

Memorandum to the City of Markham Committee of Adjustment
September 3, 2024

File: A/032/24
Address: 60 Chant Crescent, Markham
Agent: HJ Architects Inc (Joanne Ying)
Hearing Date: Wednesday, September 11, 2024

The following comments are provided on behalf of the Central Team:

On January 31, 2024, City of Markham Council enacted the Comprehensive Zoning By-law 2024-19 (“By-law 2024-19”). As By-law 2024-19 is currently under appeal with the Ontario Land Tribunal (the “OLT”), any applications under Section 45 of the Planning Act that do not benefit from the transition clauses under Section 1.7 of By-law 2024-19 must comply with By-law 2024-19 and any previous By-laws in effect. As such, the Applicant is requesting relief from the “Residential – Established Neighbourhood Low Rise (RES-ENLR)” zone requirements under By-law 2024-19 and the “Single Family Residential 3rd Density (R3)” zone requirements under By-law 11-72, as amended, as it relates to a proposed two-storey detached dwelling. The variances requested are to permit:

By-law 2024-19

a) By-law 2024-19, Section 6.3.2.2(C):

a maximum second storey building coverage of 27.3 percent, whereas the by-law permits a maximum second storey building coverage of 20 percent;

b) By-law 2024-19, Section 6.3.2.2(E):

a maximum distance of 16.3 metres from the established building line for the second storey, whereas the by-law permits a maximum distance of 14.5 metres;

c) By-law 2024-19, Section 6.3.2.2(J):

a maximum outside wall height of 7.4 metres, whereas the by-law permits a maximum outside wall height of 7 metres;

d) By-law 2024-19, Section 6.3.2(K):

a maximum three storey dwelling, whereas the by-law permits a maximum two storey dwelling; and

By-law 11-72

a) By-law 11-72, Section 6.1:

a maximum building height of 27.5 feet, whereas the by-law permits a maximum building height of 25 feet.

BACKGROUND

Property Description

The 696 m² (7,491 ft²) subject property (“Subject Lands”) is located on the south side of Chant Crescent, generally south of Carlton Road, west of Fred Varley Drive and east of Village Parkway (refer to Appendix “A” – Aerial Photo). The Subject Lands are located within an established residential neighbourhood comprised of a mix of one and two-storey detached dwellings as well as two and three-storey townhouse dwellings.

There is an existing one-storey detached dwelling on the Subject Lands, which according to assessment records was constructed in 1972. Mature vegetation exists on the property including one large mature tree in the front yard.

Proposal

The Applicant is proposing to demolish a portion of the existing dwelling and construct a ground floor and second storey addition to create a 505.10 m² (5,437 ft²) two-storey detached dwelling (“proposed dwelling”) on the Subject Lands (refer to Appendix “B” – Plans).

Staff note that the Applicant revised their initial application and variance requests following comments received from Staff, as demonstrated in the following table:

Development Standard	By-law Requirement	Initial Variance Request	Current Variance Request
Maximum roof projection above the permitted outside wall height for roofs with a pitch of less than 25 degrees	1.0 m (3.28 ft)	1.23 m (4.04 ft)	Variance eliminated
Maximum second storey building coverage	20%	27.3%	27.3%
Maximum distance from the established building line for the second storey	14.5 m (47.58 ft)	16.3 m (53.48 ft)	16.3 m (53.48 ft)
Maximum outside wall height	7.0 m (24.28 ft)	7.7 m (25.27 ft)	7.4 m (22.97 ft)
Maximum number of storeys	2	3	3

Table 1 – Changes in Variances Comparison Chart			
Development Standard	By-law Requirement	Initial Variance Request	Current Variance Request
Maximum building height	25 ft (7.62 m)	28.5 ft (8.69 m)	27.5 ft (8.39 m)

Official Plan and Zoning

Official Plan 2014 (partially approved on November 24, 2017, and updated on April 9, 2018)

The Official Plan designates the Subject Lands “Residential Low Rise”, which provides for low-rise housing forms including single detached dwellings. Section 8.2.3.5 of the Official Plan outlines infill development criteria for the “Residential Low Rise” designation with respect to height, massing, and setbacks. These criteria are established to ensure that infill developments are appropriate for the site and generally consistent with the zoning requirements for adjacent properties and properties along the same street, while accommodating a diversity of building styles. In considering applications for development approval in a “Residential Low Rise” area, which includes variances, development is required to meet the general intent of the above noted development criteria. In addition, regard shall be had for the retention of existing trees and vegetation. Planning Staff have had regard for the requirements of the infill development criteria in the preparation of the comments provided below.

Zoning By-Law 11-72, as amended

The Subject Lands are zoned R3 under By-law 11-72, as amended, which permits one single detached dwelling per lot.

The proposed dwelling does not comply with the by-law requirements as it relates to maximum height.

Comprehensive Zoning By-Law 2024-19

The Subject Lands are zoned RES-ENLR under By-law 2024-19, which permits a detached dwelling, home childcare, home occupation, and shared housing – small scale.

The Applicant is requesting relief from the requirements for the second storey building coverage and the maximum distance from the established building, as well as the maximum outside wall height in metres and the maximum number of storeys.

Zoning Preliminary Review (ZPR) Undertaken

The Applicant has completed a Zoning Preliminary Review (ZPR) on June 19, 2024 to confirm the initial variances required for the proposed development. The Applicant submitted revised drawings on August 12, 2024 at the request of Planning Staff to reduce the requested variances for the outside wall height and

building height in metres. The Applicant has not conducted a Zoning Preliminary Review for the revised drawings. Consequently, it is the Applicant's responsibility to ensure that the application has accurately identified all the variances to the Zoning By-law required for the proposed dwelling. If the variance request in this application contains errors, or if the need for additional variances is identified during the Building Permit review process, further variance application(s) may be required to address the non-compliance.

COMMENTS

The *Planning Act* states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained;
- d) The general intent and purpose of the Official Plan must be maintained.

Increase in Maximum Second Storey Building Coverage

The Applicant is requesting relief to permit a maximum second storey building coverage of 27.3% (190.1 m² or 2,047 ft²), whereas By-law 2024-19 permits a maximum second storey building coverage of 20% (139.2 m² or 1,498 ft²). This variance will facilitate the construction of a second storey with the same gross floor area as the first storey. This represents an additional 7.3% (50.9 m² or 549 ft²) coverage for the second storey.

Staff note that the By-law permits a building coverage of 30% for the first storey and 20% for any storey above the first. The proposed second storey maintains a lot coverage that is less than 30%, however the intent of the By-law is to regulate the massing of the dwelling by requiring a second storey that is smaller in size than the first storey. Although the Applicant has made revisions to the height and front elevation of the dwelling to ensure that the massing of the dwelling is compatible with dwellings along Chant Crescent, Staff recommend that the Committee consider public input and satisfy themselves on whether the requested second storey coverage variance meets the four tests of the *Planning Act*.

Increase in Maximum Second Storey Distance from the Established Building Line

The Applicant is also requesting relief to permit a maximum distance of 16.3 m (53.48 ft) from the established building line for the second storey, whereas By-law 2024-19 permits a maximum distance of 14.5 m (47.58 ft). This represents an increase of 1.8 m (5.9 ft) of the second storey from the established building line.

Staff note that the established building line is defined as "a line that is the average distance between the front lot line and the nearest wall of the main

building facing the front lot line on the two neighbouring lots fronting the same street". The intent of this By-law provision is to regulate the building depth and massing in relation to the neighbouring dwellings.

The building layout meets all other zoning provisions (such as setbacks and overall lot coverage) that further establish the prescribed building envelope, which ensures the proposed dwelling will be in keeping with the intended scale of residential infill developments for the neighbourhood. Furthermore, the increase of the second storey building depth will not extend beyond the footprint and established building line of the first storey.

Staff note that the proposed building depth remains to be consistent with the building depths of adjacent houses at 58 Chant Crescent and 62 Chant Crescent and have no strong objection to the variance sought for the maximum second storey distance from the established building line.

Increase in Maximum Outside Wall Height and Building Height in Metres

The Applicant is requesting relief to permit a maximum outside wall height of 7.4 m (24.28 ft), whereas By-law 2024-19 permits a maximum outside wall height of 7.0 metres (22.97 ft). This represents an increase of 0.4 m (1.31 ft). By-law 2024-19 calculates outside wall height as the vertical distance from established grade to the highest top plate of the outside wall of the upper most floor or storey.

The Applicant is also requesting relief to permit a building height of 27.5 ft (8.39 m), whereas By-law 11-72 permits a maximum building height of 25 feet (7.62 m). This represents a building height increase of 2.5 ft (0.77 m). By-law 11-72 calculates building height as the vertical distance in feet between the horizontal plane through grade level and a horizontal plane through the average level of a one slope roof, provided that such roof having a slope of less than twenty degrees (20°) with the horizontal shall be considered a flat roof.

Staff worked with the Applicant to lower the outside wall height and building height variances. Staff appreciates the efforts made by the Applicant to address Staff comments including the revision to the roof design to eliminate the variance sought for the roof projection, and revision to the façade in consideration of the character of the street and existing dwellings in the surrounding area. Accordingly, Staff have no major concerns with the requested outside wall height and building height variances.

Increase in Maximum Number of Storeys

The Applicant is requesting relief to permit a maximum three storey dwelling, where By-law 2024-19 permits a maximum two storey dwelling. By-law 2024-19 defines a storey as the portion of a building that is situated between the top of any floor and the top of the floor next above it. Where there is no floor above, storey means the portion of a building that is situated between the top of the floor and the ceiling above the floor. Any portion of a building partly below average

grade level shall be deemed a storey where its ceiling is at least 50% above average grade level.

The requested variance is attributed to the varying grading across the Subject Lands, resulting in more than 50% of the basement level being above-grade. The proposed above-grade basement is therefore considered an additional storey under By-law 2024-19. Staff are satisfied that the front elevation of the proposed dwelling visually presents itself as a two-storey dwelling and will have minimal impacts to the existing streetscape.

Tree Protection and Compensation

Tree Preservation staff have no concerns with the Minor Variance requests. Full Tree Comments will be provided during the Residential Grading & Servicing application or Housing Permit application stage. Tree related conditions have been included in Appendix "C".

PUBLIC INPUT SUMMARY

No written submissions were received as of September 5, 2024. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

CONCLUSION

Planning Staff have reviewed the application with respect to Section 45(1) of the *Planning Act*, R.S.O. 1990, c. P.13, as amended, and are of the opinion that variances b) to d) under By-law 2024-19, and variance a) under By-law 11-72 meets the four tests of the *Planning Act* and have no objection. Regarding variance a) with respect to the second storey coverage, Staff recommend that the Committee consider public input in reaching a decision and should satisfy themselves as to whether the variance meets the four tests of the *Planning Act*.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the *Planning Act* required for the granting of minor variances.

Please refer to Appendix "C" for conditions to be attached to any approval of this application.

PREPARED BY:



Barton Leung, Senior Planner, Central District

REVIEWED BY:



Melissa Leung, RPP MCIP, Senior Planner, Central District

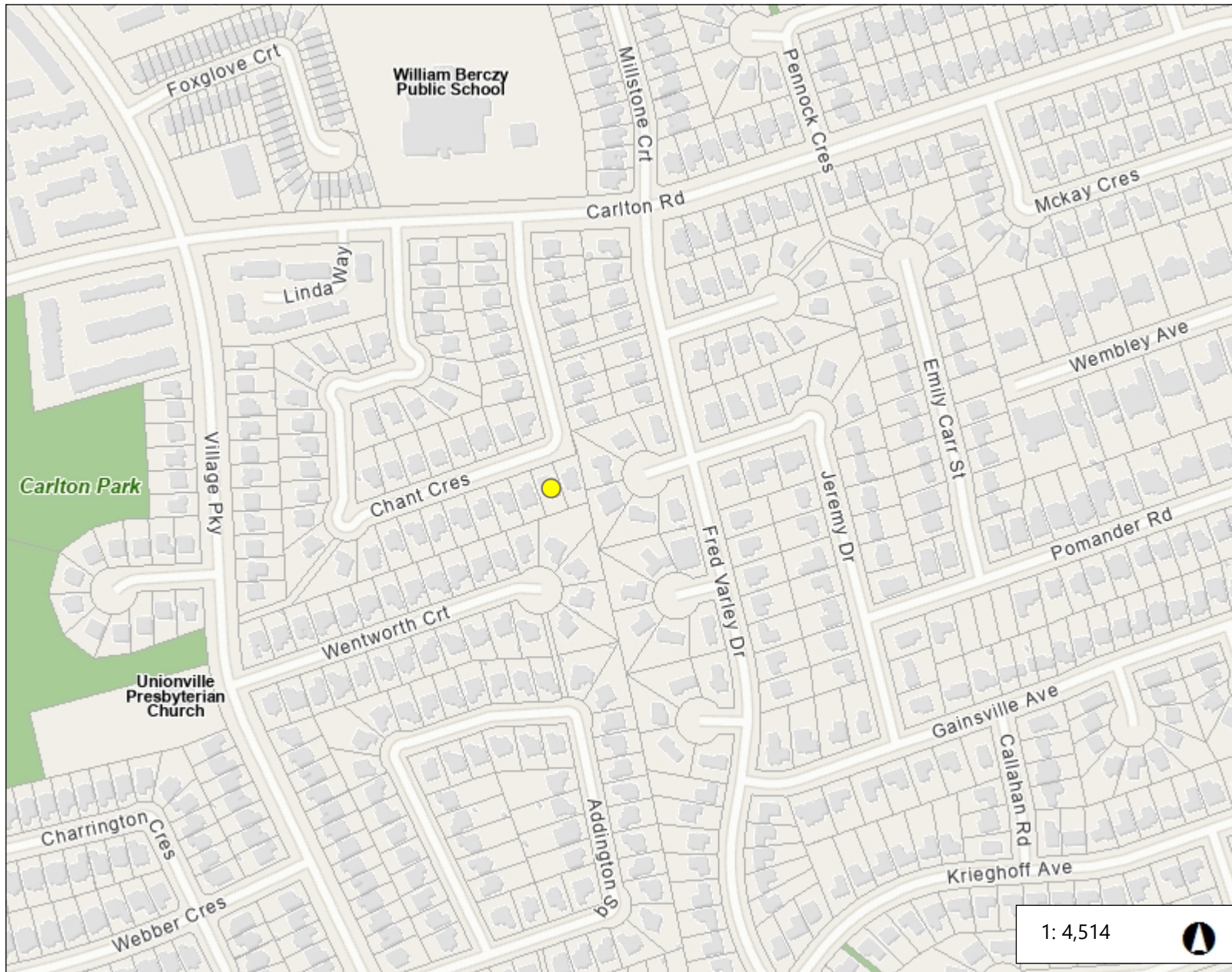
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APPENDICES

Appendix "A" – Aerial Photo

Appendix "B" – Plans

Appendix "C" – Conditions



Legend

- Subject Lands
60 Chant Crescent
- Parks

1: 4,514



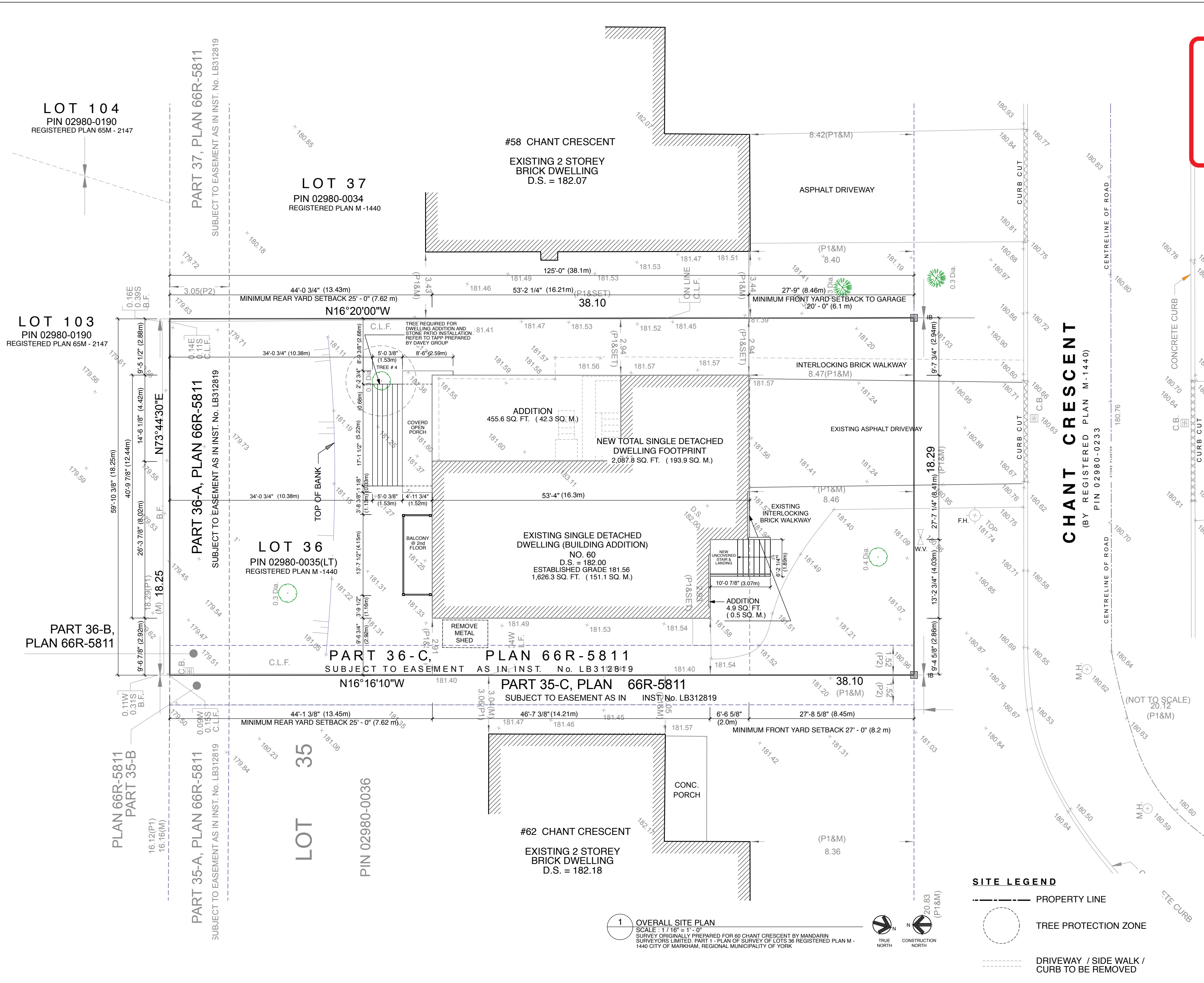
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Notes

Appendix B

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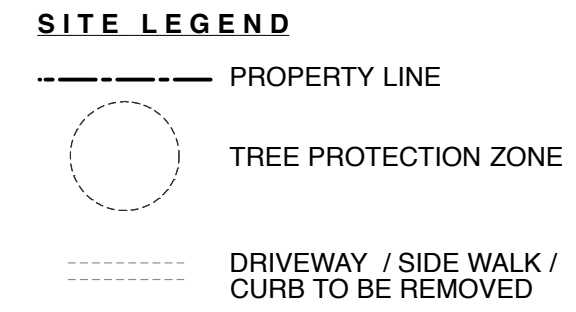
Date: 9/5/2024
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- GENERAL NOTE:**
1. THE SITE PLAN IS BASED ON THE SURVEY PREPARED BY MANDARIN SURVEYORS LIMITED ONTARIO LAND SURVEYOR, DATED ON NOVEMBER 08, 2023.
 2. ALL DIMENSIONS GIVEN IN IMPERIAL (UNLESS OTHERWISE NOTED).
 3. ALL CONSTRUCTION TO COMPLY WITH MUNICIPAL BY-LAWS AND ONTARIO CODE.
 4. ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE VERIFIED BY THE GENERAL CONTRACTOR AT THE SITE PRIOR TO CONSTRUCTION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE SITE CONDITIONS AND THE ASSUMED DESIGN CONDITIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTIONS.
 5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK ELEVATIONS OF ALL CITY SERVICES AND ESTABLISH APPROPRIATE METHODS OF DEALING WITH THOSE SERVICES.
 6. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE CONSTRUCTION, METHOD OF ERECTION AND INSTALLATION PROCEDURES OF THE STRUCTURAL MEMBERS INCLUDING THE ERECTION OF STEEL BEAMS. THE GENERAL CONTRACTOR SHALL EXERCISE EXTREME CAUTION AND CARE DURING THE DEMOLITION PROCESS OF ANY EXISTING STRUCTURE AND MASONRY WALLS. BE SOLELY RESPONSIBLE TO SUPPORT ANY EXISTING STRUCTURE AND CALL THE STRUCTURAL ENGINEER FOR INSPECTION PRIOR TO CUTTING EXISTING MEMBERS OR EXISTING WALLS.
 7. THE GENERAL CONTRACTOR ARE RESPONSIBLE FOR CO-ORDINATION OF PLUMBING, MECHANICAL AND ELECTRICAL IN PROCEEDING WITH WORK ON PLANS.
 8. PLUMBING, MECHANICAL AND ELECTRICAL SUB-CONTRACTORS TO OBTAIN ALL REQUIRED PERMITS AND APPROVALS FROM APPROPRIATE AUTHORITIES BEFORE PROCEEDING WITH WORK.

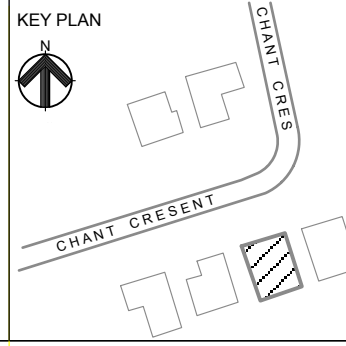
SITE STATISTICS

ZONING	R3 UNDER BY-LAW 11 - 72 RES-ENLR BY-LAW 2014-19 (INTERIOR LOT)
EXISTING / PROPOSED USE	RESIDENTIAL LOW RISE
LOT AREA	696.0 m ² (7,491 ft ²)
LOT COVERAGE	210.1 m ² (2,261 ft ²) <u>210.1 x 100</u> 696.0 = 30.1% LOT COVERAGE MAXIMUM COVERAGE TO BE 33 1/3% BASED ON BY - LAW 11 - 72
BUILDING COVERAGE	190.1 m ² (2,047 ft ²) <u>190.1 x 100</u> 696.0 = 27.3% BUILDING COVERAGE MAXIMUM COVERAGE TO BE 20% BASED ON BY - LAW 2014 - 19
BUILDING HEIGHT	8.78 m (28'-9 5/8") MAXIMUM BUILDING HEIGHT TO BE 25 FEET BASED ON BY - LAW 11 - 72
G.F.A.	BASEMENT FLR 157.5 m ² (1,695 ft ²) GROUND FLR 157.5 m ² (1,695 ft ²) ATTACHED GARAGE 32.7 m ² (352 ft ²) SECOND FLR 190.1 m ² (2,047 ft ²) TOTAL 505.1 m ² (5,437 ft ²) MINIMUM GFA TO BE 1,500 FT ² FOR 2 STOREY BASED ON BY - LAW 11 - 72



1 OVERALL SITE PLAN
SCALE: 1/16" = 1'-0"
SURVEY ORIGINALLY PREPARED FOR 60 CHANT CRESCENT BY MANDARIN SURVEYORS LIMITED, PART 1 - PLAN OF SURVEY OF LOTS 36 REGISTERED PLAN M - 1440 CITY OF MARKHAM, REGIONAL MUNICIPALITY OF YORK

hj architects inc.
85 forest cove court
aurora, ontario
l4g 3g4
416.628.2168
416.887.6771
info@hjarch.ca



REVISION / ISSUED TO:			
NO.	DATE	BY	
1.	06/26/24	JY	ISSUED TO C OF A APPLICATION

GENERAL NOTES:

- Contractors to verify all site dimensions and report any discrepancies before commencing with work.
- Dimensions shall take precedence over scale.
- No variation of modification to work shall be implemented without prior written approval.
- All plans, specifications and work is subject to Department of Labour, Fire Department and Building Department approval.
- All previous issues of this drawing are superseded.
- All prints of drawings and specifications are the property of hj architects inc. and must be returned upon project completion.

OWNER	Martin & Tiffany Ng 60 chant crescent unionville, ontario l3r 1y8	MECHANICAL	ENERSIM ENGINEERING 8080 guelph line, unit #1508 campbellville, ontario l0p 1b0
ARCHITECTURAL	hj architects inc. 85 forest cove court aurora, ontario l4g 3g4	ELECTRICAL	
STRUCTURAL	OPTIMUM STRUCTURAL CORP 39 kirk drive, thornhill, ontario l3r 3k8	INTERIOR	



PROJECT NO.	23 - 023
PROJECT NAME	SINGLE-DETACHED DWELLING (ADDITION TO EXISTING BUILDING)
DRAWING TITLE	OVERALL SITE PLAN

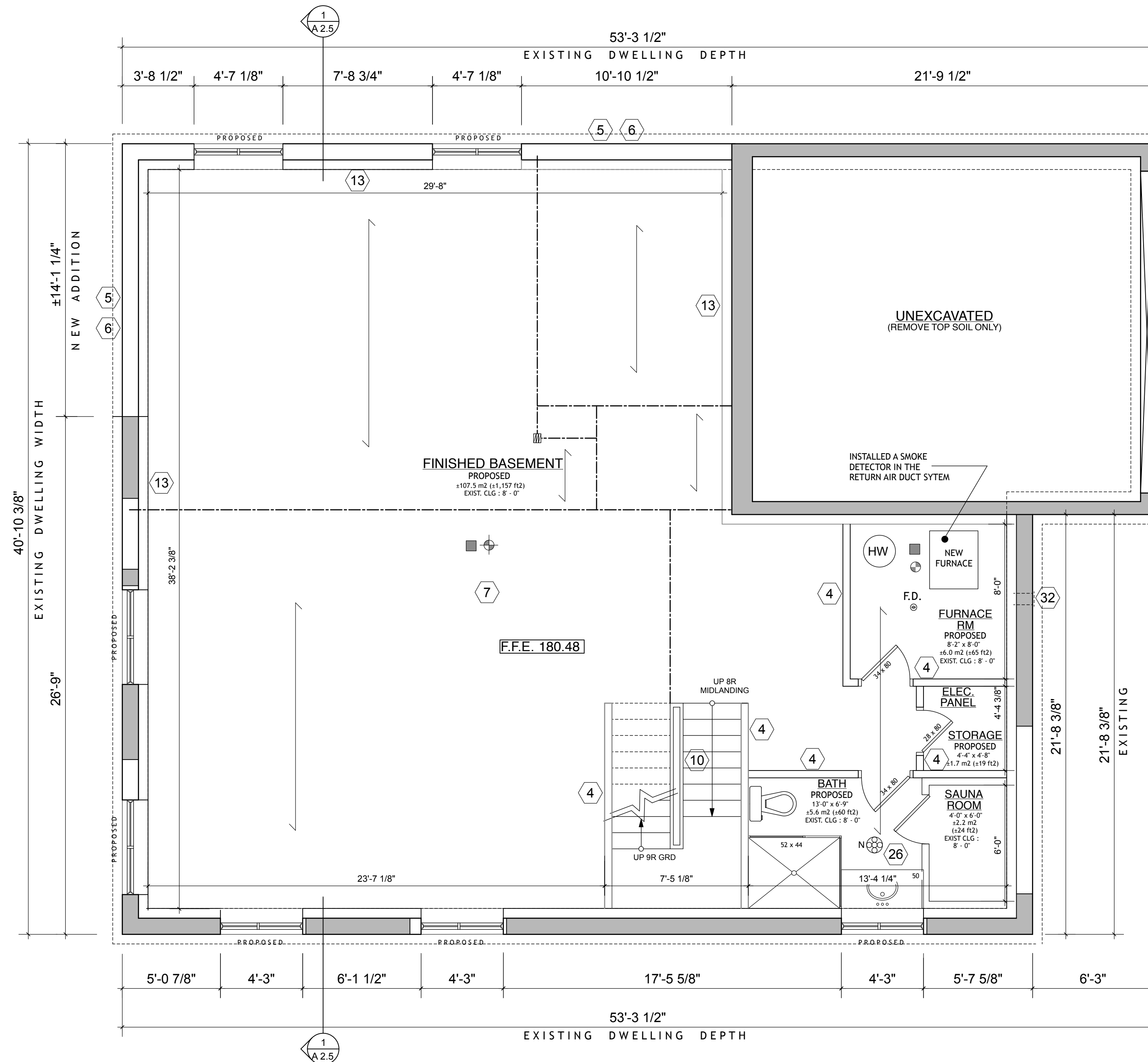
DRAWN BY:	JY	CHECKED BY:	JY	APPROVED:	JY
SCALE	AS NOTED				
DRAWING NUMBER	A0.1				

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Appendix B

File: 24.167749.000.00.MNV

Date: 9/5/2024
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WALL LEGEND

- DEMO WALL
- == NEW WALL
- == EXISTING WALL
- (EXG) EXISTING DOOR TO REMAIN

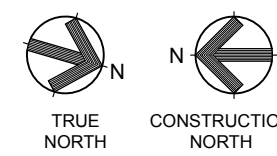
CEILING LEGEND

- JOIST (FLOOR OR CEILING) DIRECTION

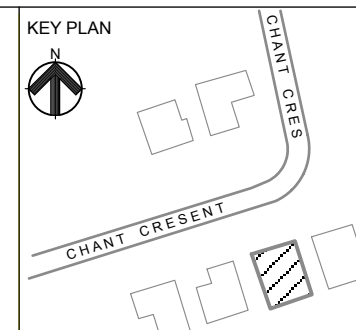
GENERAL NOTES:

1. SUPPLY AIR GRILL SHALL BE LOCATED ADJACENT TO THE EXTERIOR WALLS. SUCH OUTLETS SHALL BE LOCATED SO AS TO BATHE AT LEAST ONE EXTERIOR WALL OR WINDOW WITH WARM AIR IN CONFORMANCE WITH OBC.
2. SUPPLY & RETURN AIR GRILLES IN HABITABLE FINISHED BASEMENT SHALL BE LOCATED ON LOW WALLS WITH 6" ABOVE FINISHED FLOOR LEVEL.

1 PROPOSED BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"
ADDITIONAL FLOOR AREA : 457 ft² (42.4 m²)
NEW TOTAL FLOOR AREA : 1,695 ft² (157.5 m²)
FOR STRUCTURAL DETAILS, REFER TO DWGS S1 - S7



hj architects inc.
85 forest cove court
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416.628.2168
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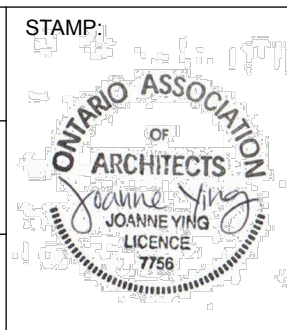
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NO.	DATE	BY	
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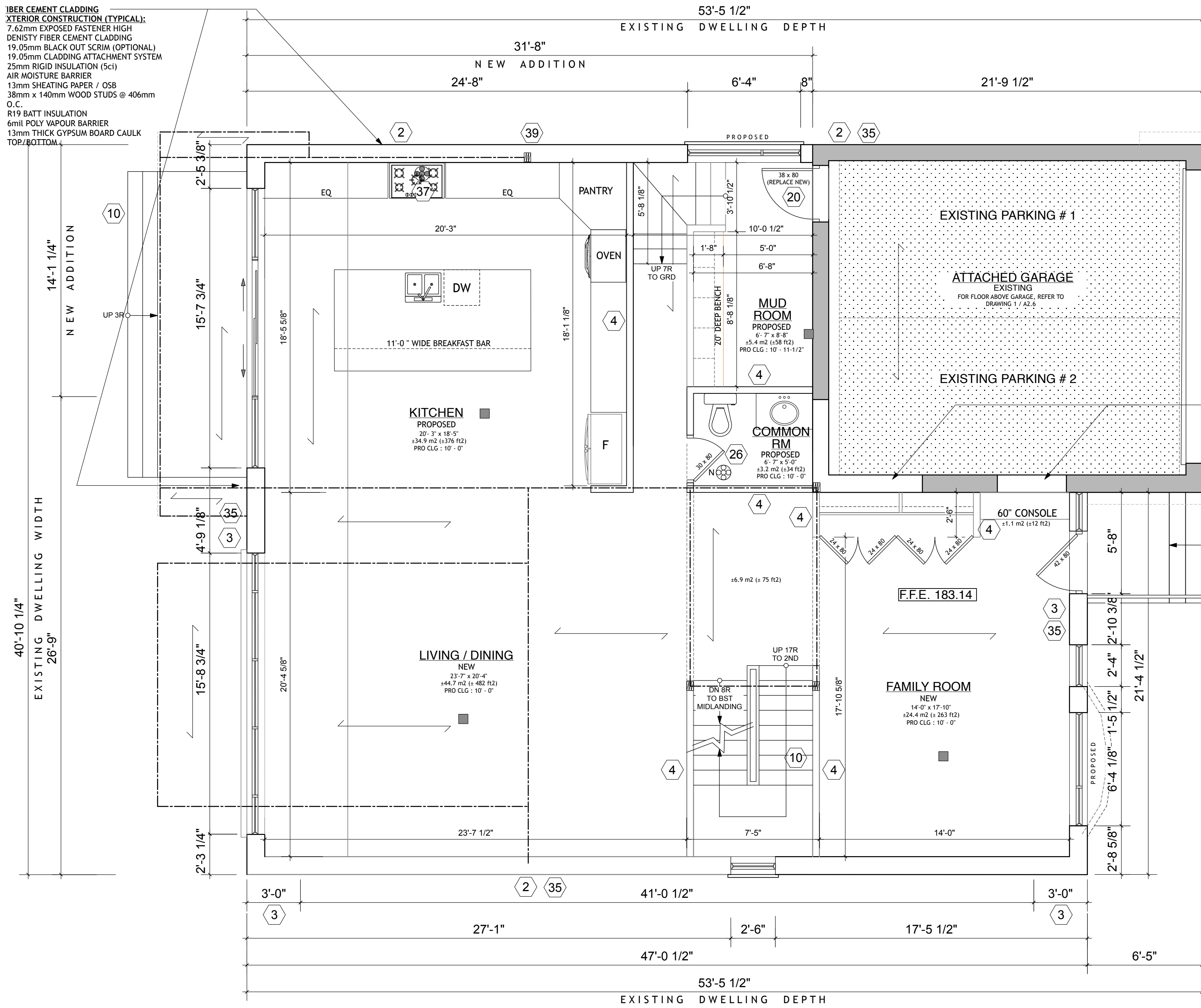
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ELECTRICAL	
INTERIOR	



PROJECT NO.	23 - 023
PROJECT NAME	SINGLE-DETACHED DWELLING (ADDITION TO EXISTING BUILDING)
DRAWING TITLE	PROPOSED BASEMENT FLOOR PLAN

DRAWN BY:	JY	CHECKED BY:	JY	APPROVED:	JY
SCALE	1 / 4" = 1' - 0"				
DRAWING NUMBER	A1.3				

FIBER CEMENT CLADDING EXTERIOR CONSTRUCTION (TYPICAL):
 7.62mm EXPOSED FASTENER HIGH DENSITY FIBER CEMENT CLADDING
 19.05mm BLACK OUT SCRIM (OPTIONAL)
 19.05mm CLADDING ATTACHMENT SYSTEM
 25mm RIGID INSULATION (5ci)
 AIR MOISTURE BARRIER
 13mm SHEATING PAPER / OSB
 38mm x 140mm WOOD STUDS @ 406mm O.C.
 R19 BATT INSULATION
 6mil POLY VAPOUR BARRIER
 13mm THICK GYPSUM BOARD CAULK TOP/BOTTOM



Appendix B

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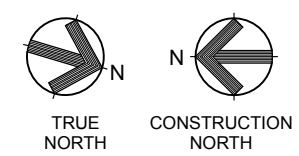
Date: 9/5/2024

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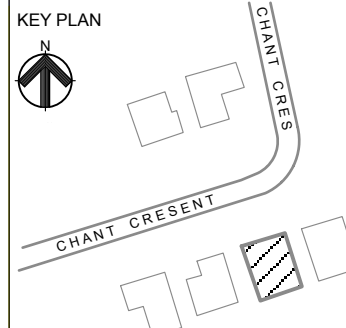
- WALL LEGEND**
- DEMO WALL
 - ==== NEW WALL
 - ===== EXISTING WALL
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- CEILING LEGEND**
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1 PROPOSED GROUND FLOOR PLAN
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 NEW TOTAL FLOOR AREA : 1,695 ft² (157.5 m²)
 EXISTING GARAGE AREA : 352 ft² (32.7 m²)
 FOR STRUCTURAL DETAILS, REFER TO DWGS S1 - S7



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 l0p 1b0

ELECTRICAL

INTERIOR



PROJECT NO.
 23 - 023

PROJECT NAME
 SINGLE-DETACHED DWELLING
 (ADDITION TO EXISTING BUILDING)
 60 CHANT CRESCENT
 UNIONVILLE ON, L3R 1Y8

DRAWING TITLE
 PROPOSED GROUND FLOOR PLAN

DRAWN BY: JY
CHECKED BY: JY
APPROVED: JY

SCALE
 1 / 4" = 1' - 0"

DRAWING NUMBER
A1.4

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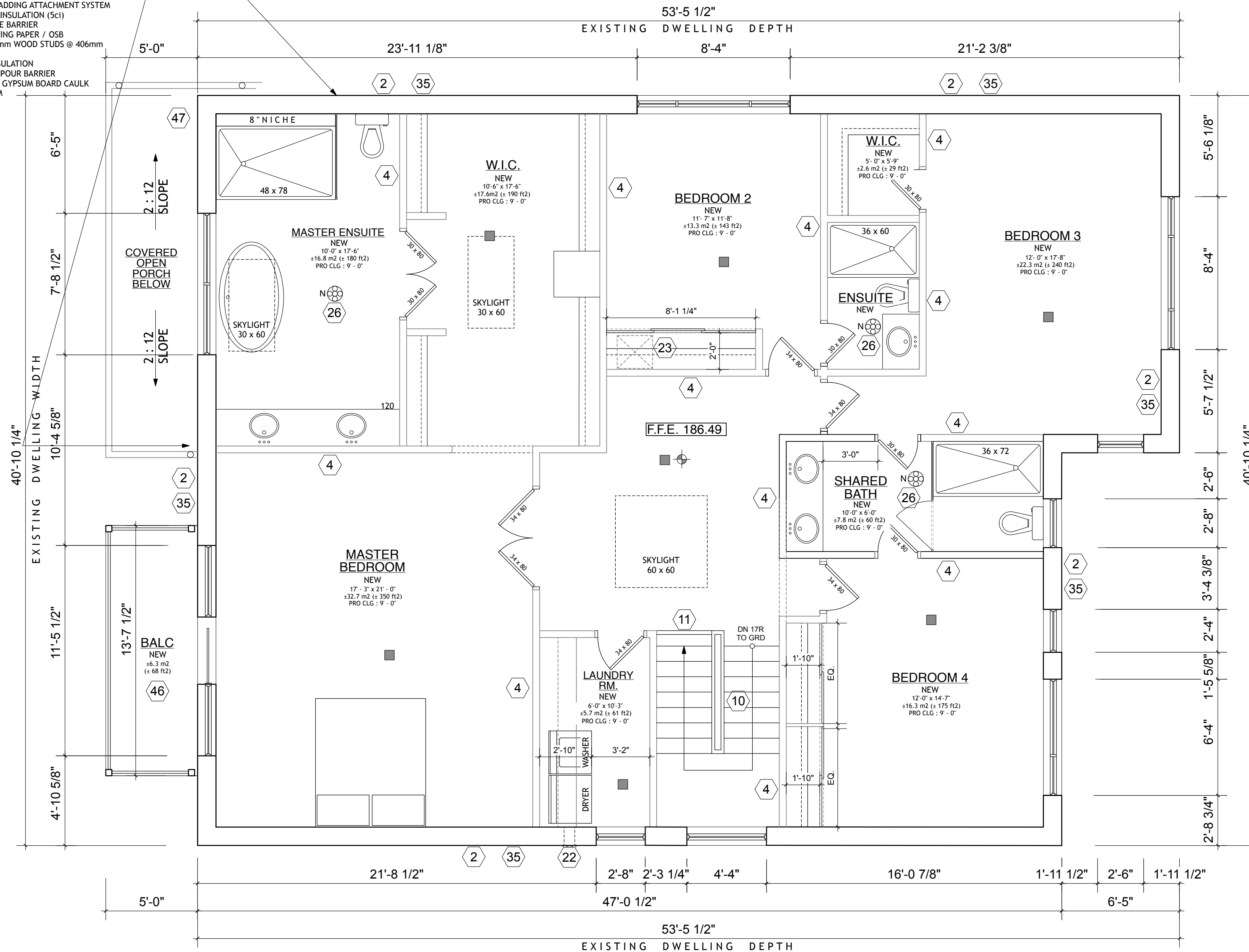
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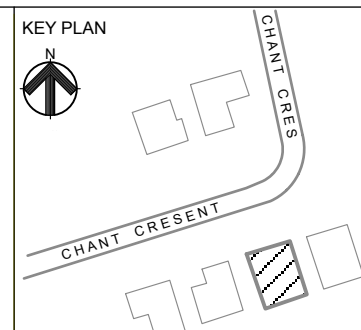
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1 PROPOSED SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 NEW FLOOR AREA : 2,047 ft² (190.1 m²)
 FOR TRUSS DETAILS, REFER TO SHOP DRAWINGS
 FOR FLOOR JOIST DETAILS, REFER TO SHOP DRAWINGS

hj architects inc.
 85 forest cove court
 aurora, ontario
 l4g 3g4
 416.628.2168
 416.887.6771
 info@hjarch.ca



REVISION / ISSUED TO:			
NO.	DATE	BY	
1.	06/26/24	JY	ISSUED TO C OF A APPLICATION

GENERAL NOTES:
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 -Dimensions shall take precedence over scale.
 -No variation of modification to work shall be implemented without prior written approval.
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 -All previous issues of this drawing are superseded.
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OWNER
 Martin & Tiffany Ng
 60 chant crescent
 unionville, ontario
 l3r 1y8

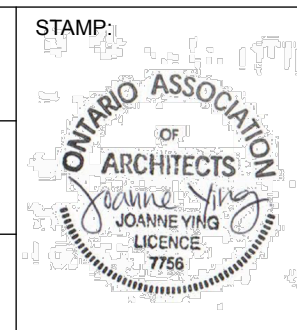
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 OPTIMUM STRUCTURAL CORP.
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 thornhill, ontario
 l3r 3k8

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 ENERSIM ENGINEERING
 8080 guelph line, unit #1508
 campbellville, ontario
 l0p 1b0

ELECTRICAL

INTERIOR



PROJECT NO.
 23 - 023

PROJECT NAME
 SINGLE-DETACHED DWELLING
 (ADDITION TO EXISTING BUILDING)
 60 CHANT CRESCENT
 UNIONVILLE ON, L3R 1Y8

DRAWING TITLE
 PROPOSED 2nd FLOOR PLAN

DRAWN BY: JY
CHECKED BY: JY
APPROVED: JY

SCALE
 1/4" = 1'-0"

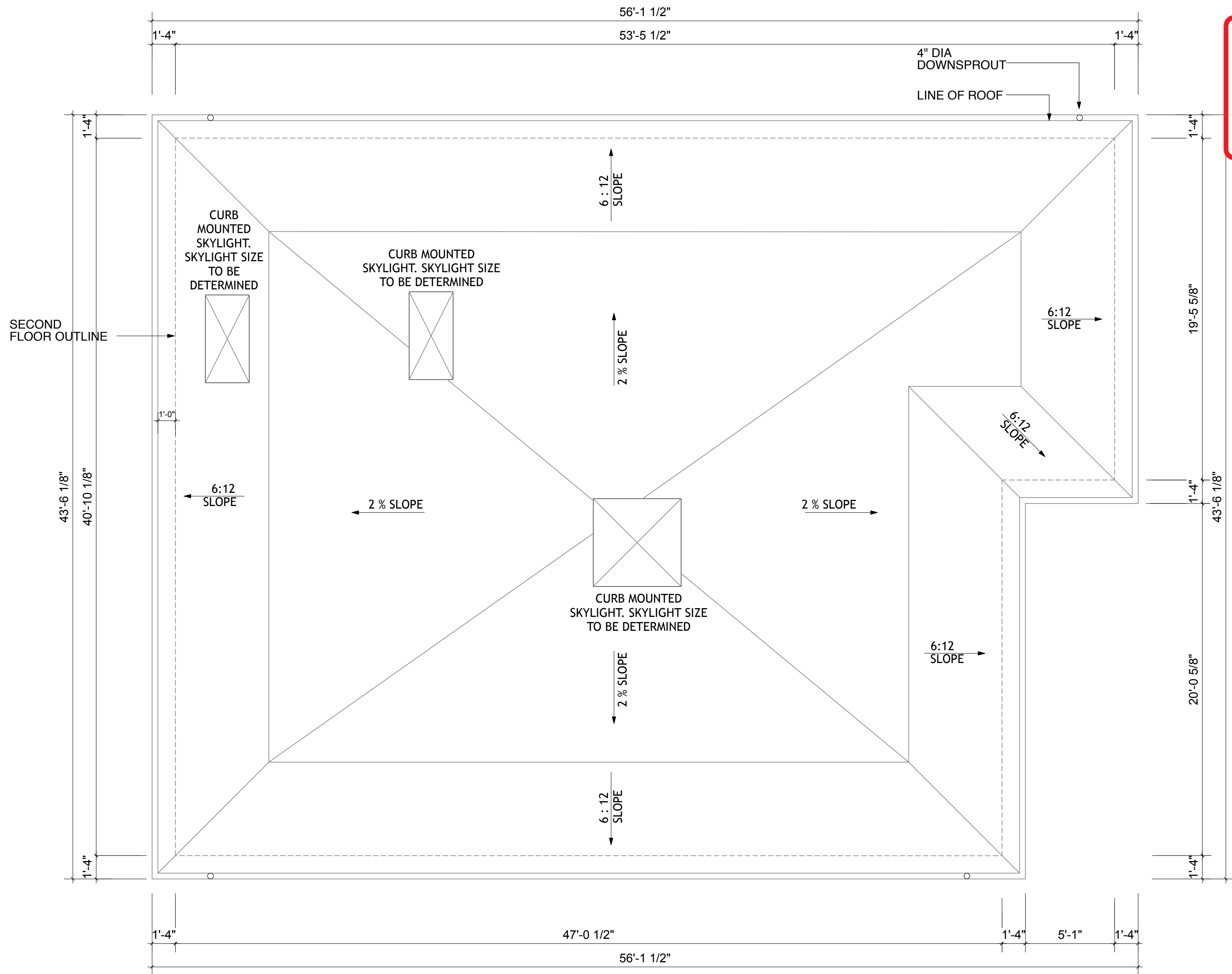
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Appendix B

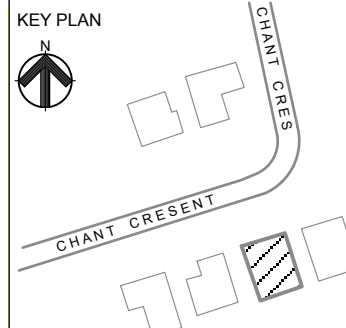
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Date: 9/5/2024
MM/DD/YY



1 PROPOSED ROOF FLOOR PLAN
SCALE: 1/4" = 1'-0"
FOR TRUSS DETAILS, REFER TO SHOP DRAWINGS

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85 forest cove court
aurora, ontario
l4g 3g4
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l4g 3g4

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39 kirk drive,
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l3r 3k8

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campbellville, ontario
l0p 1b0

ELECTRICAL

INTERIOR



PROJECT NO. 23 - 023

PROJECT NAME
SINGLE-DETACHED DWELLING
(ADDITION TO EXISTING BUILDING)
60 CHANT CRESCENT,
UNIONVILLE ON, L3R 1Y8

DRAWING TITLE
PROPOSED ROOF FLOOR PLAN

DRAWN BY: JY
CHECKED BY: JY
APPROVED: JY

SCALE 1/4" = 1'-0"

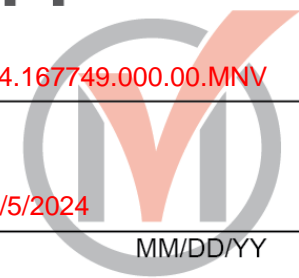
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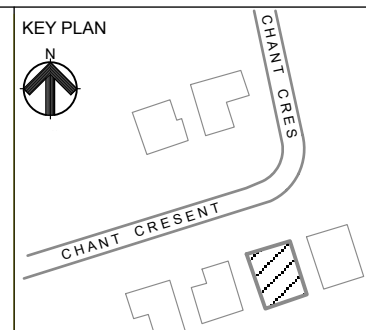
File: 24.167749.000.00.MNV

Date: 9/5/2024
MM/DD/YY



1 NORTH (FRONT YARD) ELEVATION
SCALE: 1/4" = 1' - 0"
ELEVATION LABEL IS BASED ON THE CARDINAL ORIENTATION (CONSTRUCTION NORTH)

hj architects inc.
85 forest cove court
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l4g 3g4
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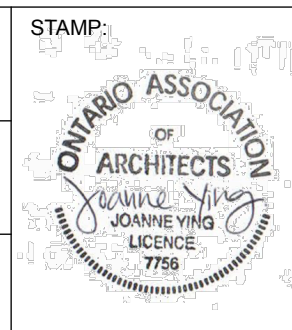
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thornhill, ontario
l3r 3k8

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ELECTRICAL

INTERIOR



PROJECT NO.
23 - 023

PROJECT NAME
SINGLE-DETACHED DWELLING
(ADDITION TO EXISTING BUILDING)
60 CHANT CRESCENT
UNIONVILLE ON, L3R 1Y8

DRAWING TITLE
NORTH ELEVATION
(CHANT CRESCENT)

DRAWN BY: JY
CHECKED BY: JY
APPROVED: JY

SCALE
AS NOTED

DRAWING NUMBER
A2.1

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File: 24.167749.000.00.MNV

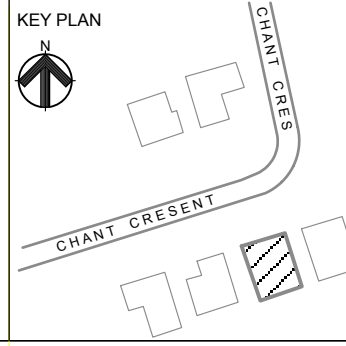
Date: 9/5/2024
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1 SOUTH (REAR YARD) ELEVATION
SCALE: 1/4" = 1' - 0"
ELEVATION LABEL IS BASED ON THE CARDINAL ORIENTATION (CONSTRUCTION NORTH)

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STRUCTURAL
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INTERIOR



PROJECT NO.
23 - 023

PROJECT NAME
SINGLE-DETACHED DWELLING
(ADDITION TO EXISTING BUILDING)
60 CHANT CRESCENT,
UNIONVILLE ON, L3R 1Y8

DRAWING TITLE
SOUTH ELEVATION
(REAR YARD)

DRAWN BY: JY	CHECKED BY: JY	APPROVED: JY
SCALE AS NOTED		DRAWING NUMBER A2.2
DRAWING NUMBER		

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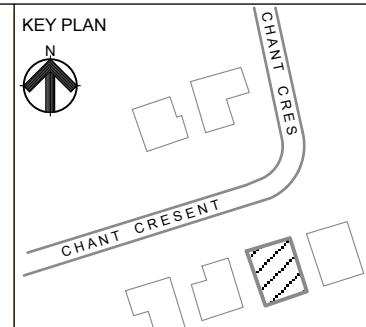
File: 24.167749.000.00.MNV

Date: 9/5/2024
MM/DD/YY



1 WEST (INTERIOR SIDE YARD) ELEVATION
SCALE: 1/4" = 1'-0"
ELEVATION LABEL IS BASED ON THE CARDINAL ORIENTATION
(CONSTRUCTION NORTH)

hj architects inc.
85 forest cove court
aurora, ontario
l4g 3g4
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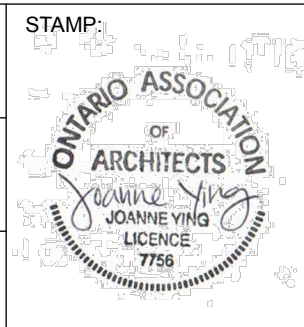
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l3r 3k8

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INTERIOR



PROJECT NO.
23 - 023

PROJECT NAME
SINGLE-DETACHED DWELLING
(ADDITION TO EXISTING BUILDING)
60 CHANT CRESCENT
UNIONVILLE ON, L3R 1Y8

DRAWING TITLE
INTERIOR SIDE ELEVATION

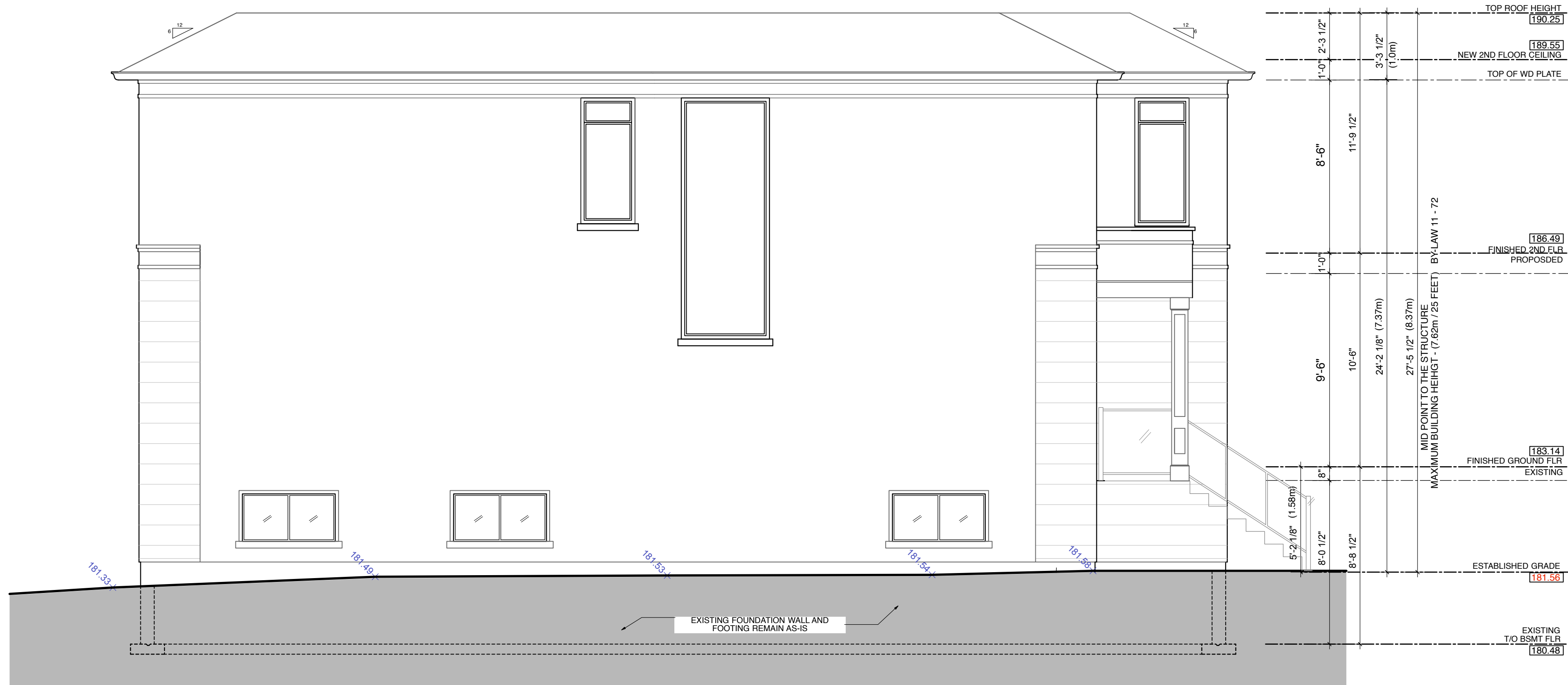
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SCALE AS NOTED		DRAWING NUMBER A2.3
DRAWING NUMBER A2.3		

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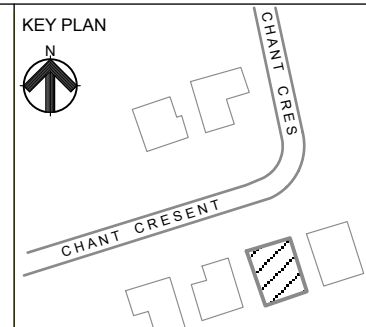
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Date: 9/5/2024
MM/DD/YY



1 EAST (INTERIOR SIDE YARD) ELEVATION
SCALE: 1/4" = 1'-0"
ELEVATION LABEL IS BASED ON THE CARDINAL ORIENTATION
(CONSTRUCTION NORTH)

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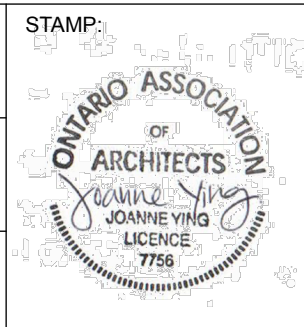
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l3r 3k8

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campbellville, ontario
l0p 1b0

ELECTRICAL

INTERIOR



PROJECT NO.
23 - 023

PROJECT NAME
SINGLE-DETACHED DWELLING
(ADDITION TO EXISTING BUILDING)
60 CHANT CRESCENT,
UNIONVILLE ON, L3R 1Y8

DRAWING TITLE
INTERIOR SIDE ELEVATION

DRAWN BY: JY	CHECKED BY: JY	APPROVED: JY
SCALE AS NOTED		DRAWING NUMBER A2.4
DRAWING NUMBER A2.4		

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APPENDIX “C”

CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/032/24

1. The variances apply only to the proposed development as long as it remains;
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as ‘Appendix B’ to this Staff Report, and that the Secretary-Treasurer receive written confirmation from the Supervisor of the Committee of Adjustment or their designate that this condition has been fulfilled to his or her satisfaction;
3. Submission of a Tree Assessment and Preservation Plan, prepared by a Qualified Tree Expert in accordance with the City’s Tree Assessment and Preservation Plan (TAPP) Requirements (2024) as amended, to be reviewed and approved by the City, and that the Secretary-Treasurer receive written confirmation from the Tree Preservation By-law Administrator that this condition has been fulfilled to his/her satisfaction, and that any detailed Siting, Lot Grading and Servicing Plan required as a condition of approval reflects the Tree Assessment and Preservation Plan.
4. That prior to the commencement of construction or demolition, tree protection be erected and maintained around all trees on site, neighbouring properties, and street trees, in accordance with the City’s Streetscape Manual (2009) as amended and inspected by City Staff to the satisfaction of the Tree Preservation By-law Administrator; and
5. If required as per Tree Preservation review, tree securities and/or tree fees be paid to the City and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the Tree Preservation By-law Administrator.

CONDITIONS PREPARED BY:



Barton Leung, Senior Planner, Planning and Urban Design Department