

Memorandum to the City of Markham Committee of Adjustment

August 8, 2024

File: A/041/24
Address: 12 Thomas Reid Road, Markham
Applicant: Arrow Architecture Ltd. (Alex Wu)
Hearing Date: Wednesday, August 14, 2024

The following comments are provided on behalf of the West District Team.

On January 31, 2024, City of Markham Council enacted Comprehensive Zoning By-law 2024-19. As By-law 2024-19 is currently under appeal with the Ontario Land Tribunal (OLT), any Applications under Section 45 of the *Planning Act* that do not benefit from the transition clauses under Section 1.7 of By-law 2024-19 must comply with By-law 2024-19 and any previous By-laws in effect. As such, the applicant is requesting relief from the following “Single Family Rural (RRH)” zone requirements of By-law 83-73 and “Residential Established Neighbourhood Low Rise (RES-ENLR)”, as amended, to permit:

a) By-law 2024-19, Section 6.3.2.2.m):

a maximum projection of 6.9 metres of an attached private garage beyond the main wall of the building, whereas the by-law permits a maximum projection of 1.8 metres;

b) By-law 2024-19, Section 6.3.2.2.f):

a minimum average front yard setback of the neighbouring lots of 12.2 metres, whereas the by-law requires the average front yard setback to be a minimum of 13.75 metres;

c) By-law 2014-19, Section 6.3.2.2.i):

a minimum combined interior side yards of 6.6 metres, whereas the by-law requires a minimum of 25 percent of the lot width (7.5 metres);

as it relates to a proposed garage extension.

BACKGROUND

Property Description

The 2,714 m² (29,213 ft²) Subject Lands are located on the west side of Thomas Reid Road, east of Victoria Square Boulevard, and north of Elgin Mills Road East (refer to Appendix “A” – Aerial Photo). The Subject Lands are located within an established residential neighbourhood comprised of two-storey detached dwellings. Mature vegetation exists across the property with several mature trees in the front yard and rear yards. There is an existing 257.60 m² (2,773.78 ft²) two-storey detached dwelling on the Subject Lands which was constructed in 1977, according to assessment records.

Proposal

The Applicant is proposing to increase the size of the existing two-car garage to a four-car garage, as shown in Appendix “B”.

Application History

The application was deferred by the Committee of Adjustment (the “Committee”) at the June 19, 2024 hearing, to provide the Applicant an opportunity to address Committee’s and/or Staff’s concerns. In resubmitting the application, the Applicant has made changes to the proposal or the requested variance(s) on the basis of Committee’s and/or Staff’s comments. The applicant has added the combined side yards variance which was excluded in the original submission.

Zoning Preliminary Review (ZPR) Not Undertaken

The Applicant has confirmed that a Zoning Preliminary Review (ZPR) has not been conducted. However, the Applicant has received comments from the building department through their permit process (HP 2024 166262) to confirm the variances required for the proposed development.

COMMENTS

The Planning Act states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained;
- d) The general intent and purpose of the Official Plan must be maintained.

The variances are entirely attributable to the one-storey garage extension, as no changes are proposed to the existing principle building. Any modification to the existing garage is constrained by a pool to the rear, a side yard setback of 4.2 metres and the existing garage being attached to the principle building.

Staff note from a streetscape perspective the proposed garage would continue to appear as a two-car garage given the tandem parking spaces proposed and that it is not uncommon, given the large lot frontages in the area, for three-car garages to be visible from the street. There are several examples of this along Thomas Reid Road. Staff are therefore of the opinion that the proposal will not detract from the overall character of the neighbourhood and the development remains compatible with the surrounding built environment.

PUBLIC INPUT SUMMARY

No written submissions were received as of August 8, 2024. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

APPENDIX “C” – A/041/24 Conditions of Approval

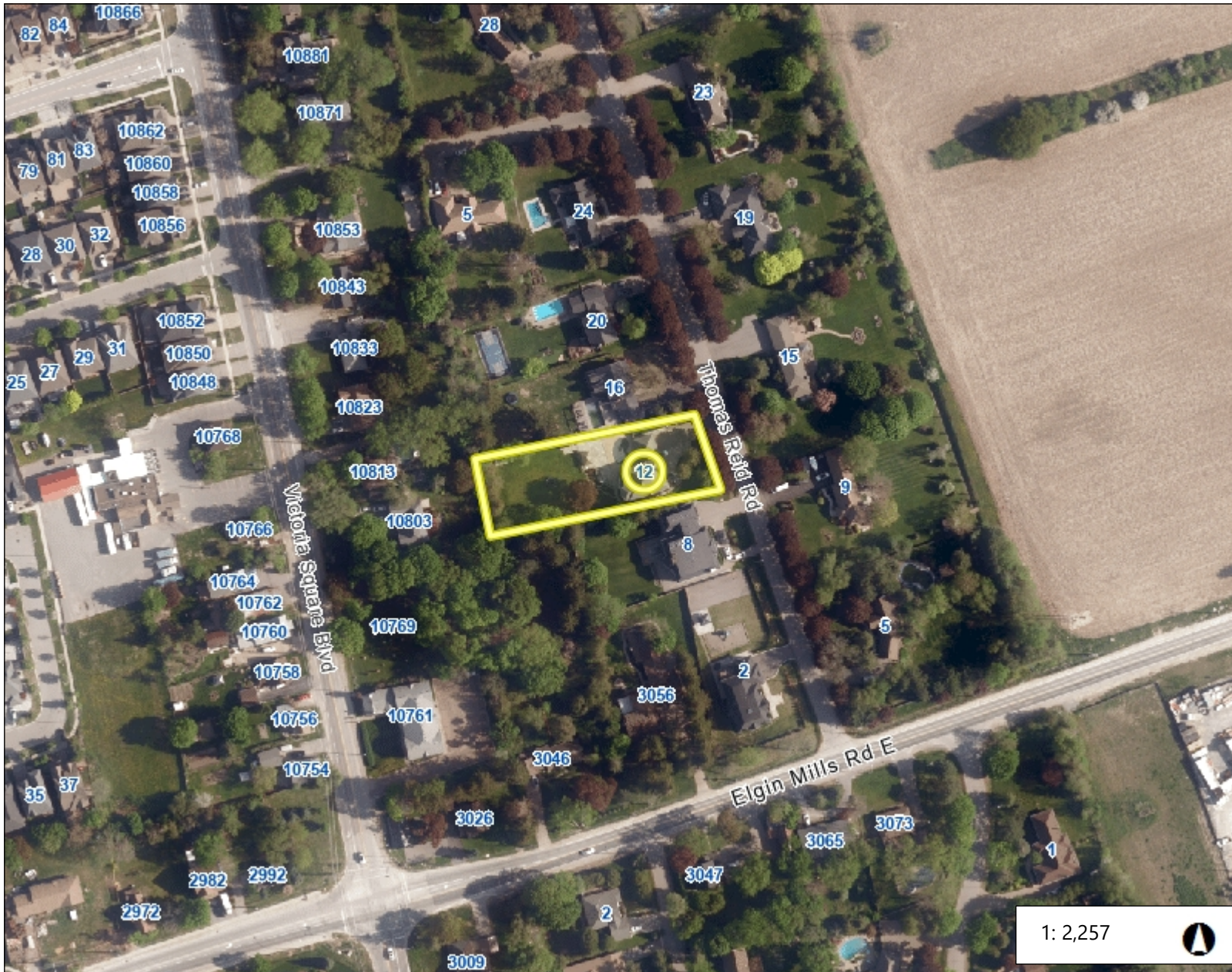
CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/041/24

1. The variances apply only to the proposed development as long as it remains; and
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as Appendix “B” to this Staff Report, and that the Secretary-Treasurer receive written confirmation from the Supervisor of the Committee of Adjustment or designate that this condition has been fulfilled to his or her satisfaction.

CONDITIONS PREPARED BY:



Hussnain Mohammad, Planner 1, Development Facilitation Office



Legend

Aerial 2023

- Red: Band_1
- Green: Band_2
- Blue: Band_3

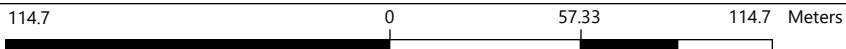
Parcel

- Park Facility

Parks

- Under Development
- <all other values>

1:2,257



Notes

Applicable Zoning By-law: (both parent zoning by-laws apply)

Property Roll Number: 1936020160480140000
 Zoning By-law: **By-law 83-73** as amended
 Zoning Designation (Zone): **RRH - Single Detached Rural under By-law 83-73**
 Official Plan Designation: Residential Low Rise

Min. Lot Frontage: 100'
 Min. Front Yard Setback: 25'
 Min. Rear Yard Setback: 25'
 Min. Side Yard Setback: 10'
 Max. Building Height: 35'

Property Roll Number: 1936020160480140000
 Zoning By-law: **By-law 2024-19**
 Zoning Designation (Zone): **RES-ENLR (Residential Established Neighbourhood Low Rise) under by-law 2024-19**
 Official Plan Designation: Residential Low Rise

Min. Lot Frontage: The greater of 23.0 metres or the average lot frontage of the two neighbouring lots
 Min. Front Yard Setback: The average front yard setback of the neighbouring lots
 Min. Rear Yard Setback: 7.5 metres
 Min. Side Yard Setback: 1.8 metres provided minimum combined interior side yards on both sides are the greater of 4.0 metres, or 25% of the lot width

EXISTING (m ²)	NEW PROPOSED (m ²)	TOTAL (EXISTING + PROPOSED) (m ²)
LOT AREA = 2714.2		LOT AREA = 2714.2
EXISTING LANDSCAPE AREA = 1841.6		TOTAL LANDSCAPE AREA = 1841.6
EXISTING FRONT YARD = 126.5		TOTAL FRONT YARD = 126.5
EXISTING BACK YARD = 286.9		TOTAL BACK YARD = 286.9
EXISTING POOL AREA = 54.1		TOTAL POOL AREA = 54.1
EXISTING DRIVEWAY AREA = 147.5	DRIVEWAY REDUCED AREA = 44	TOTAL DRIVEWAY AREA = 103.5
EXISTING BUILDING AREA = 257.6	PROPOSED GARAGE ADDITION = 44	TOTAL BUILDING AREA = 301.6
EXISTING FOOTPRINT AREA = 257.6	FOOTPRINT INCREASED AREA = 44	TOTAL FOOTPRINT AREA = 301.6

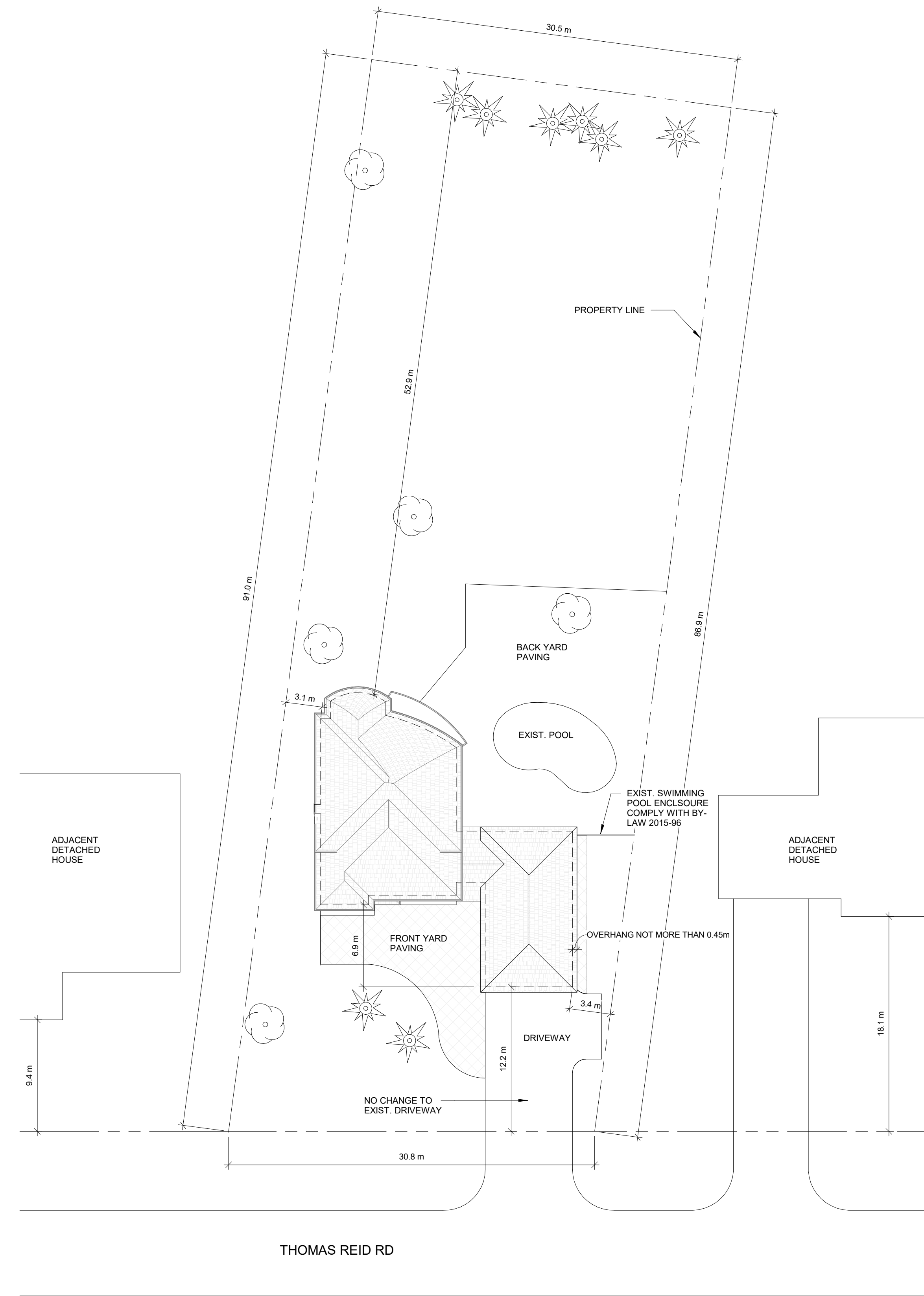
Appendix B

File: 24.169881.000.00.MNV

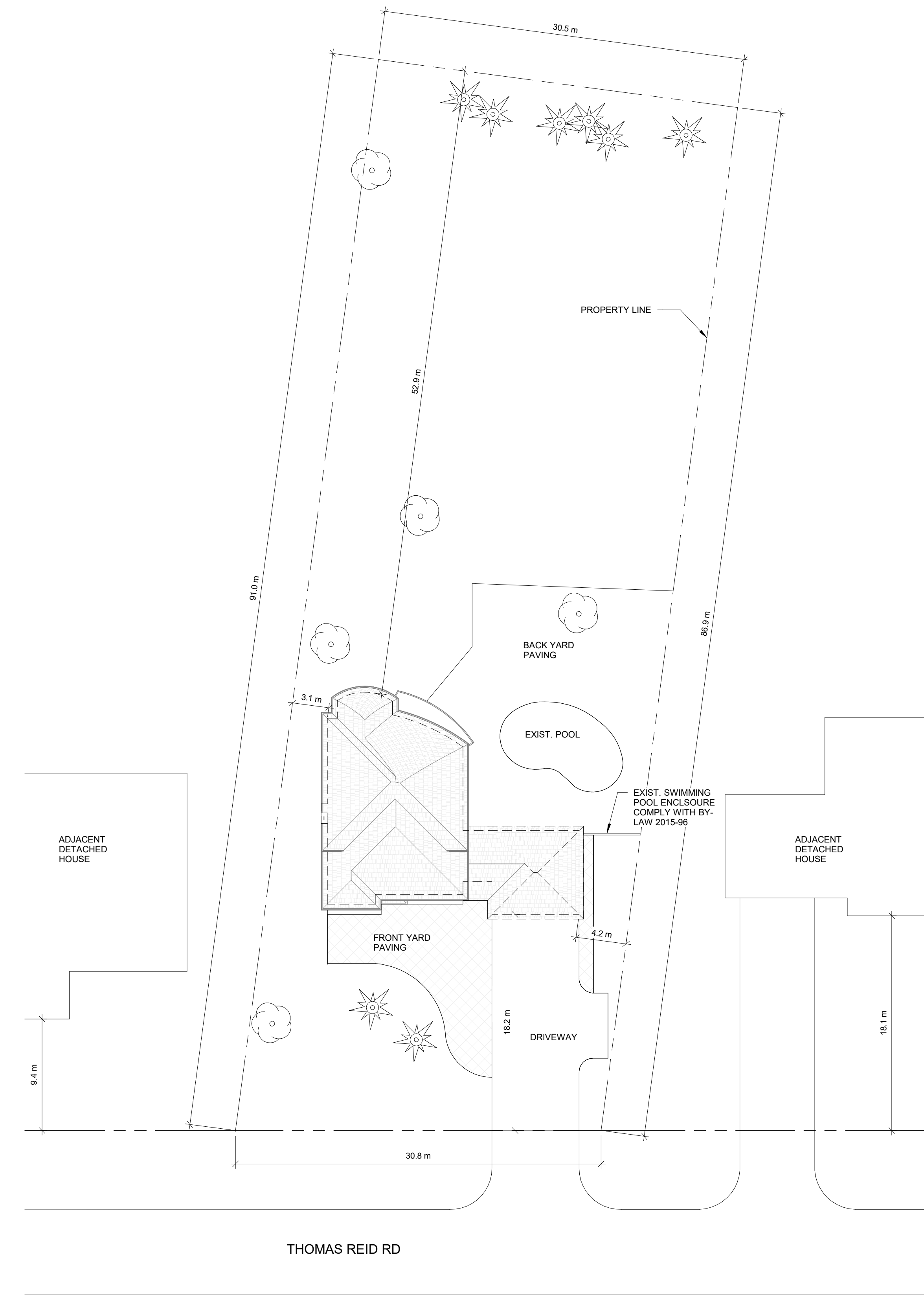
Date: 8/8/2024

MM/DD/YY

ONTARIO BUILDING CODE DATA MATRIX PART 3 & 9			
PROJECT DESCRIPTION 2.1.1 / 9.10.1.3			
<input type="checkbox"/> NEW <input type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION <input type="checkbox"/> CHANGE OF USE			
MAJOR OCCUPANCY(S) 3.1.2.1(1) / 9.10.2			
GROUP: C	DIVISION: -	CLASS NAME: RESIDENTIAL	
IMPORTANCE CATEGORY 4.1.2.1.B			
<input type="checkbox"/> LOW <input type="checkbox"/> HIGH <input type="checkbox"/> MEDIUM <input type="checkbox"/> POST-DISASTER			
BUILDING AREA (m ²) 1.4.1.2			
EXISTING: 257.6	NEW: 44	TOTAL: 301.6	
GROSS AREA (m ²) 1.4.1.2			
EXISTING: 447.2	NEW: 44	TOTAL: 491.2	
MEZZANINE(S) AREA (m ²) 3.2.1.1(3)-(8) / 9.10.4.1			
EXISTING: N/A	NEW: N/A	TOTAL: N/A	
NUMBER OF STOREYS 3.2.1.1 / 1.4.1.2 / 2.1.1.5			
ABOVE GRADE: 2	BELOW GRADE: 1		
BUILDING HEIGHT (m) 10.6			
TOTAL OCCUPANCY LOAD 1.1.4.2 / 9.10.4.1 10			
BASED ON: <input type="checkbox"/> m ² /PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING			
PLUMBING FIXTURES 3.7.4			
PERMITTED CONSTRUCTION:		ACTUAL CONSTRUCTION:	
MALE	W/C	LAV.	W/C
FEMALE	W/C	LAV.	W/C
UNISEX	W/C	LAV.	W/C
NUMBER OF STREETS 3.2.2.10 / 3.2.5.5 N/A			
BUILDING CLASSIFICATION 3.2.2.40(1) / 9.10.4.1 9 10 2.1. GROUP C			
PERMITTED CONSTRUCTION:		ACTUAL CONSTRUCTION:	
<input checked="" type="checkbox"/> COMBUSTIBLE		<input checked="" type="checkbox"/> COMBUSTIBLE	
<input type="checkbox"/> NON-COMBUSTIBLE		<input type="checkbox"/> NON-COMBUSTIBLE	
<input type="checkbox"/> BOTH		<input type="checkbox"/> BOTH	
SPRINKLER SYSTEM PROPOSED 3.2.2.30-33 / 3.2.1.5 / 3.2.2.17 / 9.10.8			
<input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> BASEMENT ONLY			
<input type="checkbox"/> IN LIEU OF ROOF RATING <input type="checkbox"/> NOT REQUIRED			
STANDPIPE REQUIRED 3.2.9.1 <input type="checkbox"/>			
FIRE ALARM REQUIRED 3.2.4.1 <input type="checkbox"/>			
WATER SERVICE/SUPPLY 3.2.5.7 <input checked="" type="checkbox"/>			
HIGH BUILDING 3.2.6.1 <input type="checkbox"/>			
MEZZANINE(S) AREA 3.2.1.1(3)-(8) / 9.10.4.1 <input type="checkbox"/>			
HAZARDOUS SUBSTANCES 3.3.1.2(1) / 3.3.1.19(1) / 9.10.1.3 <input type="checkbox"/>			
BARRIER FREE DESIGN 3.8.1.9.2 <input type="checkbox"/>			
EXPLAIN IF NO:			
REQUIRED FIRE RESISTANCE RATING (F.R.R.) 3.2.3.87 / 3.2.1.4 / 9.10.8.1.1(2)		LISTED DESIGN NO. OR DESCRIPTION (S-2)	
HORIZONTAL ASSEMBLES F.F.R.			
FLOOR:	0	N/A	
ROOF:	0	N/A	
MEZZANINE:	0	N/A	
FLOOR OVER BASEMENT:	0	N/A	
F.R.R. OF SUPPORTING MEMBERS			
FLOOR:	0	N/A	
ROOF:	0	N/A	
MEZZANINE:	0	N/A	
ROOM F.R.R.			
ELECTRICAL ROOM 3.6.2.1(8)		N/A	
GENERATOR ROOM 3.6.2.1(9)	CSA B139	N/A	
JANITORS/UTILITY ROOM 3.3.1.20		N/A	
STAIRS 3.4.4.1		N/A	
MAXIMUM TRAVEL DISTANCE (EXIT LOCATION) 3.4.2.5			
N/A			
SPATIAL SEPARATION 3.2.3 / 9.10.14			
WALL	AREA OF EBF (m ²)	L/D (%)	PERMITTED MAX. % OF OPENING (HOURS)
NORTH	47.8	3.5	N/A
EAST	26.8	12.2	100
SOUTH	104.5	3.1	N/A
WEST	102	52.9	N/A
CONSTRUCTION OF EXTERIOR WALLS 3.2.3.1.4 / 9.10.14			
WALL	COMB./NON-COMB./BOTH	STRUCTURAL DESCRIPTION	VENER DESCRIPTION
NORTH	COMB.	WOOD FRAMED	BRICK
EAST	COMB.	WOOD FRAMED	BRICK
SOUTH	COMB.	WOOD FRAMED	BRICK
WEST	COMB.	WOOD FRAMED	BRICK



2 PROPOSED SITE PLAN
 A003 1:250



1 EXISTING SITE PLAN
 A003 1:250

Key Plan

ISSUES/REVISIONS		
ISSUE	TITLE	DATE
1	ISSUED FOR BUILDING PERMIT	2024-03-28
2	ISSUED FOR MINOR VARIANCE	2024-04-30

Seal

03/28/2024

ARROW ARCHITECTURE LTD.
 BLACK ARROW CONSTRUCTION

400A, 1090 Don Mills Rd. North York, ON, M3C 3R8
 Website: www.arrowconstruction.ca
 Email: black.arrow.architects@gmail.com
 Tel: (647) 978-7660

Owner
 House Addition
 12 Thomas Reid Rd,
 Markham, ON L6C 1A5

Drawing Title
SITE PLAN & OBC MATRIX

Date	04/30/24	Scale	As indicated
Drawn By	AW	Project North	
Checked By	AW		
Project No.	24003		

Drawing No.
A003a

Appendix B

File: 24.169881.000.00.MNV

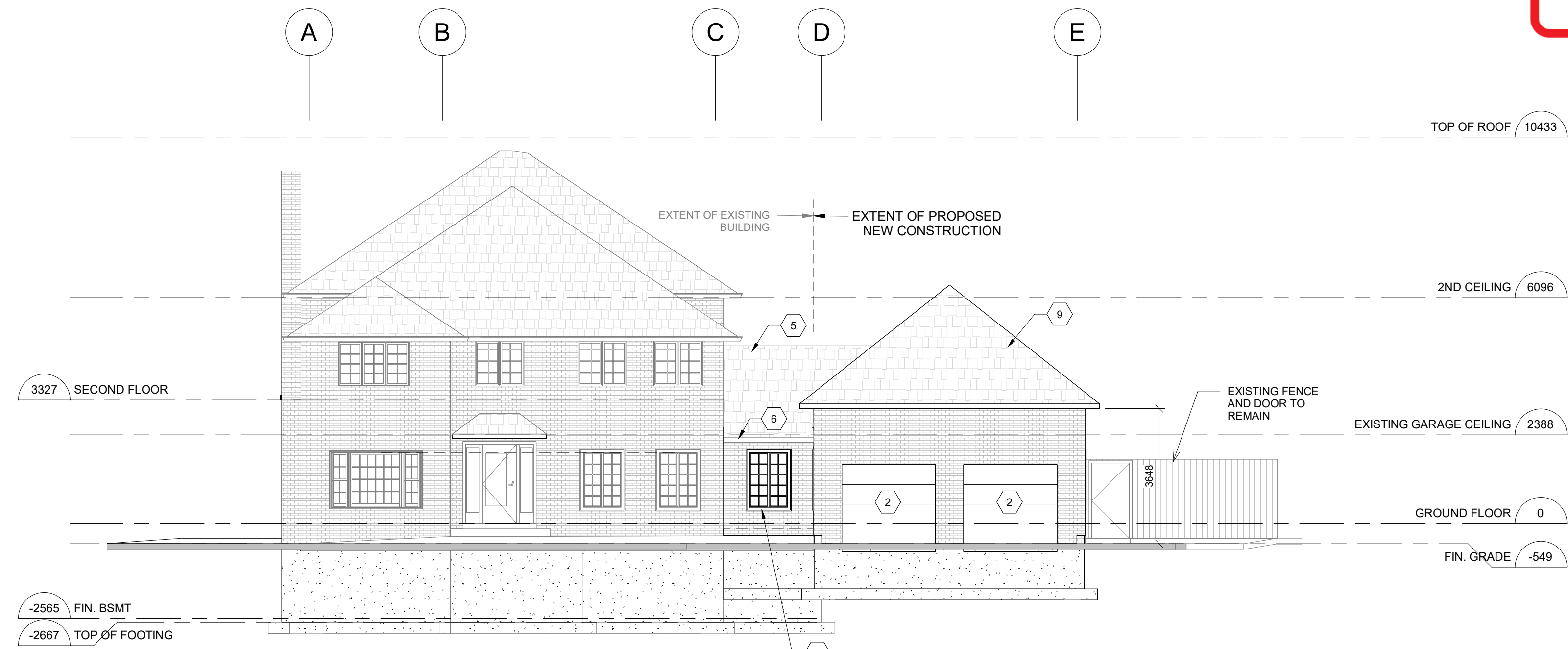
Date: 8/8/2024
MM/DD/YY

DEMOLITION PLAN NOTES

- A. DEMOLITION DWGS TO BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL, STRUCTURAL, ELECTRICAL, MECHANICAL, DEMOLITION, REFERENCE DRAWINGS.
- B. CONTRACTOR TO SITE VERIFY ALL EXISTING DIMENSIONS & CONFIRM ALL EXISTING CONDITIONS PRIOR TO DEMOLITION. REPORT ANY DISCREPANCIES AND UNFORESEEN INTERFERENCES AT SITE PRIOR TO COMMENCING DEMOLITIONS AND NEW CONSTRUCTION.
- C. REFER TO SPECIFICATIONS FOR DISMANTLE/REMOVAL AND REUSE OF EXISTING STONE CLADDING.
- D. PROVIDE DUST AND DEBRIS PROTECTION TO MATERIALS TO REMAIN & AREAS OUTSIDE THE ZONE OF WORK IN ACCORDANCE WITH SPECIFICATIONS.
- E. ALL EXISTING FIRE SEPARATIONS TO BE MAINTAINED. ALL EXISTING PARTITIONS ARE RATED SEPARATIONS, UNLESS OTHERWISE INDICATED.
- F. CONTRACTOR TO PROPOSE DUST CONTROL AND NOISE CONTROL MEASURES. SUBMIT DRAWINGS THAT INDICATES THE MEASURES PROPOSED FOR USE. PROPOSED FOR LOCATIONS AND PROPOSED TIME FRAME FOR THEIR OPERATION.
- G. CONTRACTOR TO SUBMIT SHOP DRAWINGS DETAILS HOARDING CONSTRUCTION AND LAYOUT AS WELL AS MEASURES TAKEN TO COMPLY WITH FIRE EXIT REQUIREMENTS OF AUTHORIZATION HAVING JURISDICTION. DO NOT CLOSE OR ALL OBSTRUCT WALKWAYS, CORRIDOR, OR OTHER OCCUPIED OR USED FACILITIES WITHOUT WRITTEN PERMISSION FROM AUTHORIZATION HAVING JURISDICTION.
- H. MAKE PROVISIONS TO JOIN NEW WORK TO EXISTING AND TO INSTALL NEW SUPPORTING MEMBERS, ANCHORS AND OTHER ITEMS NECESSARY FOR COMPLETION OF WORK. PROVIDE TEMPORARY BRACING FOR SUPPORT WHERE REQUIRED PRIOR TO DEMOLITION.
- I. SALVAGE THE ITEMS, MATERIALS INDICATED ON DRAWINGS, WHICH ARE TO BE REUSED/RELOCATED. REMOVE CAREFULLY SUCH ITEMS UNTIL REQUIRED FOR INSTALLATION.
- J. DURING THE COURSE OF DEMOLITION WORK, SUSPECTED HAZARDOUS OR CONTAMINATED MATERIALS ARE ENCOUNTERED, ADVISE OWNER, CONTRACTOR AND CONSULTANT FOR REQUIREMENTS REGARDING THE REMOVAL AND DISPOSAL OF SUCH CONTAMINANTS WHICH MAY BE CONSIDERED HEALTH HAZARDS.
- K. REPAIR AND MAKE GOOD ALL DAMAGED SURFACES WITH NEW MATERIALS TO MATCH EXISTING.
- L. CONTRACTOR TO INSURE THE ENVELOPE @ EXTERIOR INNER AND OUTER CORNER JUNCTIONS ARE AIR TIGHT.
- M. PHOTOGRAPHS ARE USE FOR VISUAL REFERENCE ONLY (TYPICAL)

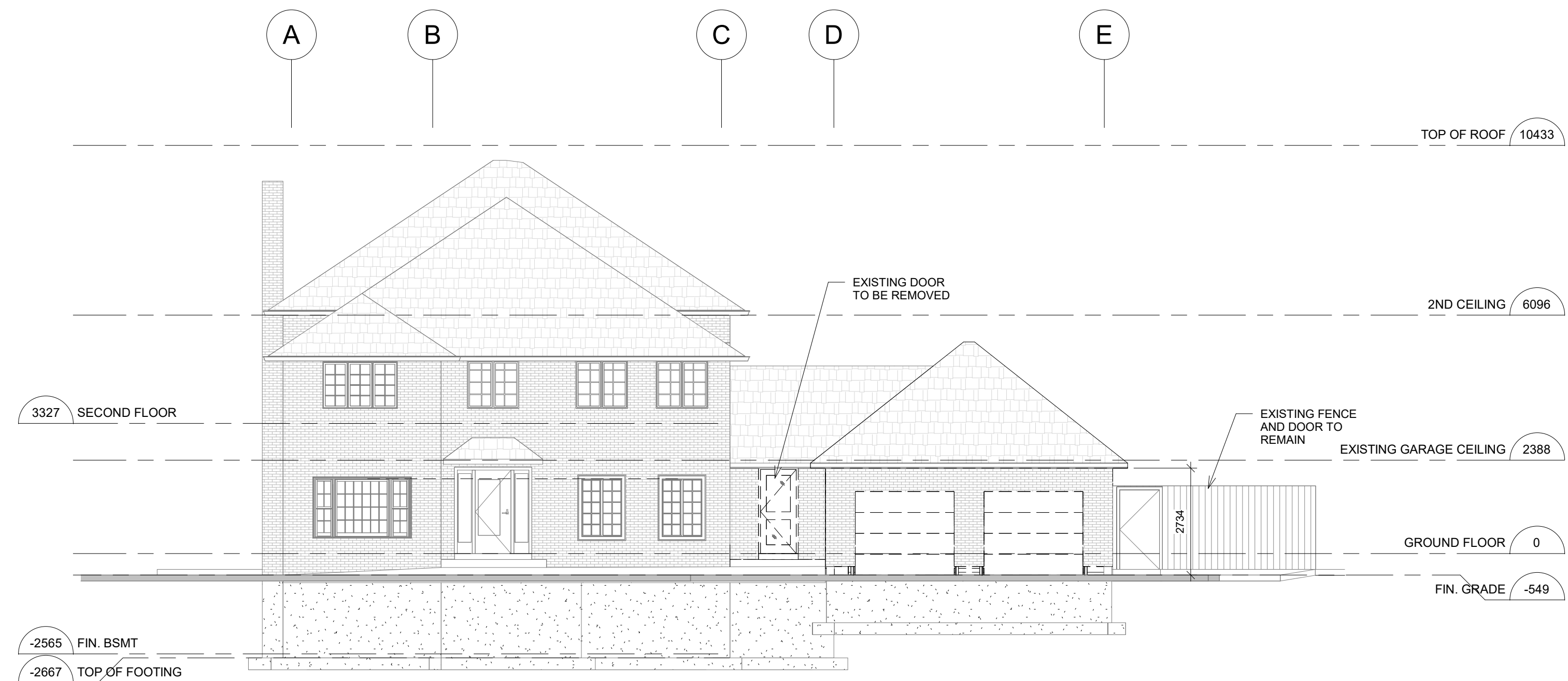
DEMOLITION KEYNOTES

- 1 PROPOSED WINDOW, THE SIZE AND HEIGHT TO MATCH THE EXISTING WINDOW ON GROUND FLOOR OF EAST ELEVATION
- 2 EXISTING DOOR TO BE REUSE AND RELOCATED AFTER THE CONSTRUCTION OF NEW GARAGE WALL.
- 3 EXISTING WALL MOUNTED DEVICES TO BE RELOCATED, AND WALL SURFACE TO BE CLEANED AND FREE OF DEBRIS FOR THE CONSTRUCTION OF NEW SCOPE.
- 4 EXISTING STRUCTURE TO REMAIN AS IS. MAINTAIN AND PROTECT FROM ANY DAMAGE THROUGHOUT CONSTRUCTION.
- 5 EXISTING ROOF SHINGLE AND TRUSS TO BE MODIFIED FOR THE CONSTRUCTION OF ADDITION, REFER TO STRUCTURAL DWG.
- 6 EXISTING SOFFIT, EAVES, AND GUTTER TO BE MODIFIED FOR THE CONSTRUCTION OF ADDITION.
- 7 EXCAVATE THE SOIL IN WORK AREA FOR THE CONSTRUCTION OF ADDITION.
- 8 EXISTING STEP TO BE REMOVED
- 9 PROPOSED NEW ROOF SHINGLE TO MATCH THE EXISTING ROOF SHINGLE COLOR



2 PROPOSED EAST ELEVATION

A010 1:100



1 EXISTING EAST ELEVATION

A010 1:100

Key Plan

ISSUES/REVISIONS

ISSUE	TITLE	DATE
1	ISSUED FOR BUILDING PERMIT	2024-03-28
2	ISSUED FOR MINOR VARIANCE	2024-04-30

Seal



CHECK, VERIFY AND REPORT ANY DISCREPANCIES TO THE CONSULTANT UNLESS SEAL IS AFFIXED TO THIS DRAWING. THIS DRAWING SHALL NOT BE SCALED FOR THE PURPOSE OF VERIFYING DIMENSIONS.
THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SIGNED AND DATED IN THE SPACE TO THE LEFT BY THE NAMED CONSULTANT.

Date: 03/28/2024

ARROW ARCHITECTURE LTD.
BLACK ARROW CONSTRUCTION
400A, 1090 Don Mills Rd., North York, ON, M3C 3R8
Website: www.arrowconstruction.ca
Email: black.arrow.architects@gmail.com
Tel: (416) 978-7680

Owner

House Addition

12 Thomas Reid Rd,
Markham, ON L6C 1A5

Drawing Title

EAST ELEVATIONS

Date: 04/30/24 Scale: As indicated

Drawn By: AW Project North

Checked By: AW

Project No: 24003

Drawing No:

A010

Appendix B

File: 24.169881.000.00.MNV

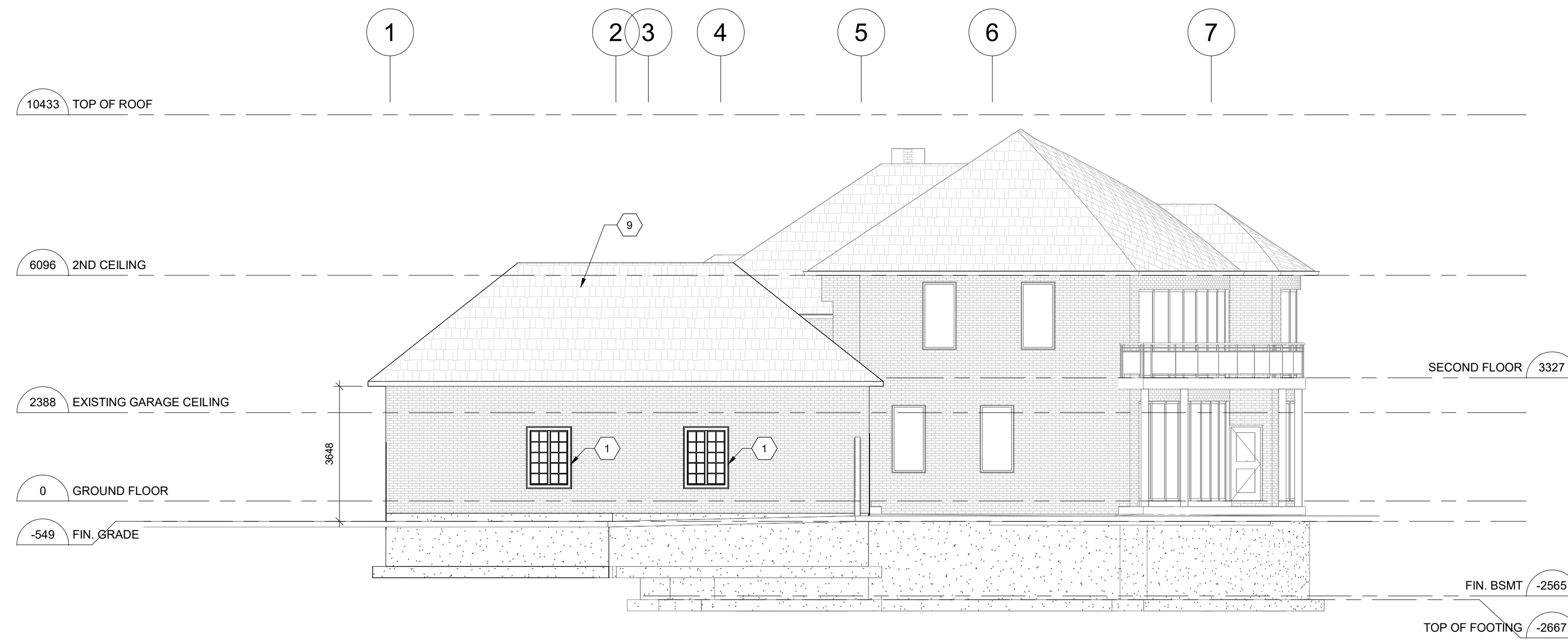
Date: 8/8/2024
MM/DD/YY

DEMOLITION PLAN NOTES

- A. DEMOLITION DWGS TO BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL, STRUCTURAL, ELECTRICAL, MECHANICAL DEMOLITION, REFERENCE DRAWINGS.
- B. CONTRACTOR TO SITE VERIFY ALL EXISTING DIMENSIONS & CONFIRM ALL EXISTING CONDITIONS PRIOR TO DEMOLITION. REPORT ANY DISCREPANCIES AND UNFORESEEN INTERFERENCES AT SITE PRIOR TO COMMENCING DEMOLITIONS AND NEW CONSTRUCTION.
- C. REFER TO SPECIFICATIONS FOR DISMANTLE/REMOVAL AND REUSE OF EXISTING STONE CLADDING.
- D. PROVIDE DUST AND DEBRIS PROTECTION TO MATERIALS TO REMAIN & AREAS OUTSIDE THE ZONE OF WORK IN ACCORDANCE WITH SPECIFICATIONS.
- E. ALL EXISTING FIRE SEPARATIONS TO BE MAINTAINED. ALL EXISTING PARTITIONS ARE RATED SEPARATIONS, UNLESS OTHERWISE INDICATED.
- F. CONTRACTOR TO PROPOSE DUST CONTROL AND NOISE CONTROL MEASURES. SUBMIT DRAWINGS THAT INDICATES THE MEASURES PROPOSED FOR USE, PROPOSED FOR LOCATIONS AND PROPOSED TIME FRAME FOR THEIR OPERATION.
- G. CONTRACTOR TO SUBMIT SHOP DRAWINGS DETAILS HOARDING CONSTRUCTION AND LAYOUT AS WELL AS MEASURES TAKEN TO COMPLY WITH FIRE EXIT REQUIREMENTS OF AUTHORIZATION HAVING JURISDICTION. DO NOT CLOSE OR ALL OBSTRUCT WALKWAYS, CORRIDOR, OR OTHER OCCUPIED OR USED FACILITIES WITHOUT WRITTEN PERMISSION FROM AUTHORIZATION HAVING JURISDICTION.
- H. MAKE PROVISIONS TO JOIN NEW WORK TO EXISTING AND TO INSTALL NEW SUPPORTING MEMBERS, ANCHORS AND OTHER ITEMS NECESSARY FOR COMPLETION OF WORK. PROVIDE TEMPORARY BRACING FOR SUPPORT WHERE REQUIRED PRIOR TO DEMOLITION.
- I. SALVAGE THE ITEMS, MATERIALS INDICATED ON DRAWINGS, WHICH ARE TO BE REUSED/RELOCATED. REMOVE CAREFULLY SUCH ITEMS TO BE SALVAGED, PROTECT DURING DEMOLITION, AND PLACE IN SAFE LOCATIONS UNTIL REQUIRED FOR INSTALLATION.
- J. DURING THE COURSE OF DEMOLITION WORK, SUSPECTED HAZARDOUS OR CONTAMINATED MATERIALS ARE ENCOUNTERED, ADVISE OWNER, CONTRACTOR AND CONSULTANT FOR REQUIREMENTS REGARDING THE REMOVAL AND DISPOSAL OF SUCH CONTAMINANTS WHICH MAY CONSIDERED HEALTH HAZARDS.
- K. REPAIR AND MAKE GOOD ALL DAMAGED SURFACES WITH NEW MATERIALS TO MATCH EXISTING.
- L. CONTRACTOR TO INSURE THE ENVELOPE @ EXTERIOR INNER AND OUTER CORNER JUNCTIONS ARE AIR TIGHT.
- M. PHOTOGRAPHS ARE USE FOR VISUAL REFERENCE ONLY (TYPICAL)

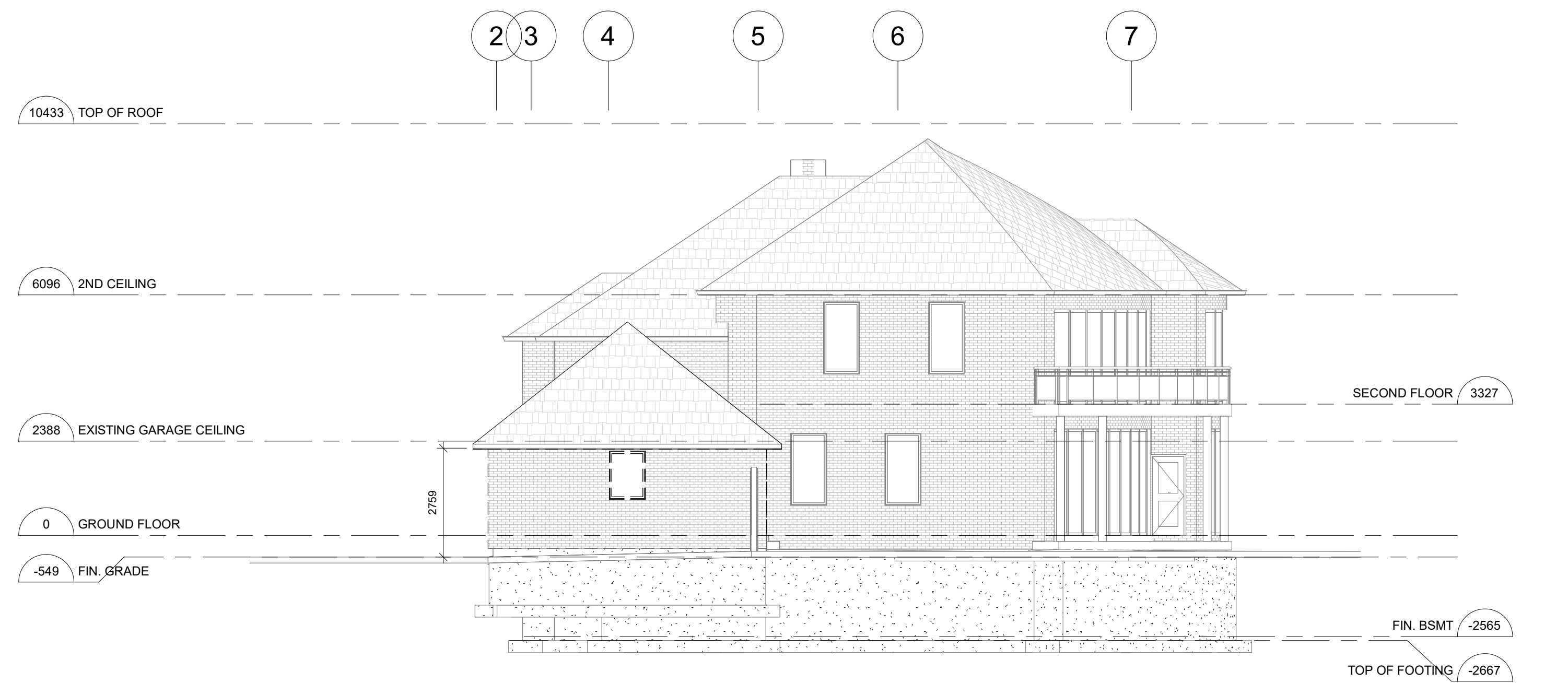
DEMOLITION KEYNOTES

- 1 PROPOSED WINDOW, THE SIZE AND HEIGHT TO MATCH THE EXISTING WINDOW ON GROUND FLOOR OF EAST ELEVATION
- 2 EXISTING DOOR TO BE REUSE AND RELOCATED AFTER THE CONSTRUCTION OF NEW GARAGE WALL.
- 3 EXISTING WALL MOUNTED DEVICES TO BE RELOCATED, AND WALL SURFACE TO BE CLEANED AND FREE OF DEBRIS FOR THE CONSTRUCTION OF NEW SCOPE.
- 4 EXISTING STRUCTURE TO REMAIN AS IS. MAINTAIN AND PROTECT FROM ANY DAMAGE THROUGHOUT CONSTRUCTION.
- 5 EXISTING ROOF SHINGLE AND TRUSS TO BE MODIFIED FOR THE CONSTRUCTION OF ADDITION, REFER TO STRUCTURAL DWG.
- 6 EXISTING SOFFIT, EAVES, AND GUTTER TO BE MODIFIED FOR THE CONSTRUCTION OF ADDITION.
- 7 EXCAVATE THE SOIL IN WORK AREA FOR THE CONSTRUCTION OF ADDITION.
- 8 EXISTING STEP TO BE REMOVED
- 9 PROPOSED NEW ROOF SHINGLE TO MATCH THE EXISTING ROOF SHINGLE COLOR



2 PROPOSED NORTH ELEVATION

A011 1:100



1 EXISTING NORTH ELEVATION

A011 1:100

Key Plan

ISSUES/REVISIONS

ISSUE	TITLE	DATE
1	ISSUED FOR BUILDING PERMIT	2024-03-28
2	ISSUED FOR MINOR VARIANCE	2024-04-30

Seal



CHECK, VERIFY AND REPORT ANY DISCREPANCIES TO THE CONSULTANT UNLESS SEAL IS AFFIXED TO THIS DRAWING. THIS DRAWING SHALL NOT BE SCALED FOR THE PURPOSE OF VERIFYING DIMENSIONS.
THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS SIGNED AND DATED IN THE SPACE TO THE LEFT BY THE NAMED CONSULTANT.

Date: 03/28/2024

ARROW ARCHITECTURE LTD.
BLACK ARROW CONSTRUCTION
400A, 1090 Don Mills Rd., North York, ON, M3C 3R6
Website: www.arrowconstruction.ca
Email: black.arrow.architects@gmail.com
Tel: (416) 978-7680

Owner

House Addition

12 Thomas Reid Rd,
Markham, ON L6C 1A5

Drawing Title

NORTH ELEVATIONS

Date: 04/30/24 Scale: As indicated

Drawn By: AW Project North

Checked By: AW

Project No: 24003

Drawing No:

A011

Appendix B

File: 24.169881.000.00.MNV

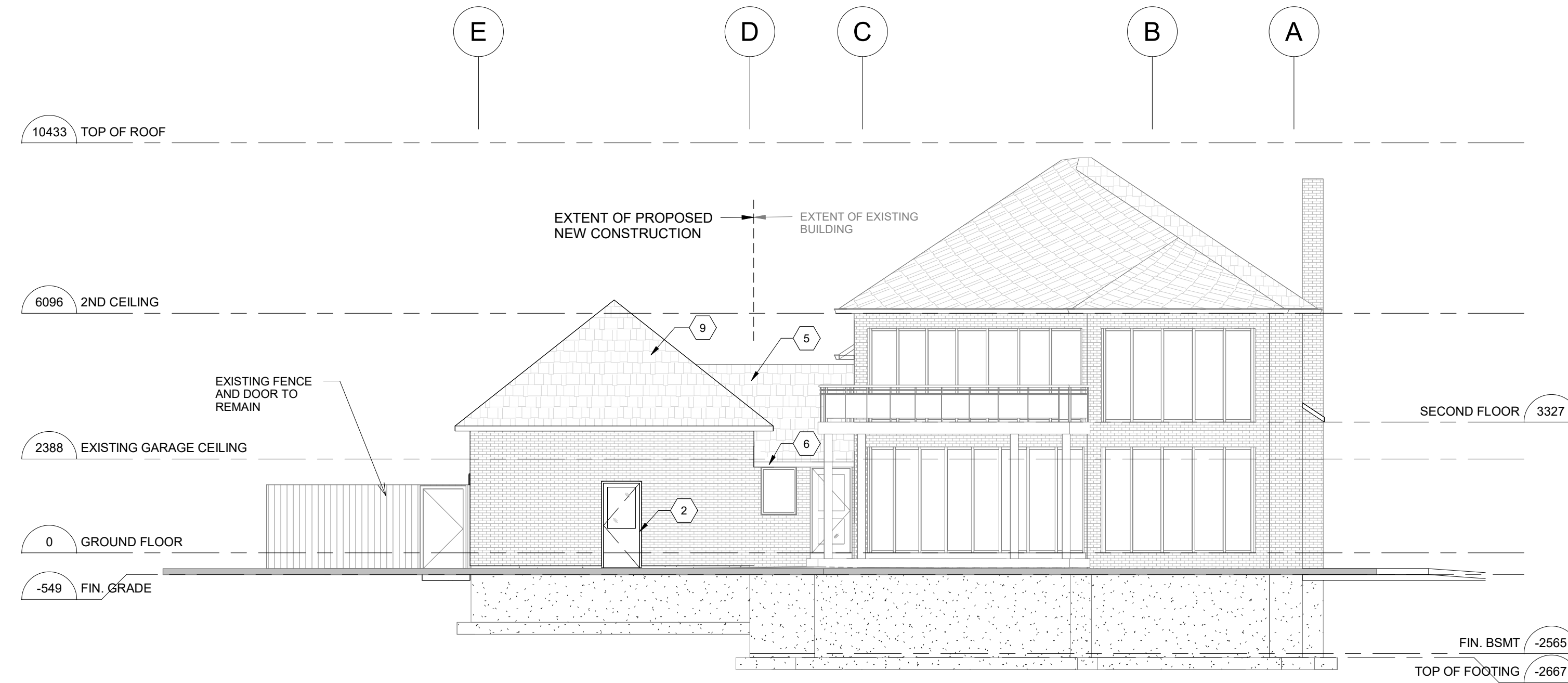
Date: 8/8/2024
MM/DD/YY

DEMOLITION PLAN NOTES

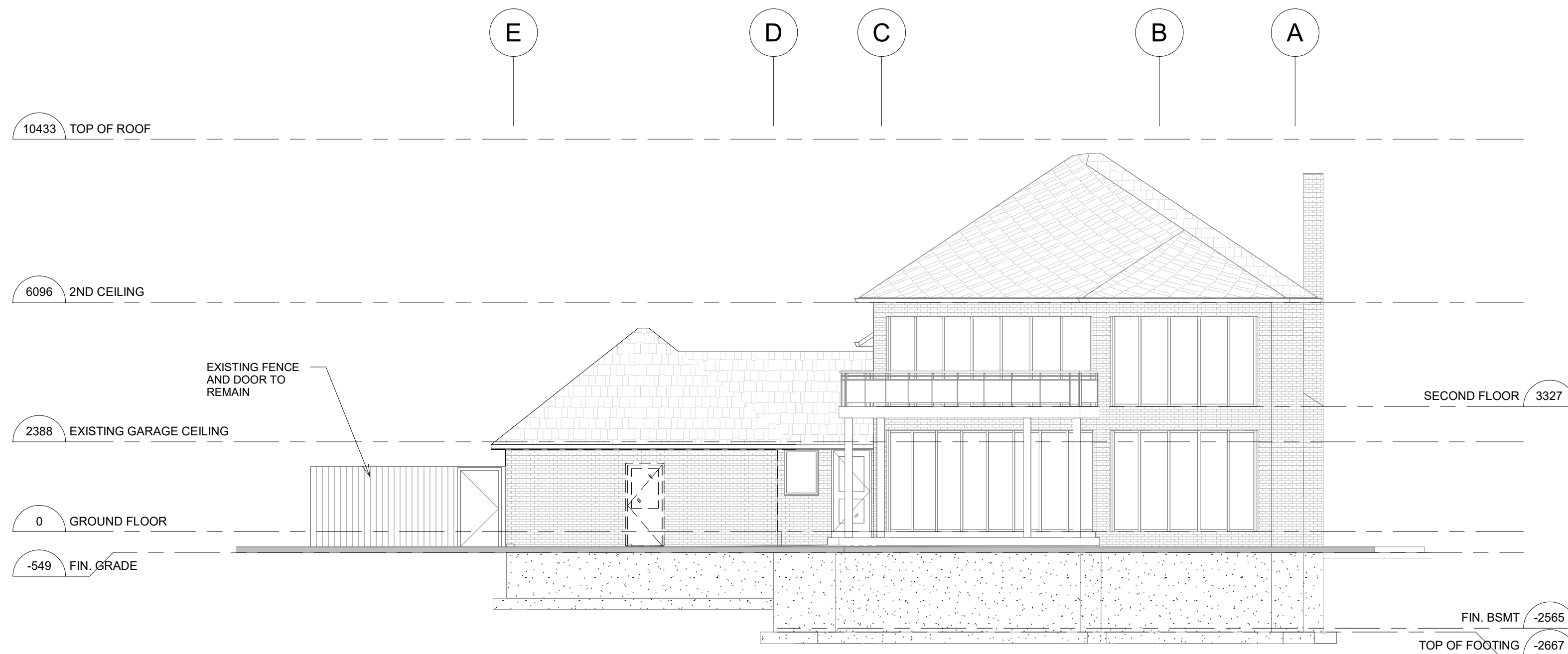
- A. DEMOLITION DWGS TO BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL, STRUCTURAL, ELECTRICAL, MECHANICAL, DEMOLITION, REFERENCE DRAWINGS.
- B. CONTRACTOR TO SITE VERIFY ALL EXISTING DIMENSIONS & CONFIRM ALL EXISTING CONDITIONS PRIOR TO DEMOLITION. REPORT ANY DISCREPANCIES AND UNFORESEEN INTERFERENCES AT SITE PRIOR TO COMMENCING DEMOLITIONS AND NEW CONSTRUCTION.
- C. REFER TO SPECIFICATIONS FOR DISMANTLE/REMOVAL AND REUSE OF EXISTING STONE CLADDING.
- D. PROVIDE DUST AND DEBRIS PROTECTION TO MATERIALS TO REMAIN & AREAS OUTSIDE THE ZONE OF WORK IN ACCORDANCE WITH SPECIFICATIONS.
- E. ALL EXISTING FIRE SEPARATIONS TO BE MAINTAINED. ALL EXISTING PARTITIONS ARE RATED SEPARATIONS, UNLESS OTHERWISE INDICATED.
- F. CONTRACTOR TO PROPOSE DUST CONTROL, AND NOISE CONTROL MEASURES. SUBMIT DRAWINGS THAT INDICATES THE MEASURES PROPOSED FOR USE. PROPOSED FOR LOCATIONS AND PROPOSED TIME FRAME FOR THEIR OPERATION.
- G. CONTRACTOR TO SUBMIT SHOP DRAWINGS DETAILS HOARDING CONSTRUCTION AND LAYOUT AS WELL AS MEASURES TAKEN TO COMPLY WITH FIRE EXIT REQUIREMENTS OF AUTHORIZATION HAVING JURISDICTION. DO NOT CLOSE OR ALL OBSTRUCT WALKWAYS, CORRIDOR, OR OTHER OCCUPIED OR USED FACILITIES WITHOUT WRITTEN PERMISSION FROM AUTHORIZATION HAVING JURISDICTION.
- H. MAKE PROVISIONS TO JOIN NEW WORK TO EXISTING AND TO INSTALL NEW SUPPORTING MEMBERS, ANCHORS AND OTHER ITEMS NECESSARY FOR COMPLETION OF WORK. PROVIDE TEMPORARY BRACING FOR SUPPORT WHERE REQUIRED PRIOR TO DEMOLITION.
- I. SALVAGE THE ITEMS, MATERIALS INDICATED ON DRAWINGS, WHICH ARE TO BE REUSED/RELOCATED, REMOVE CAREFULLY SUCH ITEMS UNTIL REQUIRED FOR INSTALLATION.
- J. DURING THE COURSE OF DEMOLITION WORK, SUSPECTED HAZARDOUS OR CONTAMINATED MATERIALS ARE ENCOUNTERED, ADVISE OWNER, CONTRACTOR AND CONSULTANT FOR REQUIREMENTS REGARDING THE REMOVAL AND DISPOSAL OF SUCH CONTAMINANTS WHICH MAY BE CONSIDERED HEALTH HAZARDS.
- K. REPAIR AND MAKE GOOD ALL DAMAGED SURFACES WITH NEW MATERIALS TO MATCH EXISTING.
- L. CONTRACTOR TO INSURE THE ENVELOPE @ EXTERIOR INNER AND OUTER CORNER JUNCTIONS ARE AIR TIGHT.
- M. PHOTOGRAPHS ARE USE FOR VISUAL REFERENCE ONLY (TYPICAL)

DEMOLITION KEYNOTES

- 1 PROPOSED WINDOW, THE SIZE AND HEIGHT TO MATCH THE EXISTING WINDOW ON GROUND FLOOR OF EAST ELEVATION
- 2 EXISTING DOOR TO BE REUSE AND RELOCATED AFTER THE CONSTRUCTION OF NEW GARAGE WALL.
- 3 EXISTING WALL MOUNTED DEVICES TO BE RELOCATED, AND WALL SURFACE TO BE CLEANED AND FREE OF DEBRIS FOR THE CONSTRUCTION OF NEW SCOPE.
- 4 EXISTING STRUCTURE TO REMAIN AS IS. MAINTAIN AND PROTECT FROM ANY DAMAGE THROUGHOUT CONSTRUCTION.
- 5 EXISTING ROOF SHINGLE AND TRUSS TO BE MODIFIED FOR THE CONSTRUCTION OF ADDITION, REFER TO STRUCTURAL DWG.
- 6 EXISTING SOFFIT, EAVES, AND GUTTER TO BE MODIFIED FOR THE CONSTRUCTION OF ADDITION.
- 7 EXCAVATE THE SOIL IN WORK AREA FOR THE CONSTRUCTION OF ADDITION.
- 8 EXISTING STEP TO BE REMOVED
- 9 PROPOSED NEW ROOF SHINGLE TO MATCH THE EXISTING ROOF SHINGLE COLOR



2 PROPOSED WEST ELEVATION
A012 1:100



1 EXISTING WEST ELEVATION
A012 1:100

Key Plan

ISSUES/REVISIONS

ISSUE	TITLE	DATE
1	ISSUED FOR BUILDING PERMIT	2024-03-28
2	ISSUED FOR MINOR VARIANCE	2024-04-30

Seal



CHECK, VERIFY AND REPORT ANY DISCREPANCIES TO THE CONSULTANT UNLESS SEAL IS AFFIXED TO THIS DRAWING. THIS DRAWING SHALL NOT BE SCALED FOR THE PURPOSE OF VERIFYING DIMENSIONS.
THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS SIGNED AND DATED IN THE SPACE TO THE LEFT BY THE NAMED CONSULTANT.

Date: 03/28/2024

ARROW ARCHITECTURE LTD.
BLACK ARROW CONSTRUCTION
400A, 1090 Don Mills Rd., North York, ON, M3C 3R6
Website: www.arrowconstruction.ca
Email: black.arrow.architects@gmail.com
Tel: (416) 978-7680

Owner

House Addition

12 Thomas Reid Rd,
Markham, ON L6C 1A5

Drawing Title

WEST ELEVATIONS

Date: 04/30/24 Scale: As indicated

Drawn By: AW Project North

Checked By: AW

Project No: 24003

Drawing No:

A012

Appendix B

File: 24.169881.000.00.MNV

Date: 8/8/2024
MM/DD/YY

DEMOLITION PLAN NOTES

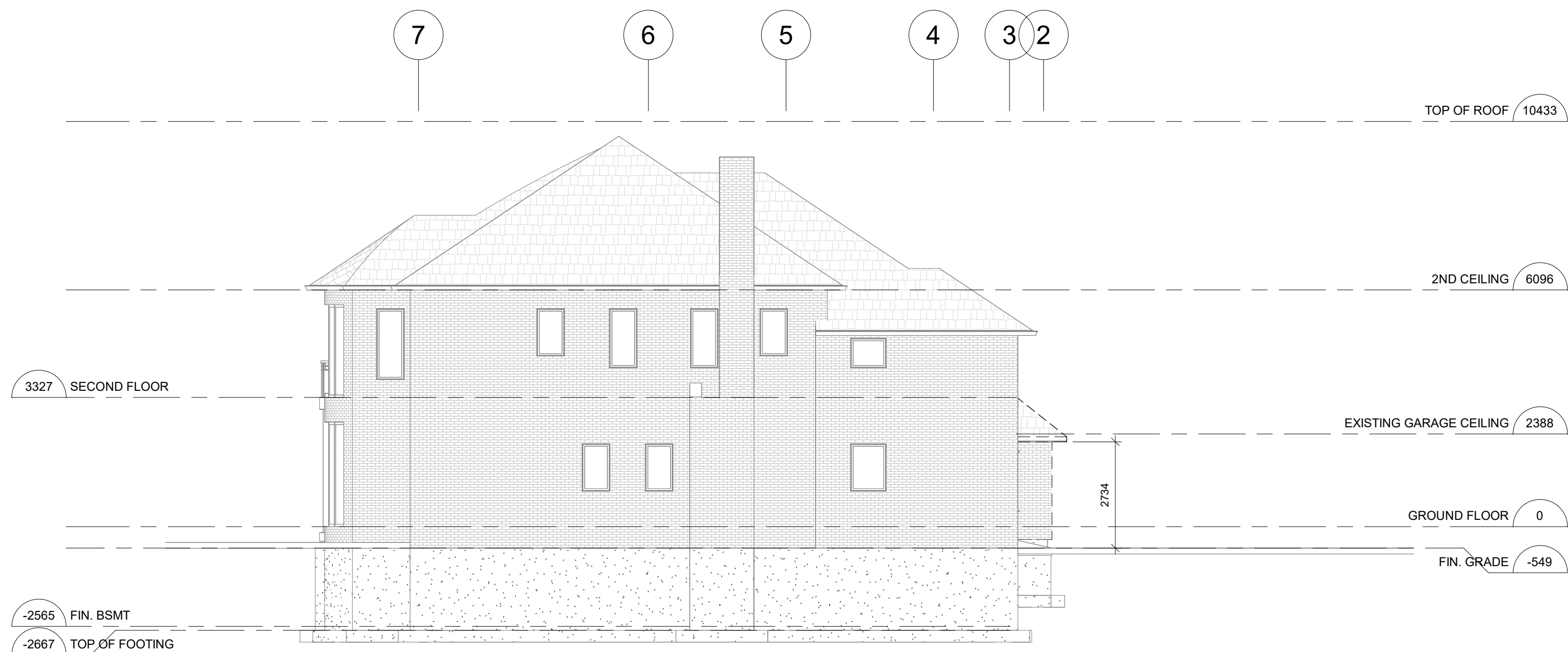
- A. DEMOLITION DWGS TO BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL, STRUCTURAL, ELECTRICAL, MECHANICAL DEMOLITION, REFERENCE DRAWINGS.
- B. CONTRACTOR TO SITE VERIFY ALL EXISTING DIMENSIONS & CONFIRM ALL EXISTING CONDITIONS PRIOR TO DEMOLITION. REPORT ANY DISCREPANCIES AND UNFORESEEN INTERFERENCES AT SITE PRIOR TO COMMENCING DEMOLITIONS AND NEW CONSTRUCTION.
- C. REFER TO SPECIFICATIONS FOR DISMANTLE/REMOVAL AND REUSE OF EXISTING STONE CLADDING.
- D. PROVIDE DUST AND DEBRIS PROTECTION TO MATERIALS TO REMAIN & AREAS OUTSIDE THE ZONE OF WORK IN ACCORDANCE WITH SPECIFICATIONS.
- E. ALL EXISTING FIRE SEPARATIONS TO BE MAINTAINED. ALL EXISTING PARTITIONS ARE RATED SEPARATIONS, UNLESS OTHERWISE INDICATED.
- F. CONTRACTOR TO PROPOSE DUST CONTROL AND NOISE CONTROL MEASURES. SUBMIT DRAWINGS THAT INDICATES THE MEASURES PROPOSED FOR USE. PROPOSED FOR LOCATIONS AND PROPOSED TIME FRAME FOR THEIR OPERATION.
- G. CONTRACTOR TO SUBMIT SHOP DRAWINGS DETAILS HOARDING CONSTRUCTION AND LAYOUT AS WELL AS MEASURES TAKEN TO COMPLY WITH FIRE EXIT REQUIREMENTS OF AUTHORIZATION HAVING JURISDICTION. DO NOT CLOSE OR ALL OBSTRUCT WALKWAYS, CORRIDOR, OR OTHER OCCUPIED OR USED FACILITIES WITHOUT WRITTEN PERMISSION FROM AUTHORIZATION HAVING JURISDICTION.
- H. MAKE PROVISIONS TO JOIN NEW WORK TO EXISTING AND TO INSTALL NEW SUPPORTING MEMBERS, ANCHORS AND OTHER ITEMS NECESSARY FOR COMPLETION OF WORK. PROVIDE TEMPORARY BRACING FOR SUPPORT WHERE REQUIRED PRIOR TO DEMOLITION.
- I. SALVAGE THE ITEMS, MATERIALS INDICATED ON DRAWINGS, WHICH ARE TO BE REUSED/RELOCATED. REMOVE CAREFULLY SUCH ITEMS UNTIL REQUIRED FOR INSTALLATION.
- J. DURING THE COURSE OF DEMOLITION WORK, SUSPECTED HAZARDOUS OR CONTAMINATED MATERIALS ARE ENCOUNTER, ADVISE OWNER, CONTRACTOR AND CONSULTANT FOR REQUIREMENTS REGARDING THE REMOVAL AND DISPOSAL OF SUCH CONTAMINANTS WHICH MAY CONSIDERED HEALTH HAZARDS.
- K. REPAIR AND MAKE GOOD ALL DAMAGED SURFACES WITH NEW MATERIALS TO MATCH EXISTING.
- L. CONTRACTOR TO INSURE THE ENVELOPE @ EXTERIOR INNER AND OUTER CORNER JUNCTIONS ARE AIR TIGHT.
- M. PHOTOGRAPHS ARE USE FOR VISUAL REFERENCE ONLY (TYPICAL)

DEMOLITION KEYNOTES

- 1 PROPOSED WINDOW, THE SIZE AND HEIGHT TO MATCH THE EXISTING WINDOW ON GROUND FLOOR OF EAST ELEVATION
- 2 EXISTING DOOR TO BE REUSE AND RELOCATED AFTER THE CONSTRUCTION OF NEW GARAGE WALL.
- 3 EXISTING WALL MOUNTED DEVICES TO BE RELOCATED, AND WALL SURFACE TO BE CLEANED AND FREE OF DEBRIS FOR THE CONSTRUCTION OF NEW SCOPE.
- 4 EXISTING STRUCTURE TO REMAIN AS IS. MAINTAIN AND PROTECT FROM ANY DAMAGE THROUGHOUT CONSTRUCTION.
- 5 EXISTING ROOF SHINGLE AND TRUSS TO BE MODIFIED FOR THE CONSTRUCTION OF ADDITION, REFER TO STRUCTURAL DWG.
- 6 EXISTING SOFFIT, EAVES, AND GUTTER TO BE MODIFIED FOR THE CONSTRUCTION OF ADDITION.
- 7 EXCAVATE THE SOIL IN WORK AREA FOR THE CONSTRUCTION OF ADDITION.
- 8 EXISTING STEP TO BE REMOVED
- 9 PROPOSED NEW ROOF SHINGLE TO MATCH THE EXISTING ROOF SHINGLE COLOR



2 PROPOSED SOUTH ELEVATION
A013 1:100



1 EXISTING SOUTH ELEVATION
A013 1:100

Key Plan

ISSUES/REVISIONS

ISSUE	TITLE	DATE
1	ISSUED FOR BUILDING PERMIT	2024-03-28
2	ISSUED FOR MINOR VARIANCE	2024-04-30

Seal

CHECK, VERIFY AND REPORT ANY DISCREPANCIES TO THE CONSULTANT UNLESS SEAL IS AFFIXED TO THIS DRAWING. THIS DRAWING SHALL NOT BE SCALED FOR THE PURPOSE OF VERIFYING DIMENSIONS.
THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS SIGNED AND DATED IN THE SPACE TO THE LEFT BY THE NAMED CONSULTANT.

ARROW ARCHITECTURE LTD.
BLACK ARROW CONSTRUCTION

400A, 1090 Don Mills Rd., North York, ON, M3C 3R6
Website: www.arrowconstruction.ca
Email: black.arrow.architects@gmail.com
Tel: (416) 978-7680

Owner
House Addition
12 Thomas Reid Rd,
Markham, ON L6C 1A5

Drawing Title
SOUTH ELEVATION

Date	04/30/24	Scale	As indicated
Drawn By	Author	Project North	
Checked By	Checker		
Project No.	24003		

Drawing No.
A013

CONCLUSION

Planning Staff have reviewed the application with respect to Section 45(1) of the *Planning Act*, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the requested variance meets the four tests of the *Planning Act* and have no objection. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the Applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the *Planning Act* required for the granting of minor variances.

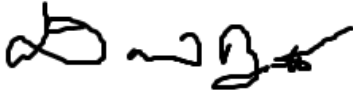
Please refer to Appendix “C” for conditions to be attached to any approval of this application.

PREPARED BY:



Hussnain Mohammad, Planner 1, Development Facilitation Office

REVIEWED BY:



Daniel Brutto, MCIP RPP, Acting Development Manager, West District

APPENDICES

Appendix “A” – Aerial Context Photo

Appendix “B” – Plans

Appendix “C” – A/041/24 Conditions of Approval