appendix "A" – A/065/24 August 14, 2024 Staff Report

Appendix "B" – Revised Plans

Appendix "C" – Conditions

Appendix A

Memorandum to the City of Markham Committee of Adjustment
July 30, 2024

File: 24.179085.000.00.MNV

Date: 9/5/2024

MM/DD/YY

File: A/065/24
Address: 70 Halder Crescent, Markham (the “Subject Lands”)
Agent: Brown & Beattie (Allen Kim)
Hearing Date: Wednesday, August 14, 2024

The following comments are provided on behalf of the Central Team:

On January 31, 2024, City of Markham Council enacted the Comprehensive Zoning By-law 2024-19 (“By-law 2024-19”). As By-law 2024-19 is currently under appeal with the Ontario Land Tribunal (the “OLT”), any applications under Section 45 of the *Planning Act* that do not benefit from the transition clauses under Section 1.7 of By-law 2024-19 must comply with By-law 2024-19 and any previous By-laws in effect. As such, the Applicant is requesting relief from the “Residential – Established Neighbourhood Low Rise (RES-ENLR)” zone requirements under By-law 2024-19 and the “Semi-detached Residential Zone 4 (RSD4)” requirements under By-law 90-81, as amended, as it relates to the reduction of the minimum length requirements for a parking space in an enclosed garage. The alterations to the garage are associated with the fire damage repairs and interior alterations for the creation of a basement dwelling unit in a single-detached home. The variances requested are to permit:

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a minimum length of not less than 4.85 metres for a parking space, whereas the by-law requires a minimum length of not less than 5.8 metres for a parking space;

b) By-law 28-97, Section 6.1.2(b):

a minimum length of not less than 4.85 metres for required parking spaces provided in an enclosed garage, whereas the by-law requires a minimum length of not less than of 5.8 metres for parking spaces provided in an enclosed garage.

BACKGROUND

Property Description

The 311.70 m² (3,355.12 ft²) Subject Lands are located on the west side of Halder Crescent (refer to Appendix “A” – Aerial Photo). The Subject Lands are located within an established residential neighbourhood comprised of two-storey detached dwellings. The Subject Lands are located in the general vicinity of the St. Benedict Catholic Elementary School.

Appendix A

File: 24.179085.000.00.MNV

Date: 9/5/2024
MM/DD/YY

Application History

Staff note that a fire occurred at the Subject Lands on October 23, 2023, and a Building Code Violation notice was issued in April 2024 as it relates to the unregistered accessory apartment in the basement.

Proposal

The Applicant is proposing to perform fire damage repairs and interior alterations for the creation of a basement dwelling unit in a single-detached home (the “proposed development”). To provide a separate side yard entrance for the basement dwelling unit, the Applicant is reconfiguring a new stairwell from the basement that will reduce the length of the private garage (refer to Appendix “B” – Plans). The Applicant is requesting relief from the requirements for the minimum length of a parking space provided in an enclosed garage under By-laws 2024-19 and 28-97, as amended.

Official Plan and Zoning

Official Plan 2014 (partially approved on November 24, 2017, and updated on April 9, 2018)

The Official Plan designates the Subject Lands “Residential Low Rise”, which provides for low rise housing forms including single detached dwellings. Planning Staff had regard for requirements the Official Plan in the preparation of the comments provided below.

Zoning By-Law 90-81, as amended and Parking Standards By-law 28-97 (the “Parking By-law”)

The Subject Lands are zoned RSD4 under By-law 90-81, as amended, which permits single detached dwellings, home occupations and private home daycare. The Parking Standard By-law amends By-law 90-81. The proposed interior alterations do not comply with the standard of the Parking By-law with respect to the minimum length required for parking spaces provided in an enclosed garage. Further details of the parking requirement are provided in the comment section below.

Comprehensive Zoning By-Law 2024-19

The Subject Lands are zoned RES-ENLR under By-law 2024-19, which permits a detached dwelling, home child care, home occupation, and shared housing – small scale. The Applicant is requesting relief from the requirements for the minimum length of a parking space. More details are provided in the comments section below.

Zoning Preliminary Review (“ZPR”) Not Undertaken

The Owner has confirmed that a ZPR has not been conducted. However, the Applicant has received comments from the Building Department through their permit process (Permit No. 24 167646 HP) to confirm the variances required for the proposed development. It must be noted that there remains to be outstanding comments from Zoning Staff for Permit No. 24 167646 HP that the Applicant needs to address. Consequently, it is the Owner’s responsibility to ensure that the application has accurately identified all the variances to the Zoning By-law required for the proposed development. If the variance request in this application contains errors, or if the need for

Appendix A

additional variances is identified during the Building Permit review process, a variance application(s) may be required to address the noncompliance.

File: 24.179085.000.00.MNV

Date: 9/5/2024
MM/DD/YY

COMMENTS

The *Planning Act* states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained;
- d) The general intent and purpose of the Official Plan must be maintained.

Reduced Parking Space Length in an Enclosed Garage(existing condition)

The Applicant is requesting to legalize the size of the two parking spaces inside the attached garage of the existing dwelling.

The Comprehensive Zoning Bylaw 2024-19 and Parking Standards By-law 28-97, as amended, requires parking spaces in an enclosed garage to have a minimum length of 5.8 m (19.02 ft) while the two subject parking spaces are 4.85 m (15.91 ft) in length. This represents a 0.95 m (3.12 ft) reduction from what the By-law requires.

Transportation Staff have reviewed the variance requests and note that the reduced length of the garage and interior parking spaces can accommodate smaller cars (i.e., Toyota Corolla, Honda Civic, etc.). Planning Staff further note that should the Committee of Adjustment approve the variance requests, the Subject Lands will be able to accommodate the three minimum number of parking spaces (two for the principal dwelling unit and one for the accessory dwelling unit), as required under By-law 28-97.

Given that the proposed changes to the Subject Lands are all interior alterations, there will be no impact on the character of the streetscape. Overall, Staff have no concerns with the proposed variances and are of the opinion that the requests are minor in nature.

PUBLIC INPUT SUMMARY

No written submissions were received as of August 6, 2024. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

CONCLUSION

Planning Staff have reviewed the application with respect to Section 45(1) of the *Planning Act*, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variance request meets the four tests of the *Planning Act* and have no objection. Staff recommend that the Committee consider public input in reaching a decision.

Appendix A

The onus is ultimately on the Applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the *Planning Act* required for the granting of minor variances.

File: 24.179085.000.00.MNV

satisfy the tests of the

Date: 9/5/2024

MM/DD/YY

Please refer to Appendix "C" for conditions to be attached to any approval of this application.

PREPARED BY:



Barton Leung, Senior Planner, Central District

REVIEWED BY:



Melissa Leung, RPP MCIP, Senior Planner, Central District

File Path: Amanda\File\ 24 179085 \Documents\District Team Comments Memo

APPENDICES

Appendix "A" – Aerial Photo

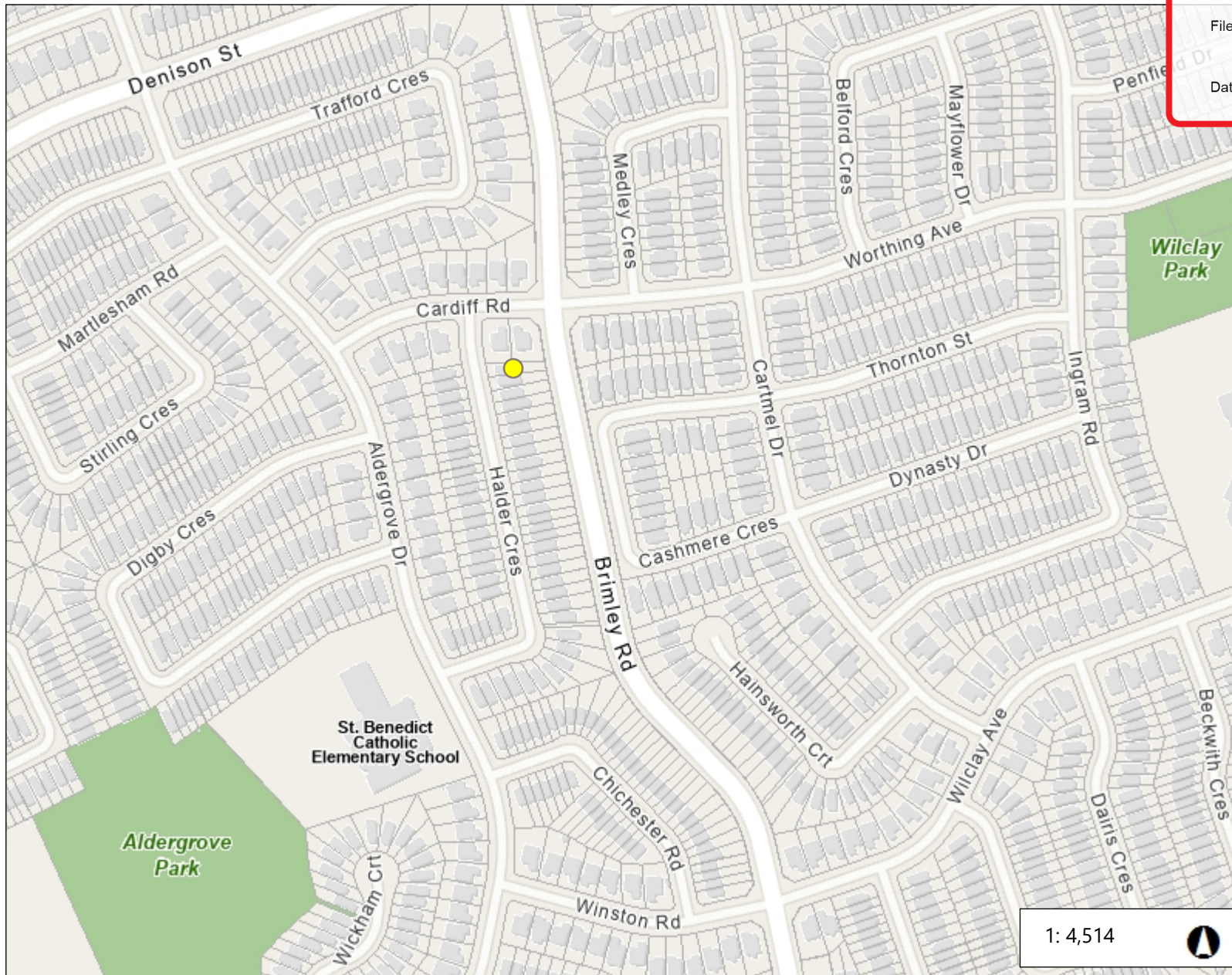
Appendix "B" – Plans

Appendix "C" – Conditions

Appendix A

File: 24.179085.000.00.MNV

Date: 9/5/2024
MM/DD/YY



Legend

- Subject Lands
70 Halder Crescent
- Parks

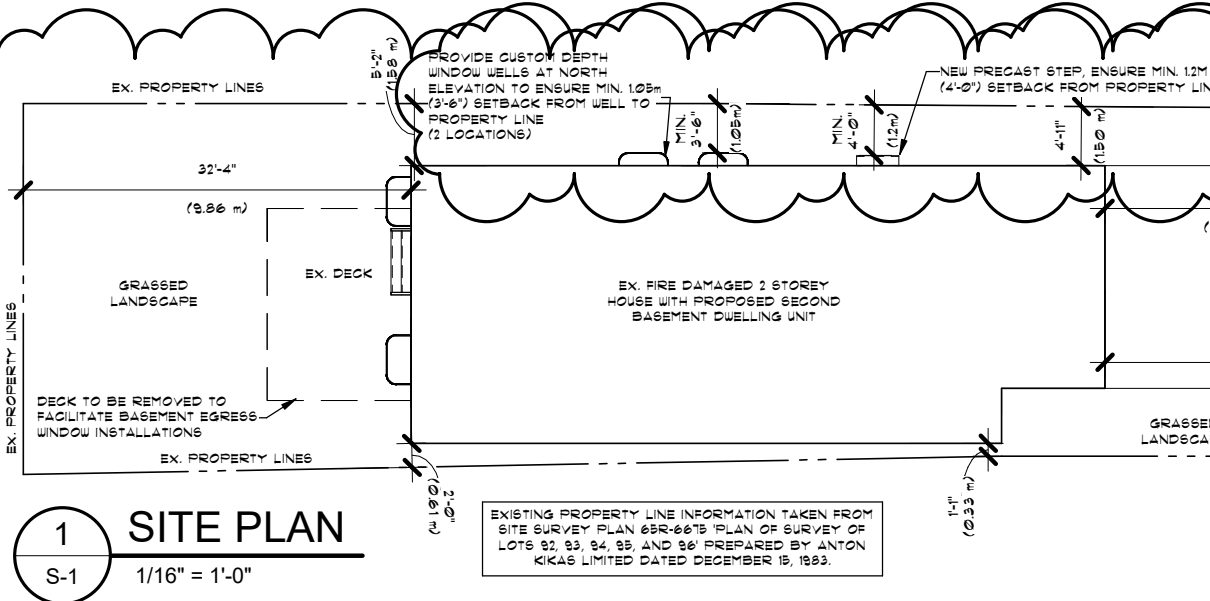
1:4,514

229.3 0 114.66 229.3 Meters

Notes

GENERAL NOTES: 1. ALL DIMENSIONS ARE APPROXIMATE AND SUBJECT TO CORRECTION. 2. ALL DIMENSIONS SHOWN ON THESE DRAWINGS ARE IN FEET AND INCHES... NEW FOOTINGS, FOUNDATIONS AND CONCRETE SLABS: 1. FOOTINGS AND FOUNDATIONS SHALL BE AS PER UNDEVELOPED SOIL... NEW WINDOWS: 1. PROVIDE NEW WINDOWS OF THE HIGHEST POSSIBLE QUALITY AND WITH A MINIMUM 10 YEAR WARRANTY ON ALL PARTS INCLUDING GLAZING... NEW INSULATION NOTES: 1. PROVIDE A CONTINUOUS AIR/THERMAL/Acoustic BARRIER BETWEEN INTERIOR UNCONDITIONED AND EXTERIOR UNCONDITIONED SPACES... NEW STAIRS, GUARDS AND HANDRAILS: 1. STAIRS SHALL HAVE THE FOLLOWING MINIMUMS / MAXIMUMS: A. MAXIMUM RISE: 7 1/2" B. MINIMUM RUN: 11" C. MINIMUM HEADROOM: 8'0"

Appendix A
File: 24.179085.000.00.MNV
Date: 8/9/2024
MM/DD/YY

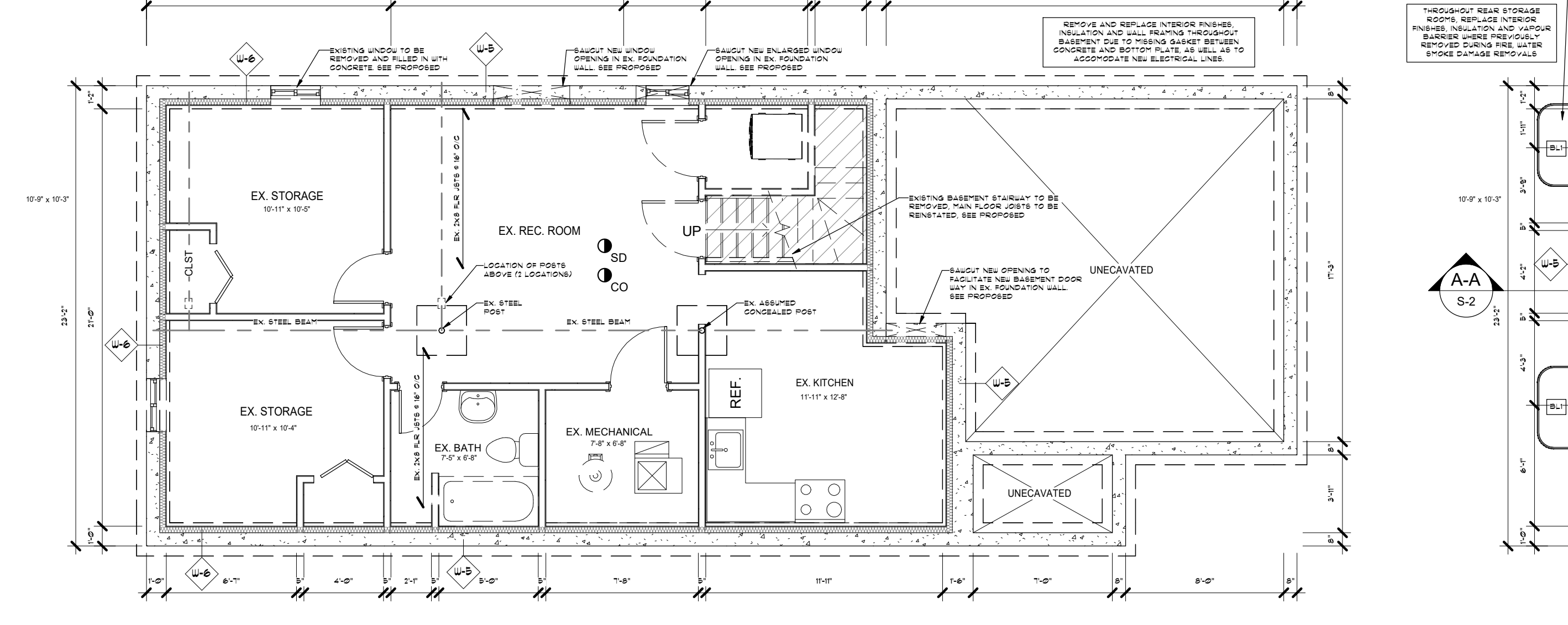


EXCAVATION AND BACKFILL: 1. EXCAVATION SHALL BE UNDERTAKEN IN SUCH A MANNER AS TO PREVENT DAMAGE TO EXISTING STRUCTURES, ADJACENT PROPERTIES AND UTILITIES... CONCRETE TESTS: CLASS. AIR ENTRAINMENT. COVER. STEP FOOTINGS: 30MPa N 0% 3/4" 12" FOUNDATION WALLS: 30MPa N 0% 3/4" 12" GARAGE FLOOR SLABS: 30MPa C-2 1.5% 1"

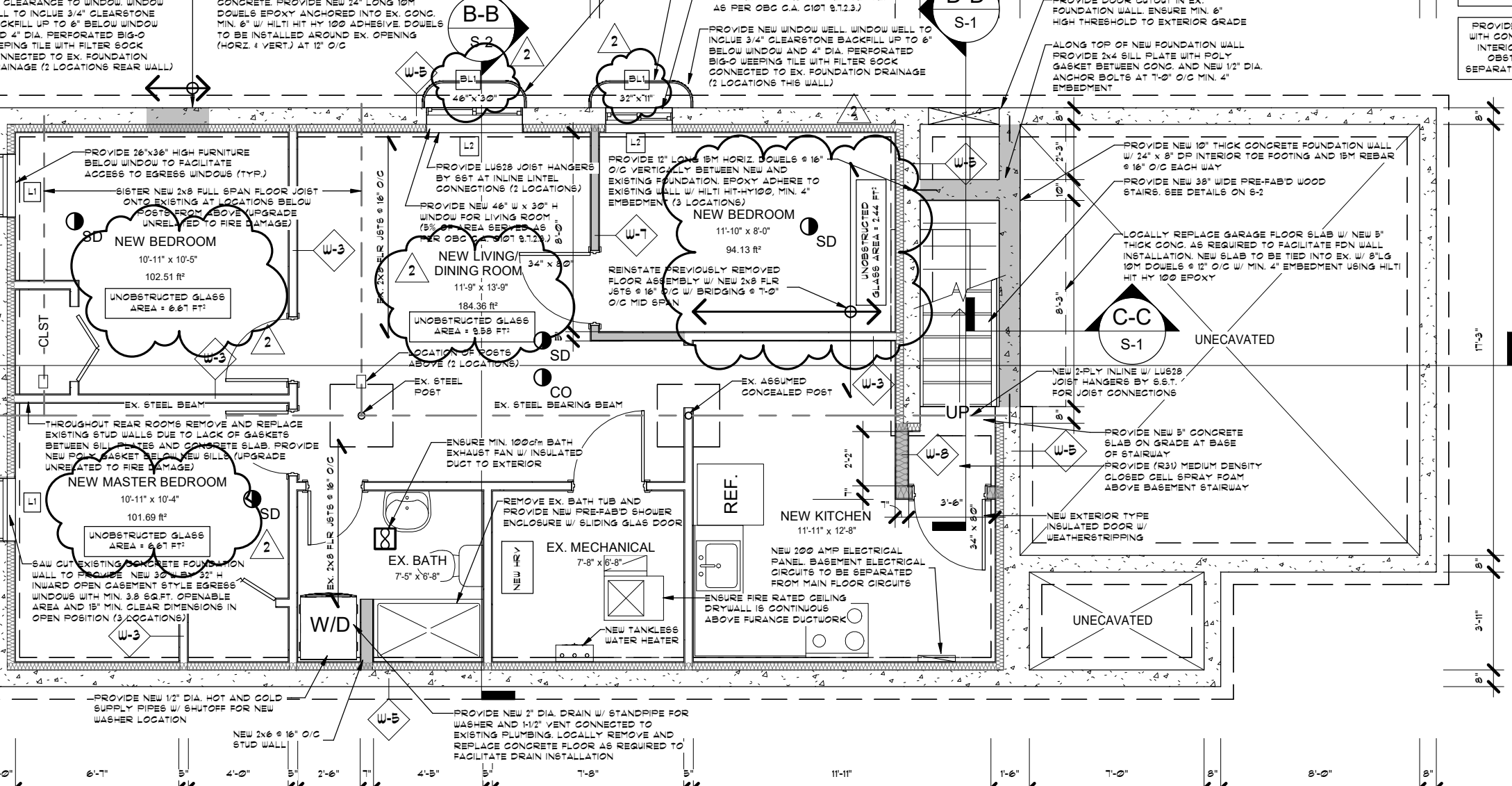
NEW WORK: 1. BRICK AND STONE MASONRY SHALL BE SUPPORTED BY STEEL LINTELS OVER OPENINGS... 2. PROVIDE TROWEL OR WELL APPLIED PROTECTION ON EXTERIOR CONCRETE SURFACES... 3. PROVIDE A MINIMUM 1/2" PROTECTIVE COAT OF PORTLAND CEMENT MORTAR OVER EXPOSED CONCRETE SURFACES...

SEPARATIONS NOTES: 1. ALL FIRE SEPARATIONS ARE TO BE CONTINUOUS FROM FLOOR TO CEILING BETWEEN SEPARATIONS. 2. THE LIMIT OF THE WALL SHALL BE CONTINUOUS FROM FLOOR TO CEILING... 3. ANY AND ALL JOINTS TO THIS WORK THAT PENETRATES A FIRE SEPARATION SHALL BE AS PER THE APPROVED FIRE DAMPER ASSEMBLY... 4. FIRE WALLS SHALL CONFORM TO SECTION 3.11 AS REQUIRED BY CURRENT CODE...

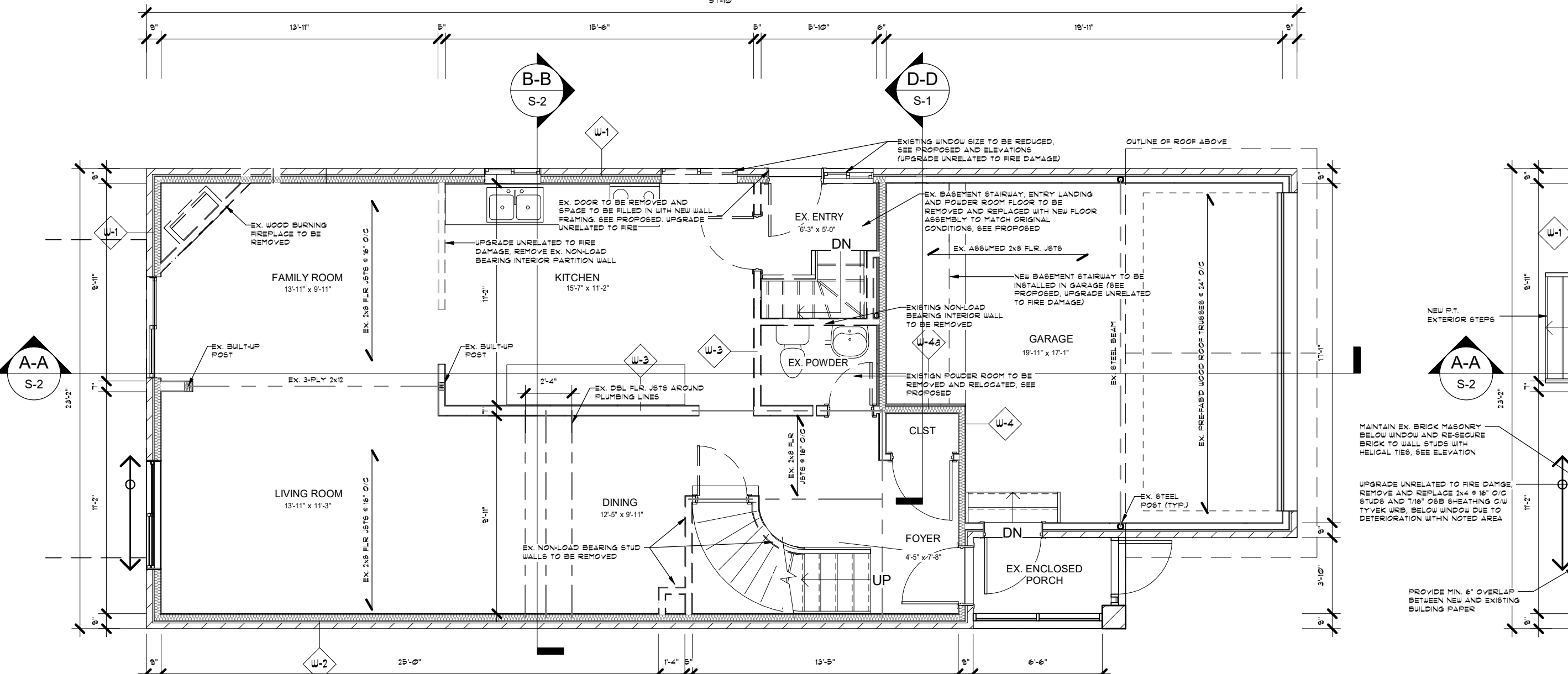
2 BASEMENT PLAN - EXISTING
S-1 3/16" = 1'-0"



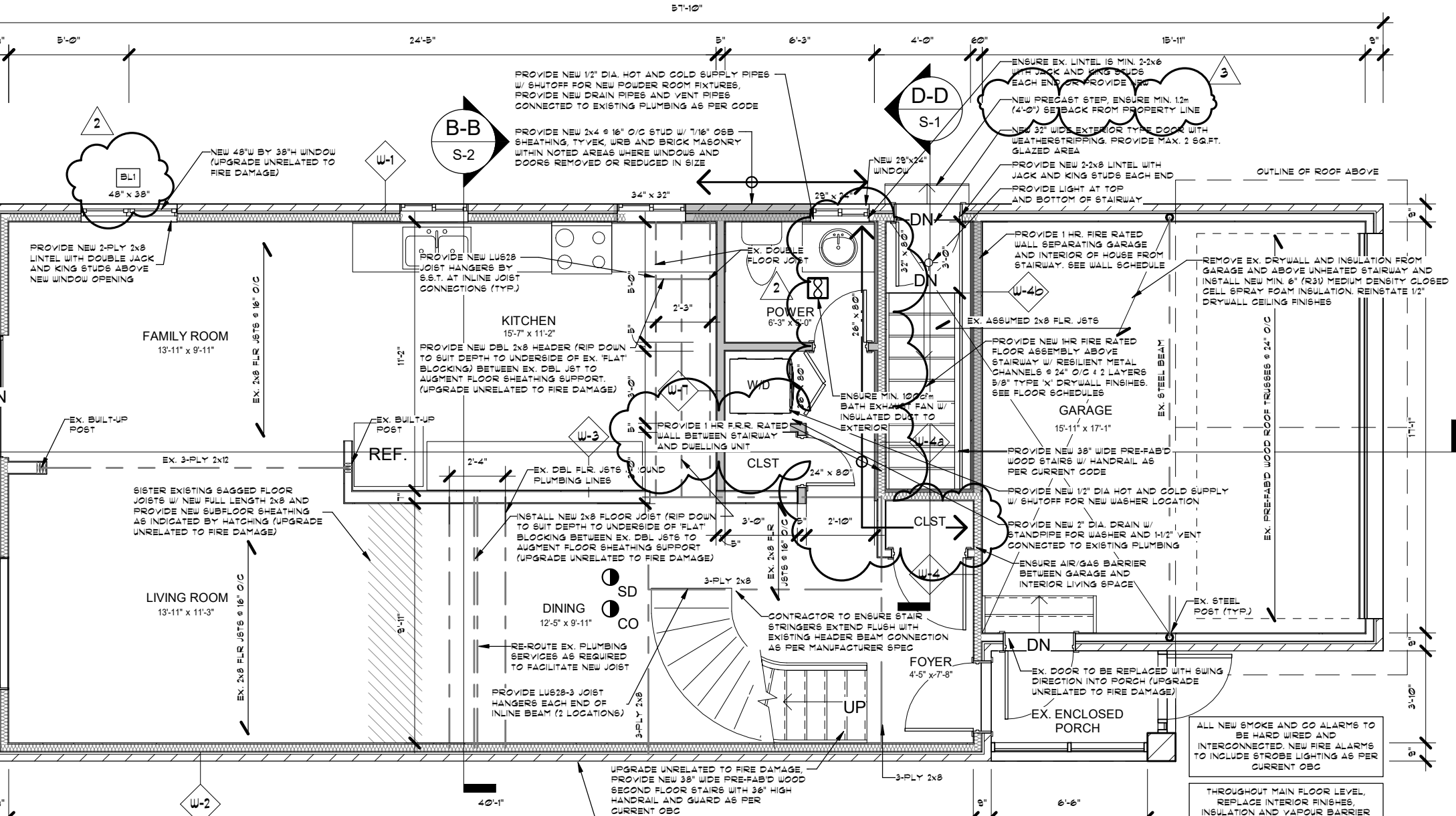
3 BASEMENT PLAN - PROPOSED
S-1 3/16" = 1'-0"



4 MAIN FLOOR PLAN - EXISTING
S-1 3/16" = 1'-0"



5 MAIN FLOOR PLAN - PROPOSED
S-1 3/16" = 1'-0"



WALL SCHEDULE: 1. EXTERIOR EXTENDED WALL: EX-100 CONCRETE FOUNDATION WALL WITH 2" POLYSTYRENE INSULATION BOARD AND 1/2" GYPSUM BOARD FINISH.

FLOOR AND ROOF SCHEDULE: 1. EXISTING ROOF ASSEMBLY: EX-100 EX OSB SHEATHING, EX-101 EX 2" POLYSTYRENE INSULATION BOARD, EX-102 NEW 1/2" POLYURETHANE BARRIER, EX-103 NEW 1/2" DRYWALL FINISH.

2. EXISTING SECOND FLOOR ASSEMBLY: EX-200 EX OSB SHEATHING, EX-201 EX 2" POLYSTYRENE INSULATION BOARD, EX-202 NEW 1/2" POLYURETHANE BARRIER, EX-203 NEW 1/2" DRYWALL FINISH.

3. EXISTING INTERIOR WALL: EX-300 EX 1/2" GYPSUM BOARD FINISH ON EX-301 EX 1/2" POLYSTYRENE INSULATION BOARD ON EX-302 EX CONCRETE FOUNDATION WALL.

4. EXISTING EXTERIOR WALL: EX-400 EX 1/2" GYPSUM BOARD FINISH ON EX-401 EX 1/2" POLYSTYRENE INSULATION BOARD ON EX-402 EX CONCRETE FOUNDATION WALL.

5. NEW OVERHANG WALL WITH F.F.R. AND 1/2" GYPSUM BOARD FINISH: EX-500 EX 1/2" GYPSUM BOARD FINISH ON EX-501 EX 1/2" POLYSTYRENE INSULATION BOARD ON EX-502 EX CONCRETE FOUNDATION WALL.

6. EXISTING FOUNDATION WALL: EX-600 EX 1/2" GYPSUM BOARD FINISH ON EX-601 EX 1/2" POLYSTYRENE INSULATION BOARD ON EX-602 EX CONCRETE FOUNDATION WALL.

7. NEW INTERIOR WALL: EX-700 EX 1/2" GYPSUM BOARD FINISH ON EX-701 EX 1/2" POLYSTYRENE INSULATION BOARD ON EX-702 EX CONCRETE FOUNDATION WALL.

8. NEW BASEMENT EXTERIOR WALL WITH STAIRWELL: EX-800 EX 1/2" GYPSUM BOARD FINISH ON EX-801 EX 1/2" POLYSTYRENE INSULATION BOARD ON EX-802 EX CONCRETE FOUNDATION WALL.

9. EXISTING FOUNDATION WALL: EX-900 EX 1/2" GYPSUM BOARD FINISH ON EX-901 EX 1/2" POLYSTYRENE INSULATION BOARD ON EX-902 EX CONCRETE FOUNDATION WALL.

10. NEW INTERIOR WALL: EX-1000 EX 1/2" GYPSUM BOARD FINISH ON EX-1001 EX 1/2" POLYSTYRENE INSULATION BOARD ON EX-1002 EX CONCRETE FOUNDATION WALL.

11. NEW BASEMENT EXTERIOR WALL WITH STAIRWELL: EX-1100 EX 1/2" GYPSUM BOARD FINISH ON EX-1101 EX 1/2" POLYSTYRENE INSULATION BOARD ON EX-1102 EX CONCRETE FOUNDATION WALL.

12. EXISTING FOUNDATION WALL: EX-1200 EX 1/2" GYPSUM BOARD FINISH ON EX-1201 EX 1/2" POLYSTYRENE INSULATION BOARD ON EX-1202 EX CONCRETE FOUNDATION WALL.

13. NEW INTERIOR WALL: EX-1300 EX 1/2" GYPSUM BOARD FINISH ON EX-1301 EX 1/2" POLYSTYRENE INSULATION BOARD ON EX-1302 EX CONCRETE FOUNDATION WALL.

14. NEW BASEMENT EXTERIOR WALL WITH STAIRWELL: EX-1400 EX 1/2" GYPSUM BOARD FINISH ON EX-1401 EX 1/2" POLYSTYRENE INSULATION BOARD ON EX-1402 EX CONCRETE FOUNDATION WALL.

15. EXISTING FOUNDATION WALL: EX-1500 EX 1/2" GYPSUM BOARD FINISH ON EX-1501 EX 1/2" POLYSTYRENE INSULATION BOARD ON EX-1502 EX CONCRETE FOUNDATION WALL.

16. NEW INTERIOR WALL: EX-1600 EX 1/2" GYPSUM BOARD FINISH ON EX-1601 EX 1/2" POLYSTYRENE INSULATION BOARD ON EX-1602 EX CONCRETE FOUNDATION WALL.

17. NEW BASEMENT EXTERIOR WALL WITH STAIRWELL: EX-1700 EX 1/2" GYPSUM BOARD FINISH ON EX-1701 EX 1/2" POLYSTYRENE INSULATION BOARD ON EX-1702 EX CONCRETE FOUNDATION WALL.

18. EXISTING FOUNDATION WALL: EX-1800 EX 1/2" GYPSUM BOARD FINISH ON EX-1801 EX 1/2" POLYSTYRENE INSULATION BOARD ON EX-1802 EX CONCRETE FOUNDATION WALL.

19. NEW INTERIOR WALL: EX-1900 EX 1/2" GYPSUM BOARD FINISH ON EX-1901 EX 1/2" POLYSTYRENE INSULATION BOARD ON EX-1902 EX CONCRETE FOUNDATION WALL.

20. NEW BASEMENT EXTERIOR WALL WITH STAIRWELL: EX-2000 EX 1/2" GYPSUM BOARD FINISH ON EX-2001 EX 1/2" POLYSTYRENE INSULATION BOARD ON EX-2002 EX CONCRETE FOUNDATION WALL.

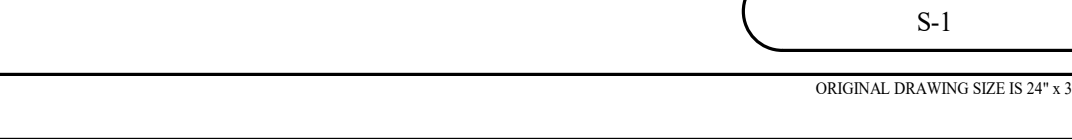
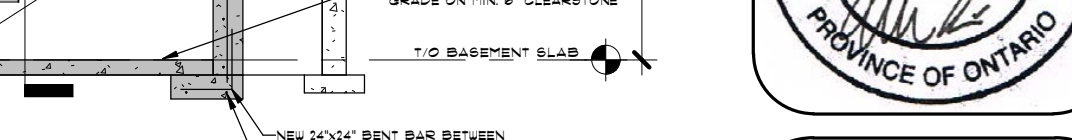
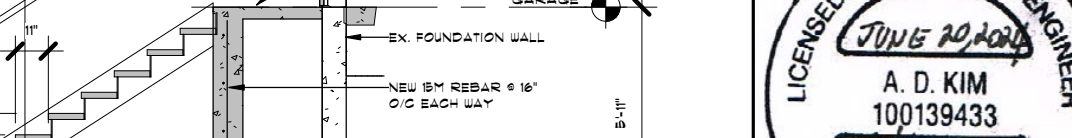
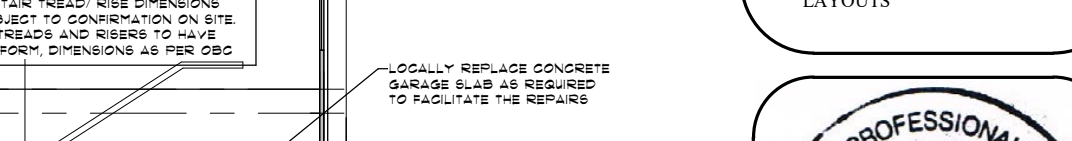
21. EXISTING FOUNDATION WALL: EX-2100 EX 1/2" GYPSUM BOARD FINISH ON EX-2101 EX 1/2" POLYSTYRENE INSULATION BOARD ON EX-2102 EX CONCRETE FOUNDATION WALL.

22. NEW INTERIOR WALL: EX-2200 EX 1/2" GYPSUM BOARD FINISH ON EX-2201 EX 1/2" POLYSTYRENE INSULATION BOARD ON EX-2202 EX CONCRETE FOUNDATION WALL.

23. NEW BASEMENT EXTERIOR WALL WITH STAIRWELL: EX-2300 EX 1/2" GYPSUM BOARD FINISH ON EX-2301 EX 1/2" POLYSTYRENE INSULATION BOARD ON EX-2302 EX CONCRETE FOUNDATION WALL.

24. EXISTING FOUNDATION WALL: EX-2400 EX 1/2" GYPSUM BOARD FINISH ON EX-2401 EX 1/2" POLYSTYRENE INSULATION BOARD ON EX-2402 EX CONCRETE FOUNDATION WALL.

25. NEW INTERIOR WALL: EX-2500 EX 1/2" GYPSUM BOARD FINISH ON EX-2501 EX 1/2" POLYSTYRENE INSULATION BOARD ON EX-2502 EX CONCRETE FOUNDATION WALL.



Appendix A
File: 24.179085.000.00.MNV
Date: 8/9/2024
MM/DD/YY

Date: APR 12/24
Scale: As indicated
Drawn By: M.A. CARROLL
Reviewed By: A.K./S.M.

Project: HALDER70 adj-r-1
Drawing No: S-1

ORIGINAL DRAWING SIZE IS 24" x 36"

Appendix A

File: 24.179085.000.00.MNV

Date: 9/5/2024
MM/DD/YY

APPENDIX "C"

CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/065/24

1. The variances apply only to the proposed development as long as it remains.
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as 'Appendix B' to this Staff Report, and that the Secretary-Treasurer receive written confirmation from the Supervisor of the Committee of Adjustment or designate that this condition has been fulfilled to their satisfaction.

CONDITIONS PREPARED BY:



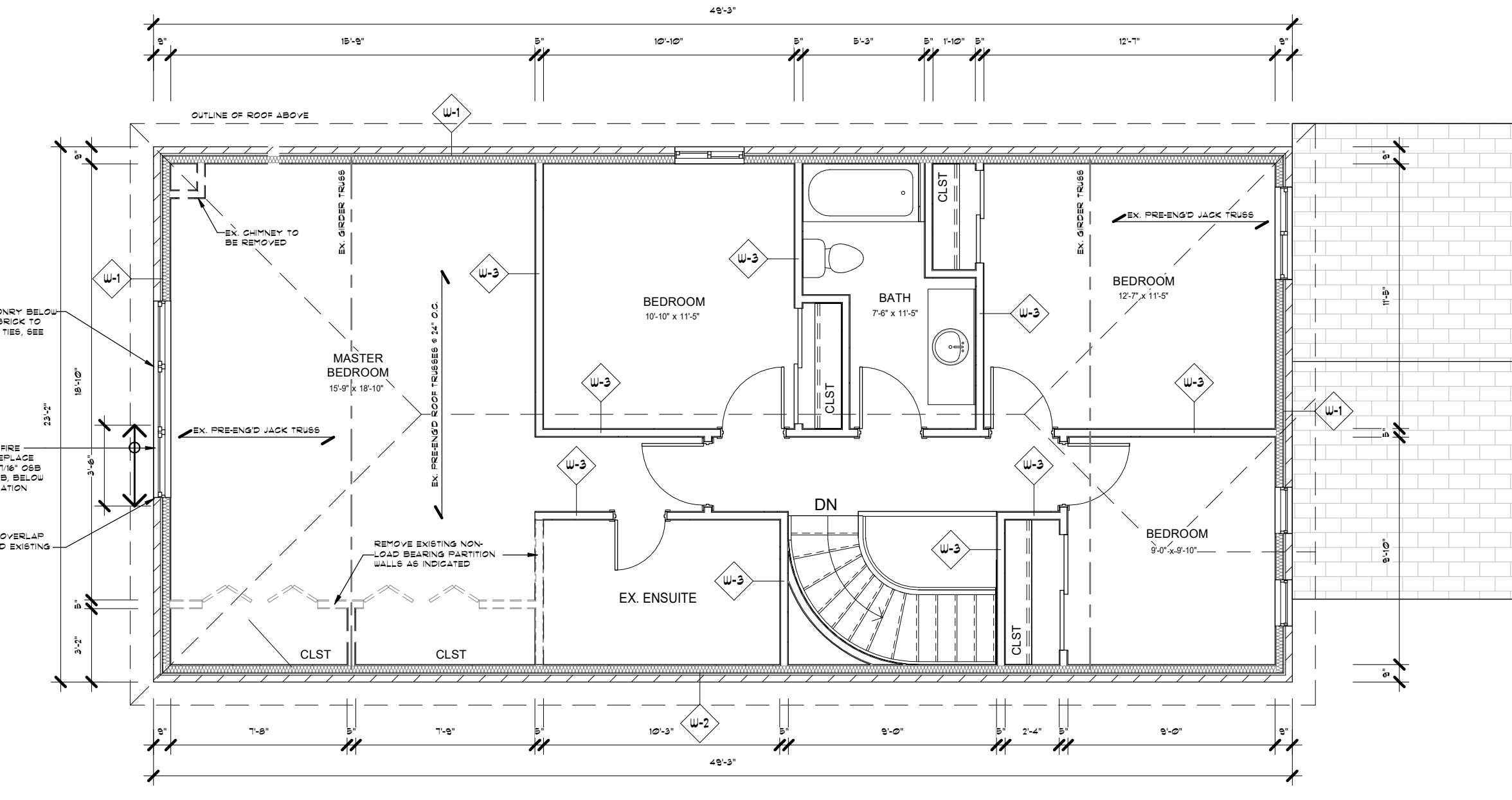
Barton Leung, Senior Planner, Planning and Urban Design Department

Appendix B

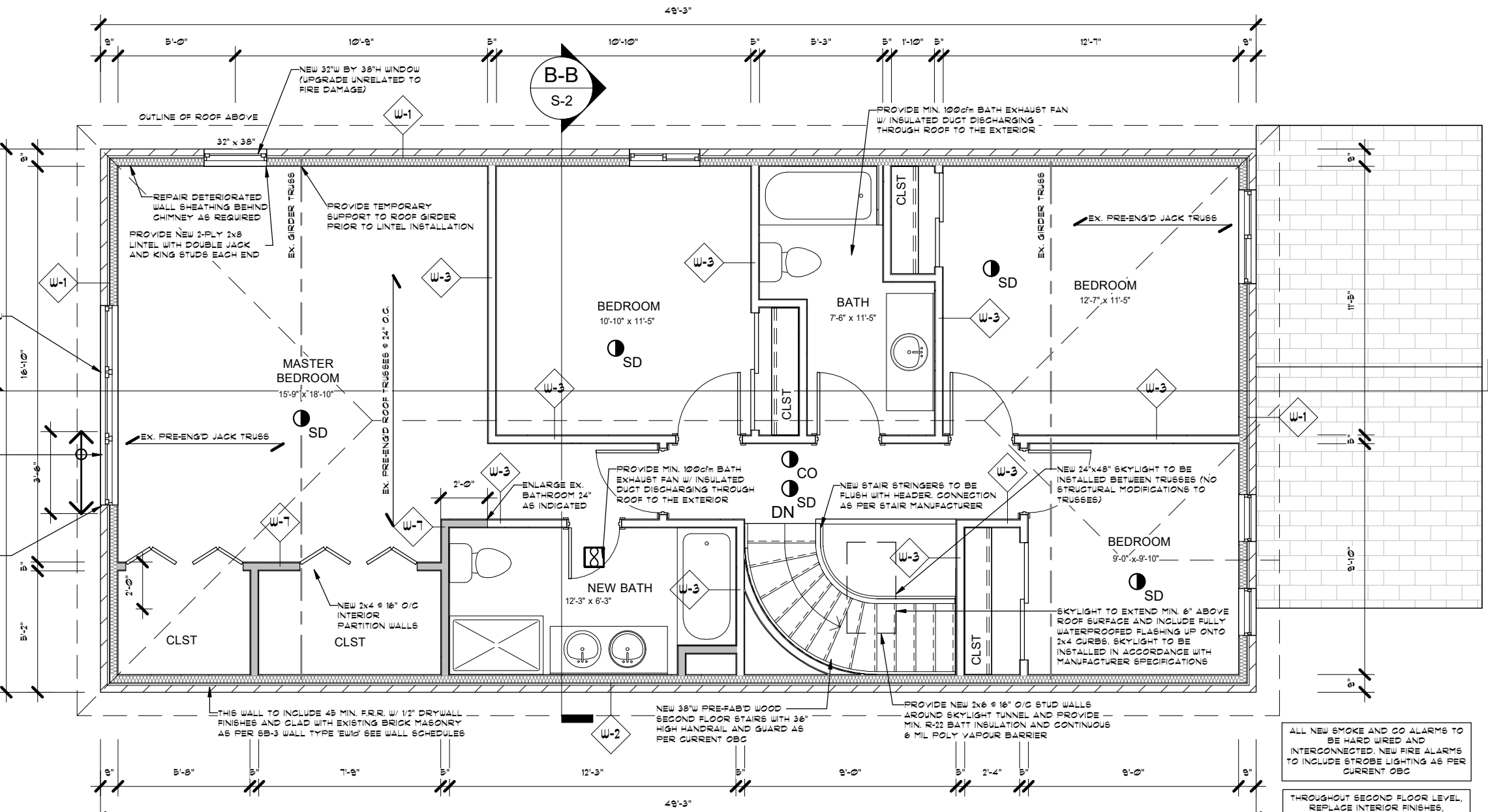
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Date: 9/5/2024

MM/DD/YY

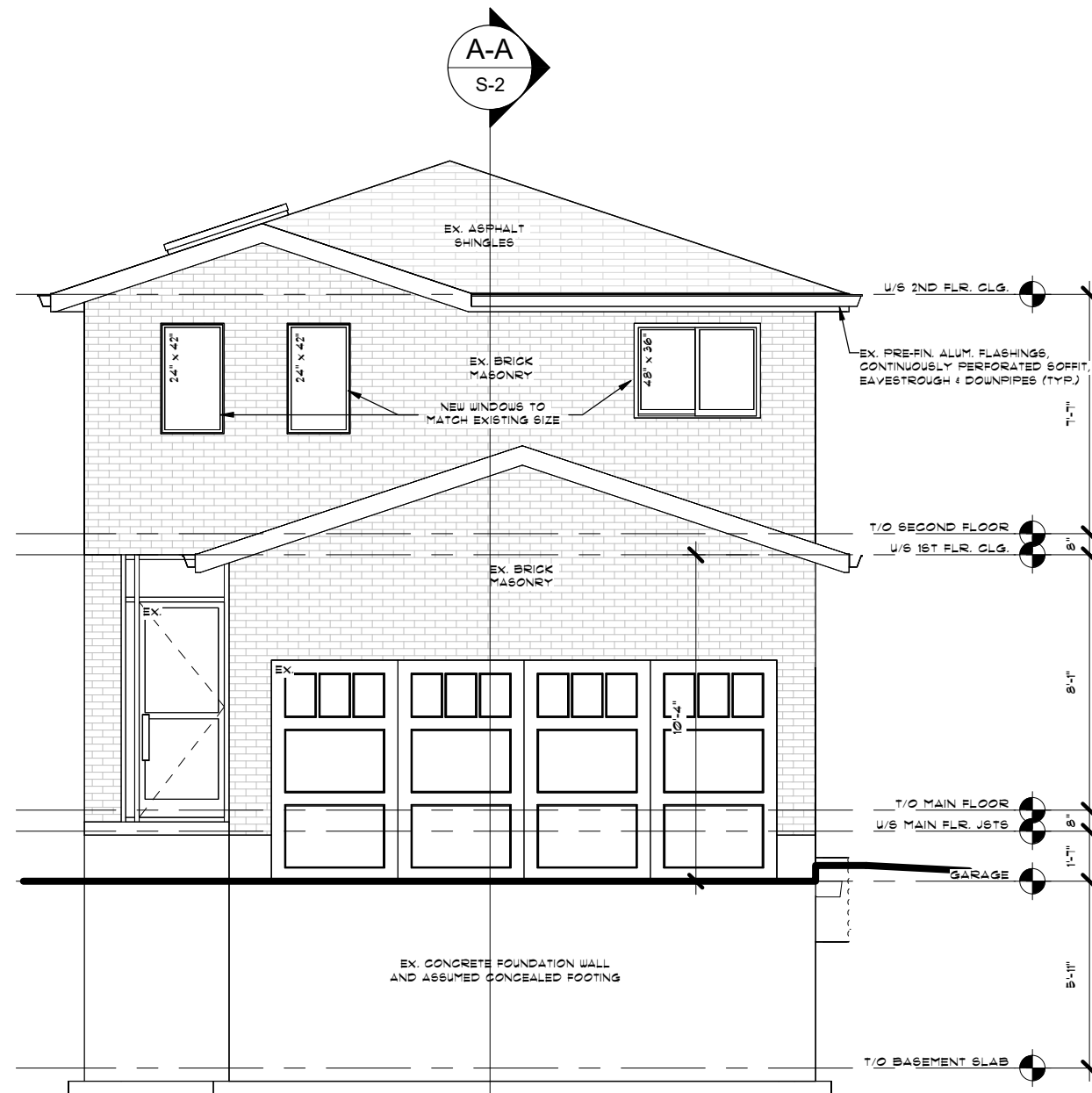


6 SECOND FLOOR PLAN - EXISTING
S-2 3/16" = 1'-0"

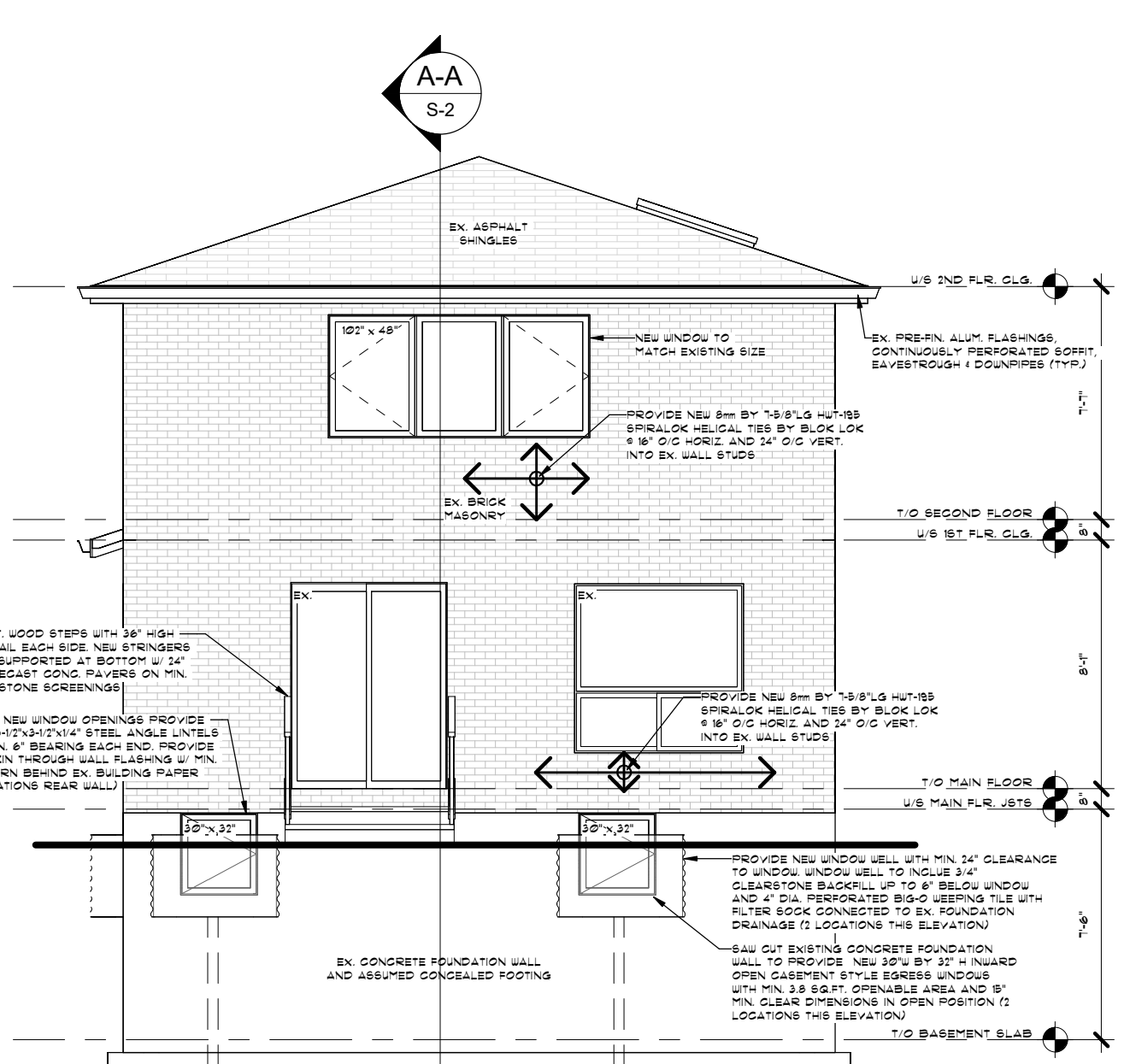


7 SECOND FLOOR PLAN - PROPOSED
S-2 3/16" = 1'-0"

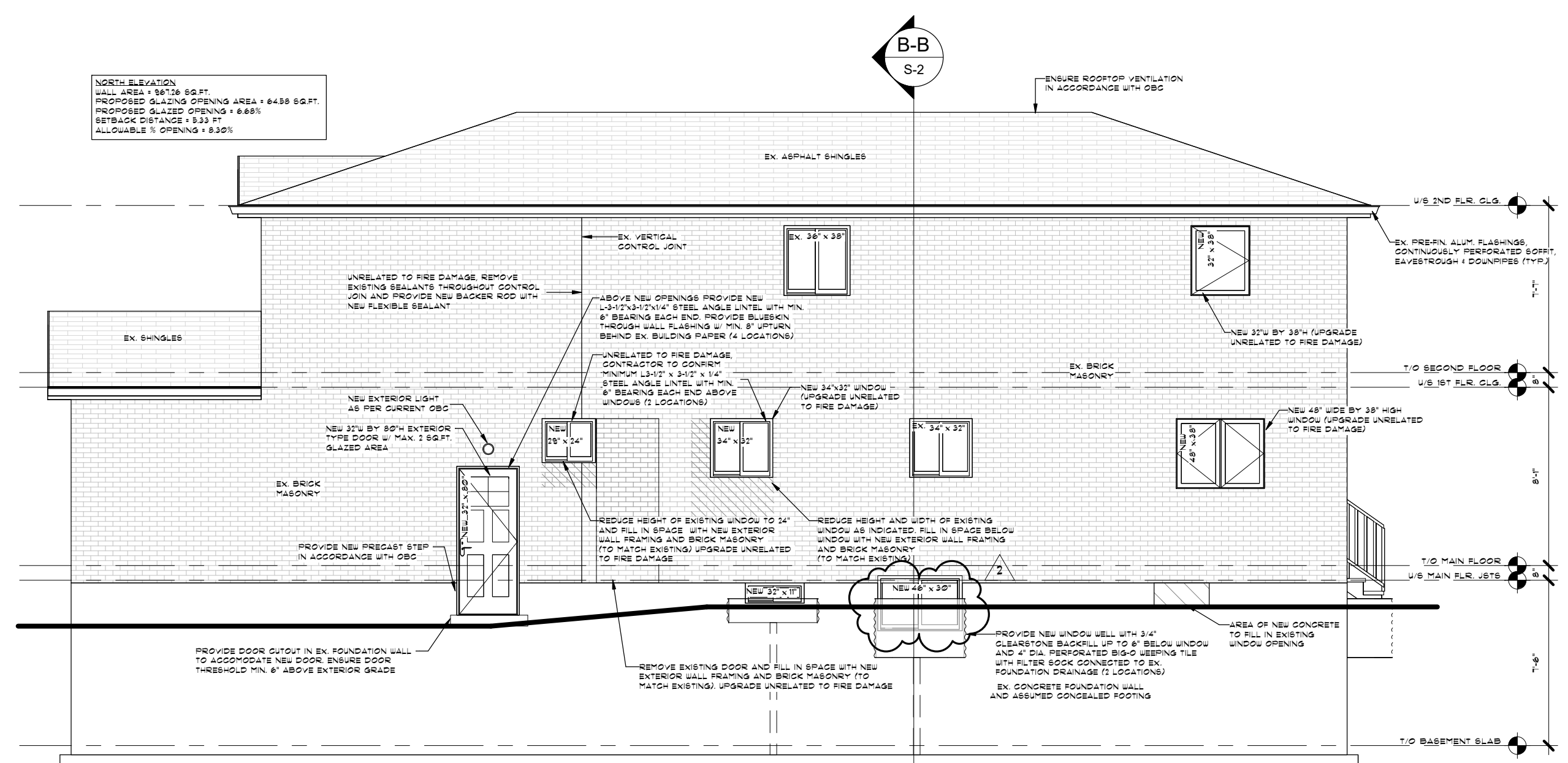
5 TYPICAL SOFFIT VENTILATION DETAIL
S-2 1/2" = 1'-0"



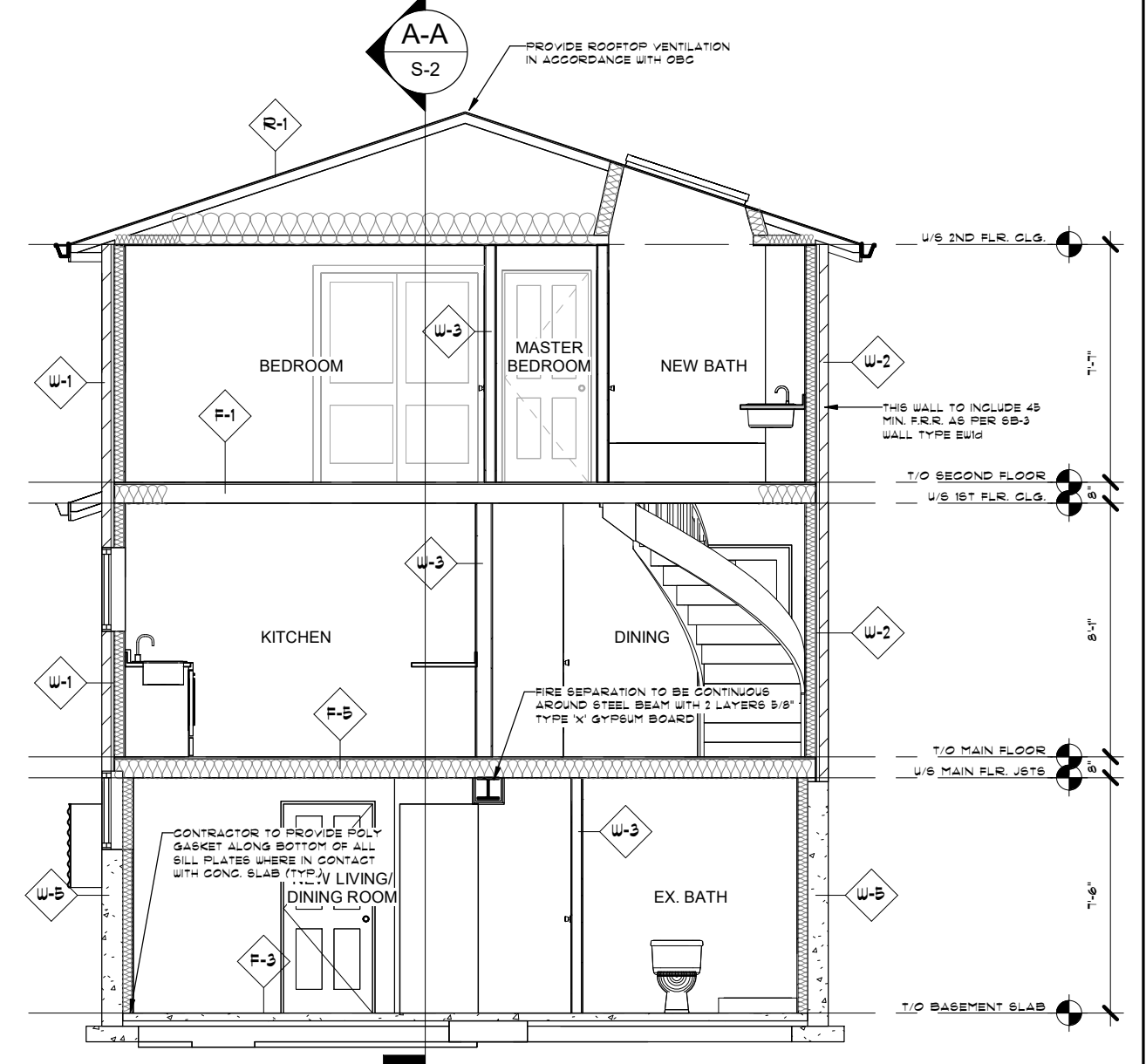
1 EAST ELEVATION
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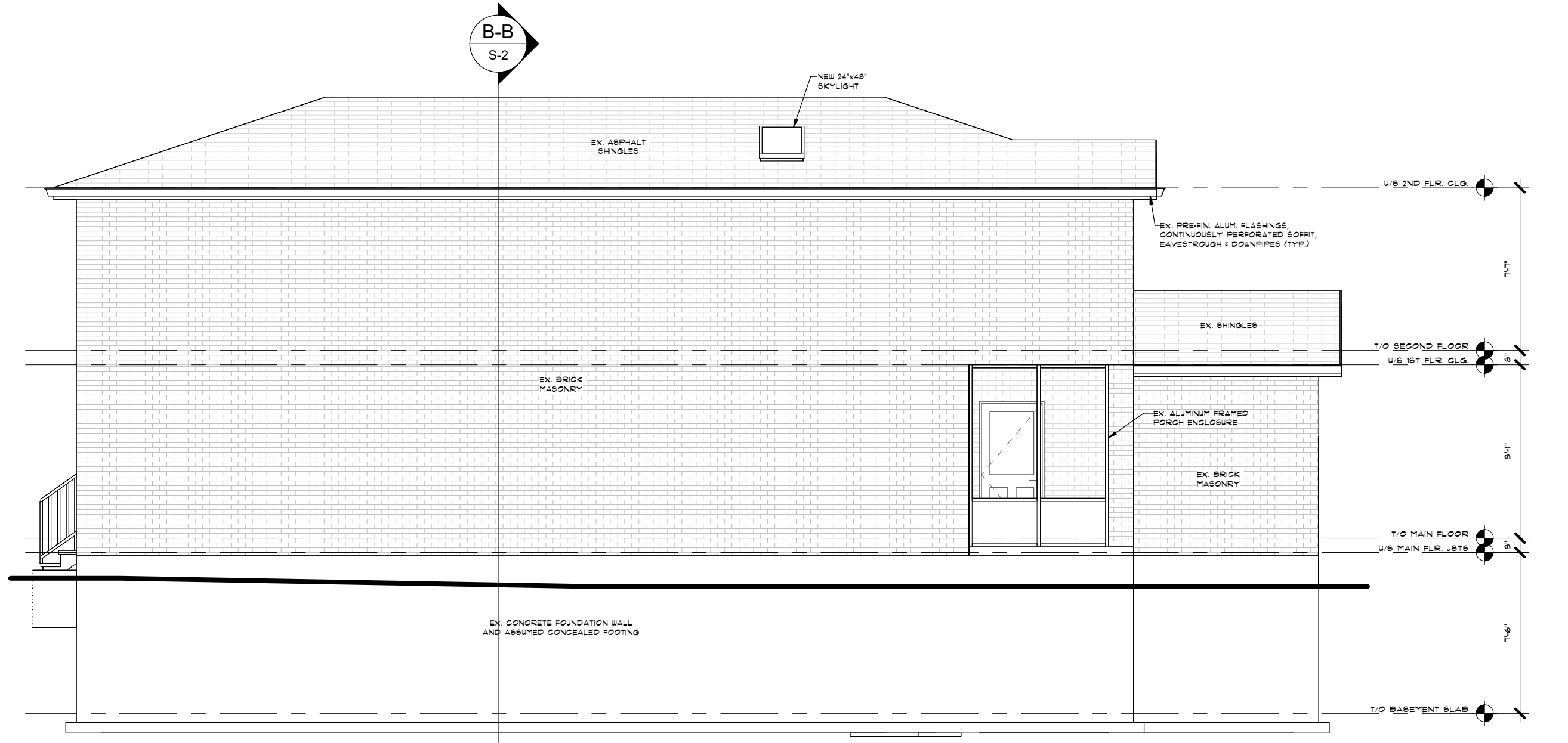
2 WEST ELEVATION
S-2 3/16" = 1'-0"



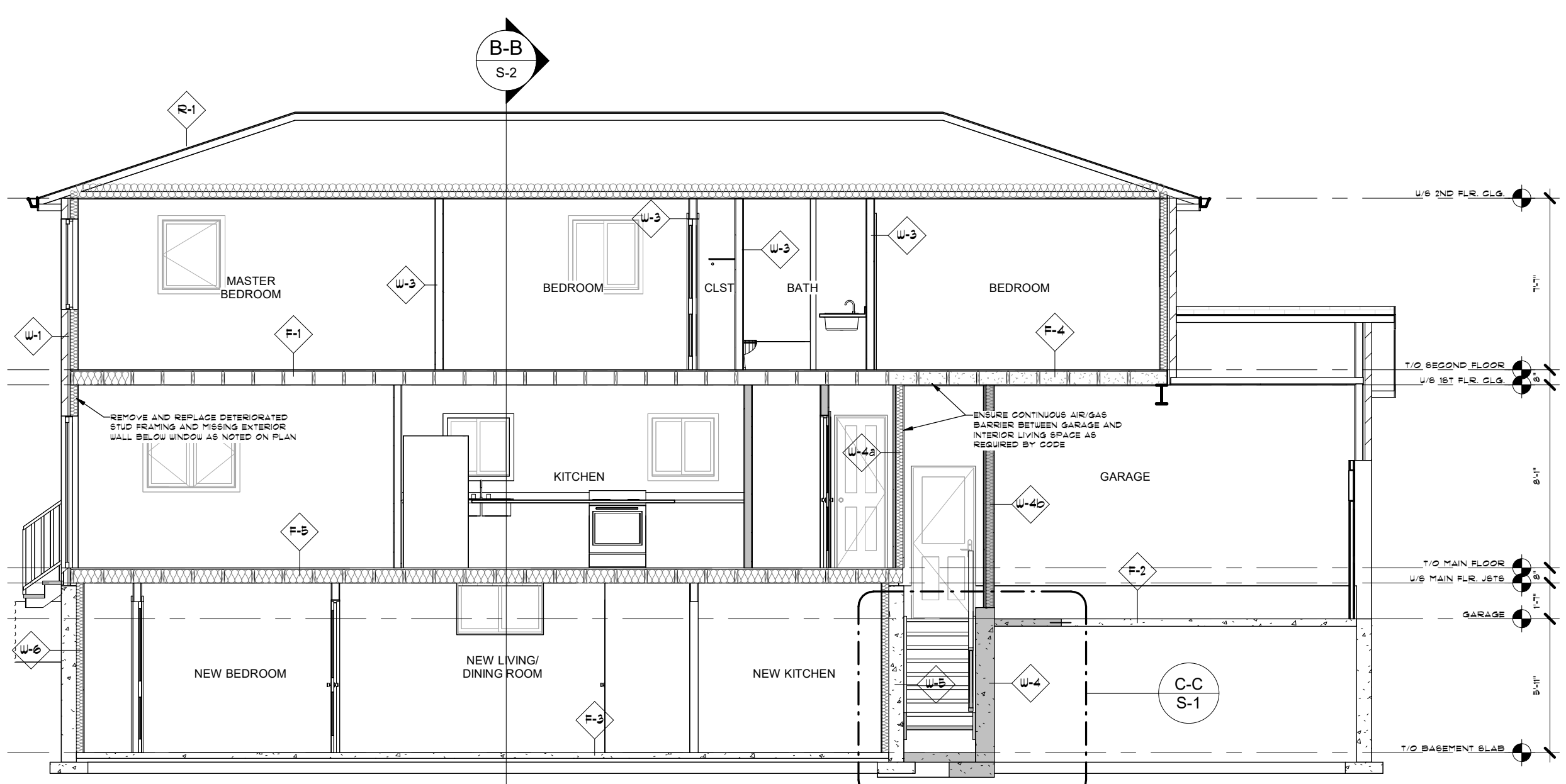
3 NORTH ELEVATION
S-2 3/16" = 1'-0"



B-B BUILDING SECTION B-B
S-2 3/16" = 1'-0"



4 SOUTH ELEVATION
S-2 3/16" = 1'-0"



A-A BUILDING SECTION A-A
S-2 3/16" = 1'-0"

Notes:

- REFER TO DRAWING S-1 FOR GENERAL NOTES

REV.	COMMENTS	DATE
1	ISSUED FOR PERMIT	APR 12/24
2	REVISED PER CITY COMMENT	MAY 20/24
3	REVISED PER CITY COMMENT	JUN 20/24
4	REVISED PER CITY COMMENT	MAY 20/24

Project: FIRE DAMAGE REPAIRS & INTERIOR ALTERATIONS
70 HALDER CRESCENT
MARKHAM, ONTARIO

Title: ELEVATIONS & BUILDING SECTIONS



DRAWINGS ARE NOT FOR CONSTRUCTION UNLESS STAMPED BY AN ENGINEER OR APPROVED BY A DESIGNER BEARING A BCN NUMBER AND SIGNATURE

Date: APR 12/24
Scale: As indicated
Drawn By: M.A. CARROLL
Reviewed By: A.K./S.M.

Project No: HALDER70.adj/r-1

Drawing No: S-2

APPENDIX "C"

CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/065/24

1. The variances apply only to the proposed development as long as it remains;
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as 'Appendix B' to this Staff Report, and that the Secretary-Treasurer receive written confirmation from the Supervisor of the Committee of Adjustment or designate that this condition has been fulfilled to their satisfaction.

CONDITIONS PREPARED BY:

A handwritten signature in black ink, appearing to read 'YCL' or similar, written in a cursive style.

Barton Leung, Senior Planner, Planning and Urban Design Department